



PLANNING DEPARTMENT  
Town of Durham  
8 Newmarket Road  
Durham, NH 03824-2898  
Phone (603) 868-8064  
[www.ci.durham.nh.us](http://www.ci.durham.nh.us)

RECEIVED  
Town of Durham  
MAR 25 2016

Planning, Assessing  
and Zoning

**HISTORIC DISTRICT COMMISSION**  
**Application for Certificate of Approval**  
Town of Durham, New Hampshire

Date: 3/25/2016

**Property information**

Property address/location: 5 Tavern Way, Durham

Tax map and lot #: Map 6 Lot 9-8-1; Date of building, if known: none

Name of project (if applicable): Subdivision of Land, Seacoast Repertory Theater

**Property owner**

Name (include name of individual): Swedepole Investments, LLC (Paul & Helen  
(Gransson)

Mailing address: 255 Depot Rd, Eliot, ME 03903

Telephone #: 207-475-3881 Email address: helen@pondgarden.net

**Applicant** (if different from property owner)

Name (include name of individual): Benjamin Morrison

Mailing address: 70 Portsmouth Avenue, Stratham, NH 03885

Telephone #: 603-686-1923 Email address: bmorrison@thegovegroup.com

**Architect/Designer** (if applicable)

Name (include name of individual): Newmarket Plains, LLC Paul LeBeau

Professional Designation: \_\_\_\_\_

Mailing address: 443 Wadleigh Falls Rd, Newmarket NH 03857

Telephone #: 603-659-0985 Email address: newmarketplainsllc@comcast.net

**Contractor** (if applicable)

Name (include name of individual): Langdon Construction, LLC Paul Langdon

Mailing address: 131 Old Nottingham Rd, Epping, NH 03042

Telephone #: 603-679-1645 Email address: langdonconstructionllc@gmail.com

(over)

**Proposed activity** (check all that apply)

New building/structure:  Addition onto existing building/structure:

Alterations to existing building:  Demolition:  Signage:

Site development (other structures, parking, utilities, etc.):  Change of use:

Describe project? Residential new construction on vacant lot.

Proposed starting date: May 1, 2016

**Submission of application**

This application must be signed by the property owner, the applicant/developer (if different from property owner), and/or the agent.

*I hereby submit this application to the Town of Durham Historic District Commission pursuant to the Town of Durham Historic District Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner) or as agent, I attest that I am duly authorized to act in this capacity and submit this application.*

Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Circle all that apply: property owner - developer - architect/designer - contractor - agent

*\* Please note that the applicant or a representative must attend the HDC meeting to present the application and answer any questions. If nobody attends the meeting then the HDC may not take any action on the application.*



**SPECIFICATIONS ~ 5 Tavern Way, New Hampshire, Langdon Construction LLC**

**FOUNDATION**

Footings and Walls: 3000 psi concrete  
Basement Windows: Per plan and lot topography  
Radon: Sub slab system with vent in basement  
**Any Radon mitigation will be at Buyer's expense**

**Excavation and Site Work**

Well and Septic according to N.H. State approved plan  
Seller will provide water free from Coliform / E-Coli bacteria  
Any additional testing and/or filtration system are the responsibility of the Buyer(s)

Driveway: Paved  
Yard: Rake and seed existing loam on site up to 30ft or cut around the house  
Drainage: All houses have interior/exterior perimeter drains and basement has 3/4" crushed stone under 4" slab, 8-12" footings

**Location of house and tree cutting per builder's discretion**

**Frame**

Exterior walls: 2 x 6 16" on center 1/2" OSB  
Interior walls: 2 x 4 16" on center  
Ceiling height: 8' +/-  
Decks: 2 x 10 16" on center with 3/4 inch T & G Advantec Plywood  
Sills: 2 x 6 pressure treated  
Roof: 2 x 10 16" on center with zip system or per plan

**Exterior**

Windows: Low E insulated/tilt with 6 over 6 grills between glass  
Front Door: Stanley or equivalent with sidelights painted white  
Siding: Certaineed Mainstreet, vinyl w/traditional corners, aluminum trim  
Deck: 12x 12 pressure treated deck  
Front: 4 x 7 front steps  
Shingles: IKO Architectural Shingles or equivalent limited lifetime warranty  
**Electrical No changes are permitted after electric walk through**

**Service: 200 AMP**

Phone: Each bedroom, living room, and kitchen  
Cable: Each bedroom, living room  
Outlets: To meet local building code  
Switch and Plates: White  
Two exterior outlets included per local code  
Door Chimes: Per local code  
Smoke Detectors: Per local code

**PLUMBING**

Heating: Forced Hot Air  
2 zones with a leased propane tank buried on site.  
Hot Water: on demand  
Exterior faucets: 2 frost free  
Bathrooms: Lasco or equivalent (white)  
Kitchen sink will be double bowl stainless steel  
Bathroom sinks to be single bowl porcelain (white)  
Water line for refrigerator included

Faucets: Delta or equivalent  
Fixtures: Mansfield or equivalent

**INSULATION**

Walls: R-21 with vapor barrier  
Basement: R- 19 Ceiling: R-49

**INTERIOR FINISH**

Walls: Sheetrock 1 coat primer, 2 coat paint- Manchester Tan  
Doors: 6 panels smooth Masonite ,Brushed Nickel Door hardware and hinges  
Trim: 3.5 colonial baseboard, 2.5 colonial casing on windows/doors  
All interior trim to be primed and painted Shelving: Closetmaid  
Kitchen cabinets and vanities  
Kitchen counter top postform

**ADDITIONAL INSTALLATION CHARGE FOR CUSTOM KITCHENS I.e. CROWN MOLDING/APPLIANCE GARAGELAZY SUSANS ETC.**  
Cabinet Hardware: to be purchased by Buyer, installation charge is \$150.00

**ALLOWANCES:**

Tile in Baths & Laundry  
Hardwood on First floor except bath, laundry  
Carpet in remainder of house from builders selections  
Mirrors: Not Included

Appliances: To be purchased by buyer and installed by builder  
Lighting: is complete to include, 2 floodlights and 10 recessed lights included  
Deck: 12 x 12 Pressure Treated.  
SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

**RADON: SUB SLAB SYSTEM WITH VENT IN BASEMENT  
ANY RADON MITIGATION WILL BE AT BUYERS EXPENSE.  
BUYERS WILL BE RESPONSIBLE FOR ANY ADDITIONAL COST OF DRILLING AT COST \$12 PER FOOT AFTER 400FT IF WELL DOESN'T MEET STATE OR LOCAL STANDARDS.**

**IF THERE IS A CONFLICT BETWEEN HOUSE PLANS AND SPECIFICATIONS, SPECIFICATIONS SUPERCEDE PLANS  
ALL INTERIOR MEASUREMENTS ARE APPROXIMATE**

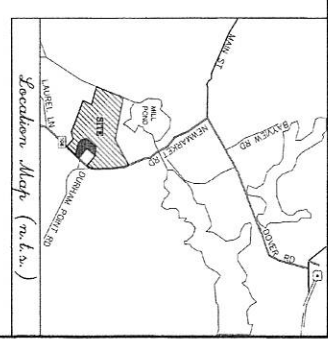
**\*\*\*AT THE SELLER'S REQUEST, THE BUYERS ARE NOT PERMITTED TO VIEW THE PROPERTY DURING BUSINESS HOURS  
\*\*\*AGENTS MUST ACCOMPANY THEIR BUYERS AT ALL OTHER TIMES. PLEASE DO NOT CONTACT THE BUILDER OR SUBCONTRACTORS WITHOUT PRIOR PERMISSION**

**\*\*\*FINAL BANK INSPECTIONS NEED TO BE SCHEDULED THE MORNING PRIOR TO THE CLOSING DATE. IF THE BUYERS LENDING INSTITUTION NEEDS ADDITIONAL TIME, THE DATE OF CLOSING WILL BE EXTENDED. PLEASE ADVISE YOUR LENDER AT THE TIME OF LOAN APPLICATION.  
HOUSE WILL BE BROOM SWEEP CLEAN PRIOR TO CLOSING**

01/30/15 BUYERS Initials \_\_\_\_\_ Date \_\_\_\_\_ Time \_\_\_\_\_







- REQUIREMENTS:**
1. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  2. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  3. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  4. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

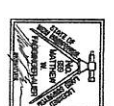
1. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

2. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

3. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

4. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

- NOTES:**
1. REFERENCE TO MAP 6, LOT 9-8
  2. TOTAL AREA: 100,000 SQ. FT. OR 2.30 AC.
  3. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  4. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  5. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  6. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  7. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  8. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  9. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  10. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  11. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  12. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  13. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  14. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  15. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  16. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  17. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.
  18. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.



1. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

2. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

3. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

4. THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE SUBDIVISION ACT, R.S. 48:101-108.

APPROVED DATE: \_\_\_\_\_

PLANNING BOARD: \_\_\_\_\_

THE SUBDIVISION HEREIN IS THE PROPERTY OF THE STATE OF NEW HAMPSHIRE, AND IS BEING OFFERED FOR SALE BY THE STATE OF NEW HAMPSHIRE. THE SUBDIVISION IS BEING OFFERED FOR SALE BY THE STATE OF NEW HAMPSHIRE.

**DOUCET SURVEYORS**

30 NEWMARKET ROAD  
DURHAM, NEW HAMPSHIRE

SEACOAST REPERTORY THEATER  
(MILL POND CENTER)  
50 NEWMARKET ROAD  
DURHAM, NEW HAMPSHIRE

DATE OF: M.W.C. DATE: FEB. 25, 2015

DESIGNED BY: M.L.D. SHEET NO.: 39784

CHECKED BY: J.S.T. SHEET NO.: 39784

DATE: FEB. 25, 2015



NO. DATE	DESCRIPTION	BY

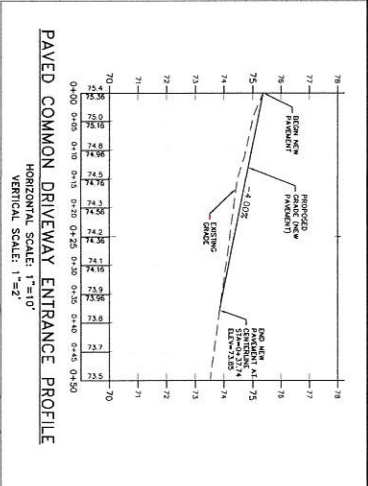
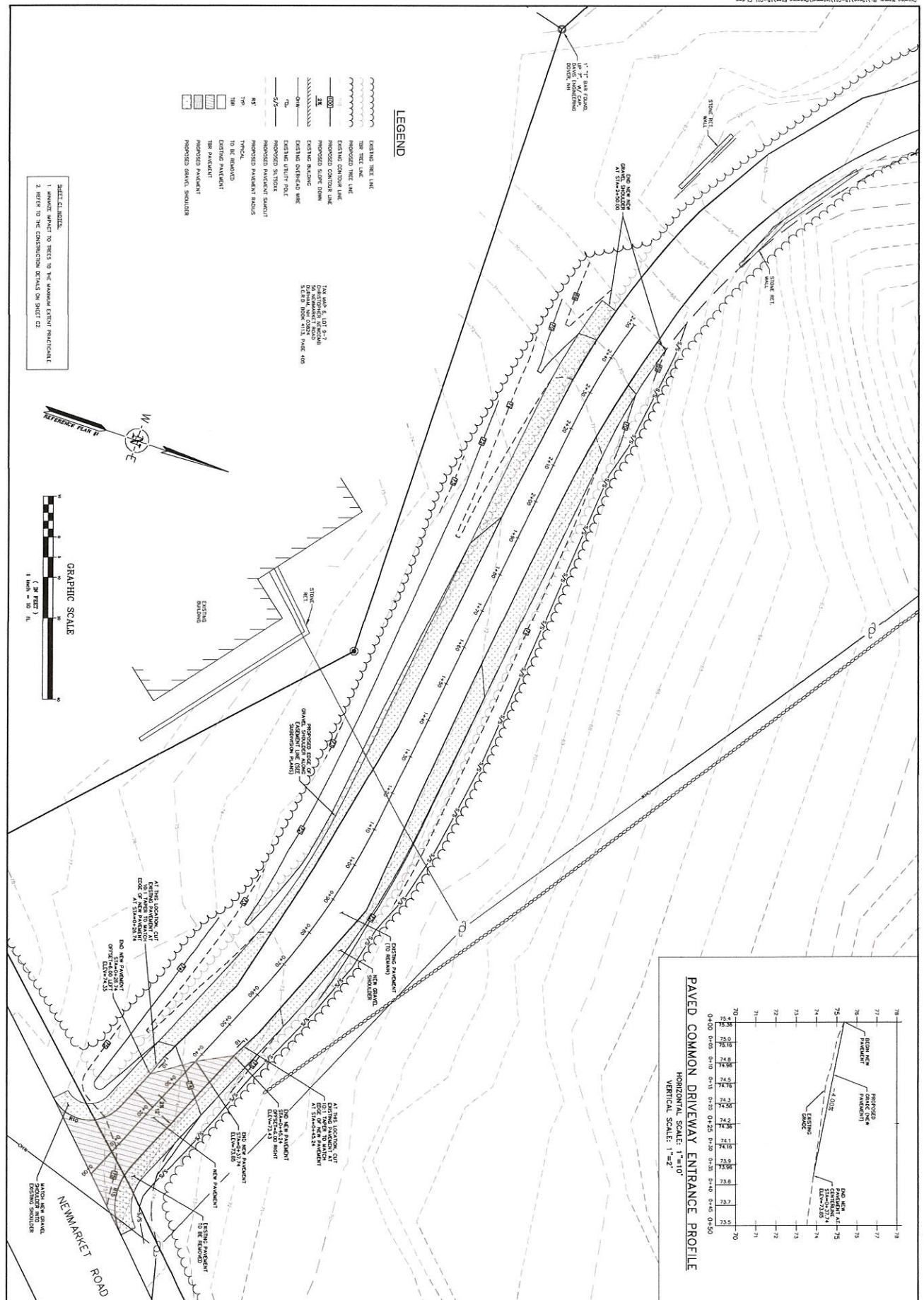
TITLE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

DATE: \_\_\_\_\_

BY: \_\_\_\_\_





**LEGEND**

- EXISTING TIE LINE
- PROPOSED TIE LINE
- EXISTING DRIVE LINE
- PROPOSED DRIVE LINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING PAVEMENT SURFACE
- PROPOSED PAVEMENT SURFACE
- EXISTING DRIVE SHOULDER
- PROPOSED DRIVE SHOULDER
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING DRIVE LINE
- PROPOSED DRIVE LINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING PAVEMENT SURFACE
- PROPOSED PAVEMENT SURFACE
- EXISTING DRIVE SHOULDER
- PROPOSED DRIVE SHOULDER

**GRAPHIC SCALE**  
 1 inch = 20 feet

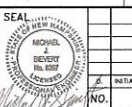
**REFERENCE PLAT N**

**NEWMARKET ROAD**

**MJS ENGINEERING, P.C.**  
 CIVIL • STRUCTURAL • ENVIRONMENTAL  
 5 VARIOUS ST., P.O. BOX 550  
 DURHAM, NH 03824  
 PHONE: (603) 853-0779 FAX: (603) 853-0073  
 WWW: WWW.MJS-ENGINEERING.COM

**COMMON DRIVEWAY PLAN**  
 prepared for  
**HELEN GORANSSON**  
 TAX MAP 6, LOTS 9-8  
 50 NEWMARKET ROAD, DURHAM, NH

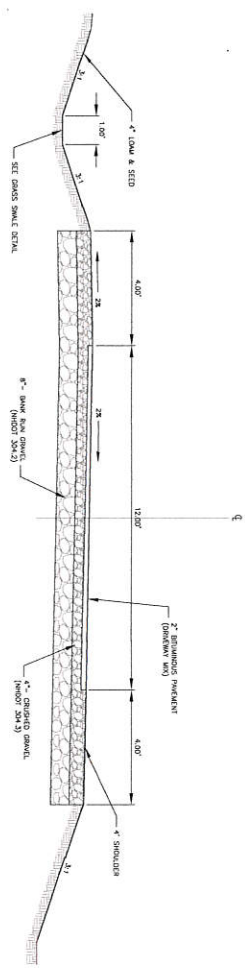
DATE: 2/24/15  
 SCALE: 1"=10'  
 DESIGNED BY: MS  
 DRAWN BY: MS  
 APPROVED BY: MJS  
 DWG FILE: 15-011 C1.dwg



NO.	REVISIONS	DATE	INT.
1	INITIAL SUBMISSION TO DURHAM PLANNING BOARD	2/24/15	MS

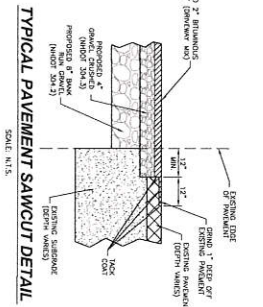
JOB: 15-011  
**C1**



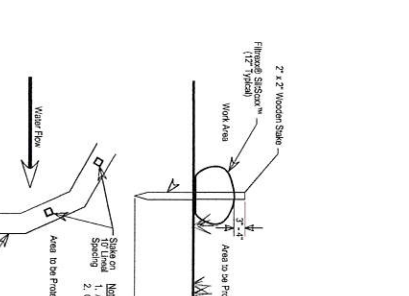


PAVED COMMON DRIVEWAY CROSS SECTION  
N13

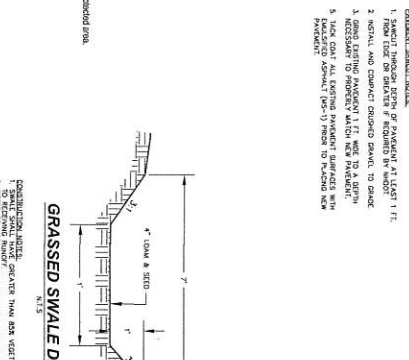
- GENERAL NOTES:**
1. ALL PROPOSED DRIVEWAYS SHALL MEET ALL SPECIFICATIONS AND REQUIREMENTS OF THE DURHAM PLANNING BOARD AND THE DURHAM PLANNING DEPARTMENT. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND PERMANENTLY STABILIZED TOOLS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND PERMANENTLY STABILIZED TOOLS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND PERMANENTLY STABILIZED TOOLS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
  2. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  3. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.



TYPICAL PAVEMENT SAWCUT DETAIL  
SCALE: N13

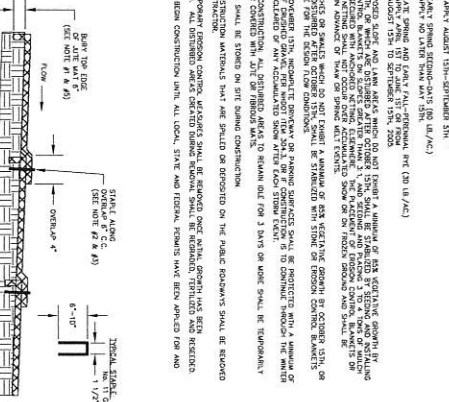


SILT-SOXX DETAIL  
N13



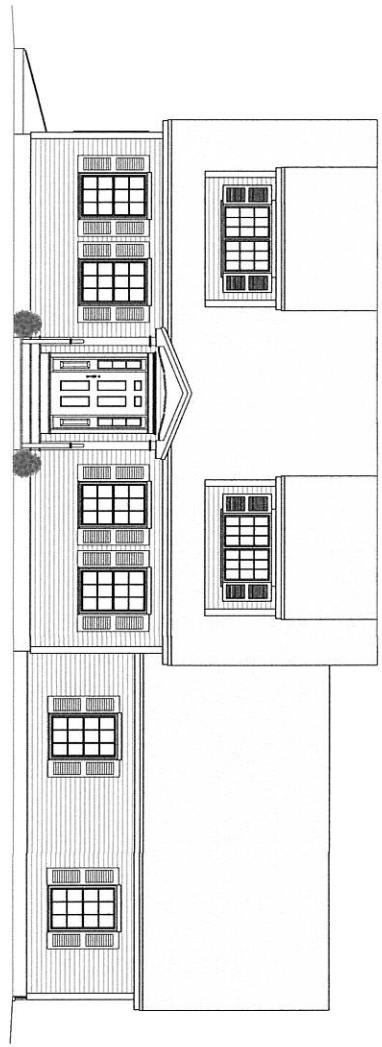
GRASSSED SWALE DETAIL  
N13

- CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES:**
1. ALL PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  2. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  3. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  4. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  5. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  6. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  7. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  8. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  9. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  10. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  11. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  12. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  13. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  14. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  15. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  16. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  17. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  18. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  19. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  20. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.



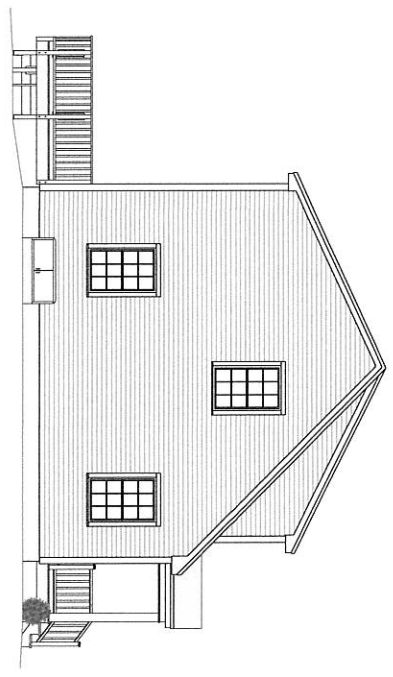
SECTION A-A'  
N13

- CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES:**
1. ALL PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  2. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  3. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  4. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  5. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  6. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  7. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  8. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  9. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  10. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  11. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  12. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  13. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  14. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  15. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  16. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  17. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  18. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  19. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.
  20. ALL DRIVEWAYS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' OVER ALL DISTURBED AREAS WITHIN 72 HOURS OF FINAL GRADING.



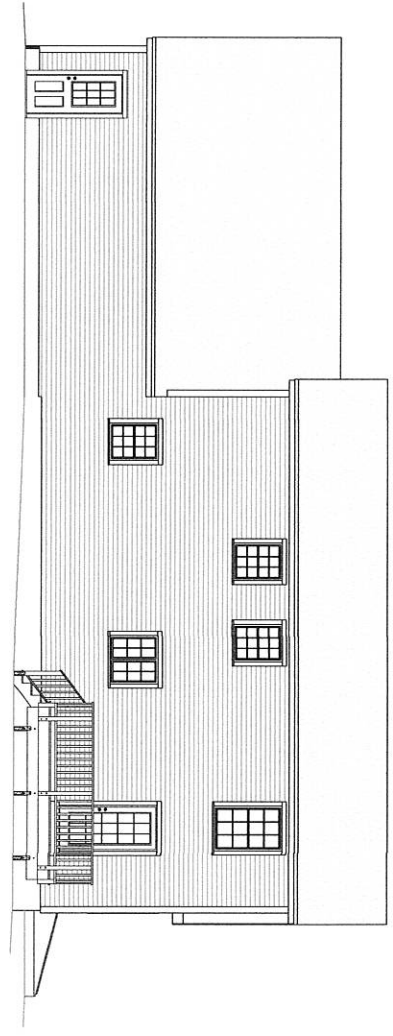
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

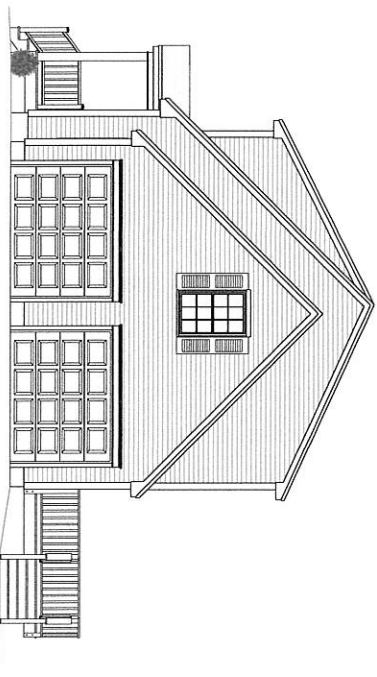
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

ELEVATION GRADES AND FOUNDATION DROPS SHOWN ARE CONCEPTUAL. FOUNDATION DROPS AND GRADE WILL BE DETERMINED ON SITE BY CONTRACTOR



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION

**NEWMARKET PLAINS, LLC.**  
 HOME DESIGN SERVICE  
 NEWMARKETPLAINSLLC@COMCAST.NET  
 WWW.NEWMARKETPLAINSLLC.COM  
 603-659-0385

MEMBER  
**A I**  
 B D  
 AMERICAN INSTITUTE OF  
 BUILDING DESIGN

Langdon Construction, LLC.  
 131 Old Nottingham Road  
 Epping, NH 03042  
 Phone 603-679-1645

SHEET NUMBER  
**A1**

PLAN NUMBER  
**825**









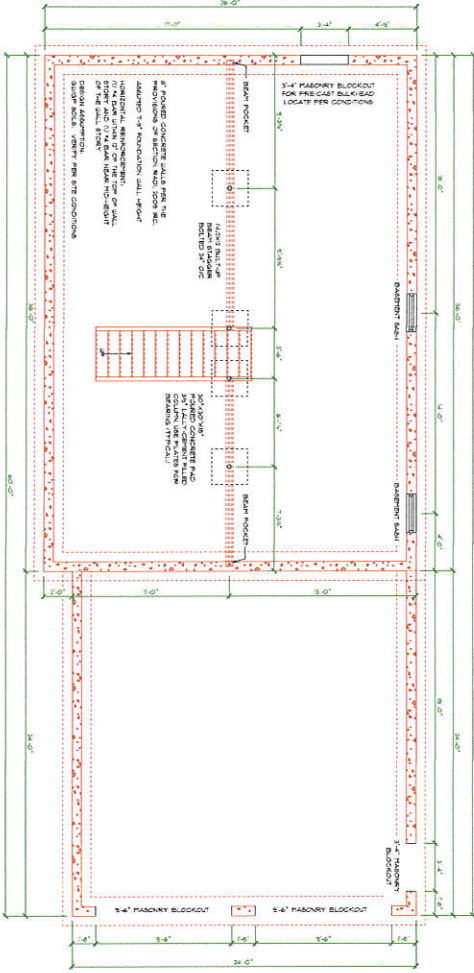


**FOUNDATION NOTES:**

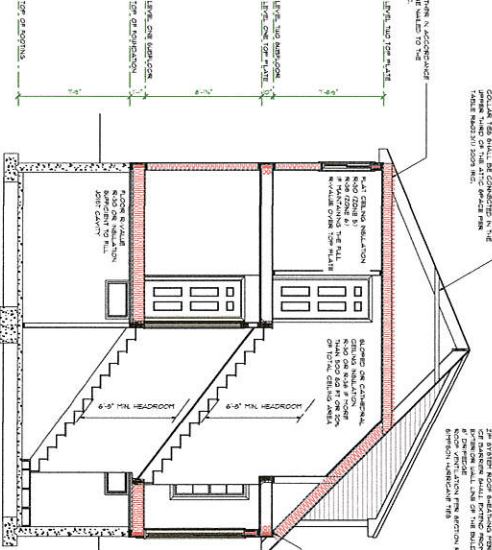
1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
2. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
3. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
4. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
5. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
6. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
7. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
8. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
9. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.
10. ALL FOUNDATION WORK SHALL BE CONFORMED TO ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL GOVERNMENT AND THE APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS.

**CONCRETE FLOOR NOTES:**

1. CONCRETE FLOORING SHALL BE A MINIMUM OF 4 INCHES THICK UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
2. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
3. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
4. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
5. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
6. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
7. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
8. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
9. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.
10. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISHED FLOOR FINISH.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION AT STAIRWELL**  
SCALE: 1/4" = 1'-0"

<p>MEMBER <b>A I B D</b> ARCHITECTURAL INSTITUTE OF BUILDING DESIGN</p>	<p>NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM 603-659-0385</p>	<p>DATE</p>	<p>DESCRIPTION</p>
		<p>SHEET NUMBER</p> <p><b>825</b></p>	<p>PLAN NUMBER</p> <p><b>A5</b></p>
<p>Langdon Construction, LLC. 131 Old Nottingham Road Epping, NH 03042 Phone 603-679-1645</p>			







DATE	DESCRIPTION

Langdon Construction, LLC. 131 Old Nottingham Road Epping, NH 03042 Phone 603-679-1645	SHEET NUMBER <b>A8</b>	PLAN NUMBER <b>825</b>
---	---------------------------	---------------------------

## HANDRAILS

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF STAIRS ON EACH LANDING OR WALKWAY. HANDRAILS SHALL BE PROVIDED VERTICALLY FROM THE BOTTOM FLANGE ACCORDING TO THE HEIGHT NOTATION ON THESE DETAILS. HANDRAILS SHALL BE 1 1/2" TO 2" IN DIAMETER AND SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS.

1. THE USE OF A WOOD FINISH ON STAIRS SHALL BE LIMITED TO THE LOWER TREADS. HANDRAILS SHALL BE PROVIDED VERTICALLY FROM THE BOTTOM FLANGE ACCORDING TO THE HEIGHT NOTATION ON THESE DETAILS. HANDRAILS SHALL BE 1 1/2" TO 2" IN DIAMETER AND SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS.

2. HANDRAILS SHALL BE PROVIDED TO BE INTERFERED BY A MINIMUM OF 1/2" FROM THE FACE OF THE TREADS.

3. THE USE OF A WOOD FINISH ON STAIRS SHALL BE LIMITED TO THE LOWER TREADS.

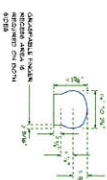
4. HANDRAILS SHALL BE PROVIDED VERTICALLY FROM THE BOTTOM FLANGE ACCORDING TO THE HEIGHT NOTATION ON THESE DETAILS. HANDRAILS SHALL BE 1 1/2" TO 2" IN DIAMETER AND SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS.

5. THE USE OF A WOOD FINISH ON STAIRS SHALL BE LIMITED TO THE LOWER TREADS.

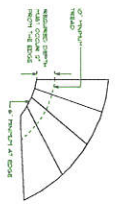
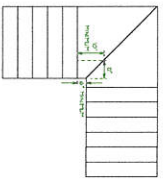
### TYPE I HANDRAIL



### TYPE II HANDRAIL



TYPE I HANDRAILS WITH A FINISHED SURFACE SHALL BE MADE OF ONE PIECE OF WOOD OR METAL. THE FINISHED SURFACE SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS. THE USE OF A WOOD FINISH ON STAIRS SHALL BE LIMITED TO THE LOWER TREADS.



### UNDER TREADS

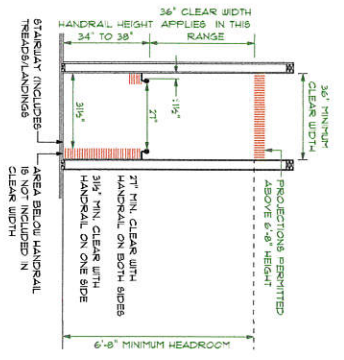
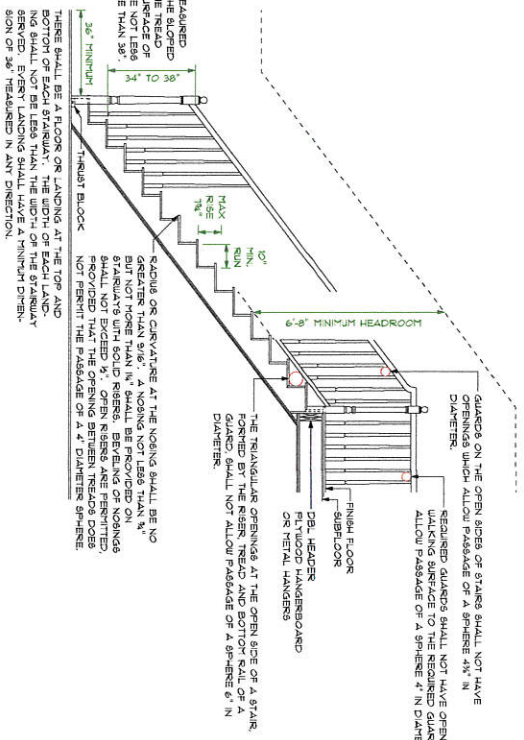
UNDER TREADS SHALL BE PROVIDED ON ALL STAIRS. UNDER TREADS SHALL BE PROVIDED VERTICALLY FROM THE BOTTOM FLANGE ACCORDING TO THE HEIGHT NOTATION ON THESE DETAILS. UNDER TREADS SHALL BE 1 1/2" TO 2" IN DIAMETER AND SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS.

### SPECIAL STAIRWAYS

SPECIAL STAIRWAYS SHALL BE PROVIDED ON ALL STAIRS. SPECIAL STAIRWAYS SHALL BE PROVIDED VERTICALLY FROM THE BOTTOM FLANGE ACCORDING TO THE HEIGHT NOTATION ON THESE DETAILS. SPECIAL STAIRWAYS SHALL BE 1 1/2" TO 2" IN DIAMETER AND SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS.

## STAIR DETAILS

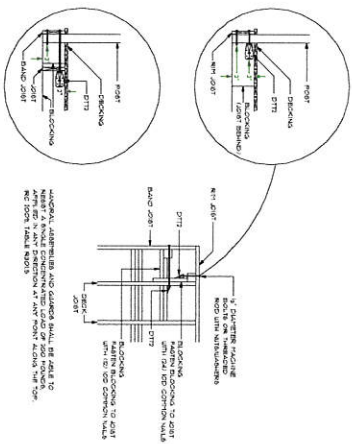
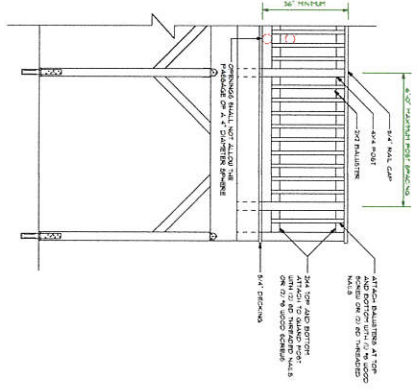
SCALE: 1/2" = 1'-0"  
 STAIR AND BALUSTER SYSTEMS ARE DIAGNOSTIC ONLY  
 STILES AND FINISH PER BUILDING SPECIFICATIONS



## STAIR CLEARANCES

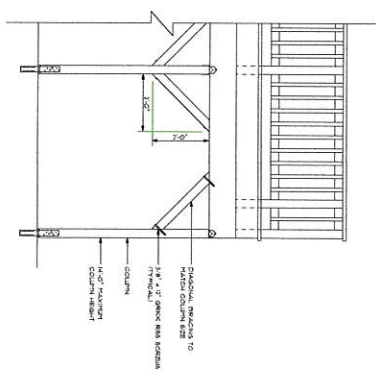
SCALE: 1/2" = 1'-0"





**GUARD REQUIREMENTS**

Guard rails are located along open edges of finished decks. To be code compliant, the guard must be 42\"/>



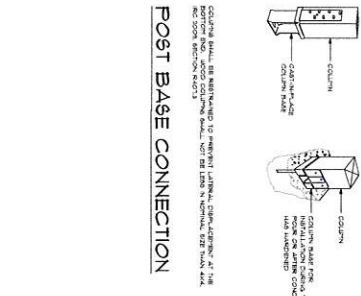
**DIAGONAL BRACING REQUIREMENTS**

**DECK FRAMING DETAILS**

SCALE: 3/4\"/>

**GENERAL DECK NOTES**

- 1. All deck railing posts and rails shall meet or exceed the requirements of the International Building Code (IBC) and the International Residential Code (IRC).
- 2. All deck railing posts and rails shall be installed in accordance with the manufacturer's instructions.
- 3. All deck railing posts and rails shall be installed in accordance with the manufacturer's instructions.
- 4. All deck railing posts and rails shall be installed in accordance with the manufacturer's instructions.



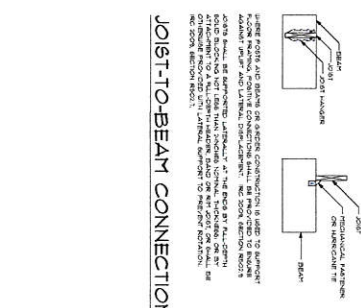
**POST TO POST CONNECTION**

Post-to-post connections are required to meet the requirements of the International Building Code (IBC) and the International Residential Code (IRC).



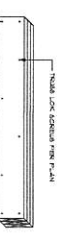
**BEAM-TO-POST CONNECTION**

Beam-to-post connections are required to meet the requirements of the International Building Code (IBC) and the International Residential Code (IRC).



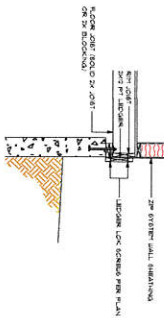
**JOINT-TO-BEAM CONNECTION**

Joint-to-beam connections are required to meet the requirements of the International Building Code (IBC) and the International Residential Code (IRC).

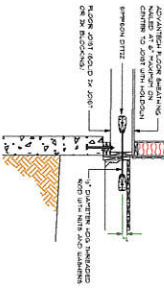


**BEAM ASSEMBLY**

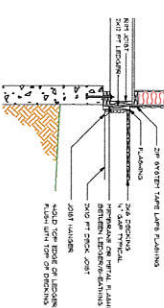
Beam assemblies are required to meet the requirements of the International Building Code (IBC) and the International Residential Code (IRC).



**LEDGER ATTACHMENT**



**LATERAL LOAD CONNECTION**



**DECK FLASHING**

<p>Langdon Construction, LLC. 131 Old Nottingham Road Epping, NH 03042 Phone 603-679-1645</p>		<p>DATE</p>	<p>DESCRIPTION</p>	<p>MEMBER <b>A I B D</b> AMERICAN INSTITUTE OF BUILDING DESIGNERS</p>
<p>SHEET NUMBER <b>A9</b></p>	<p>PLAN NUMBER <b>825</b></p>	<p>NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE</p>	<p>NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM 603-659-0385</p>	















