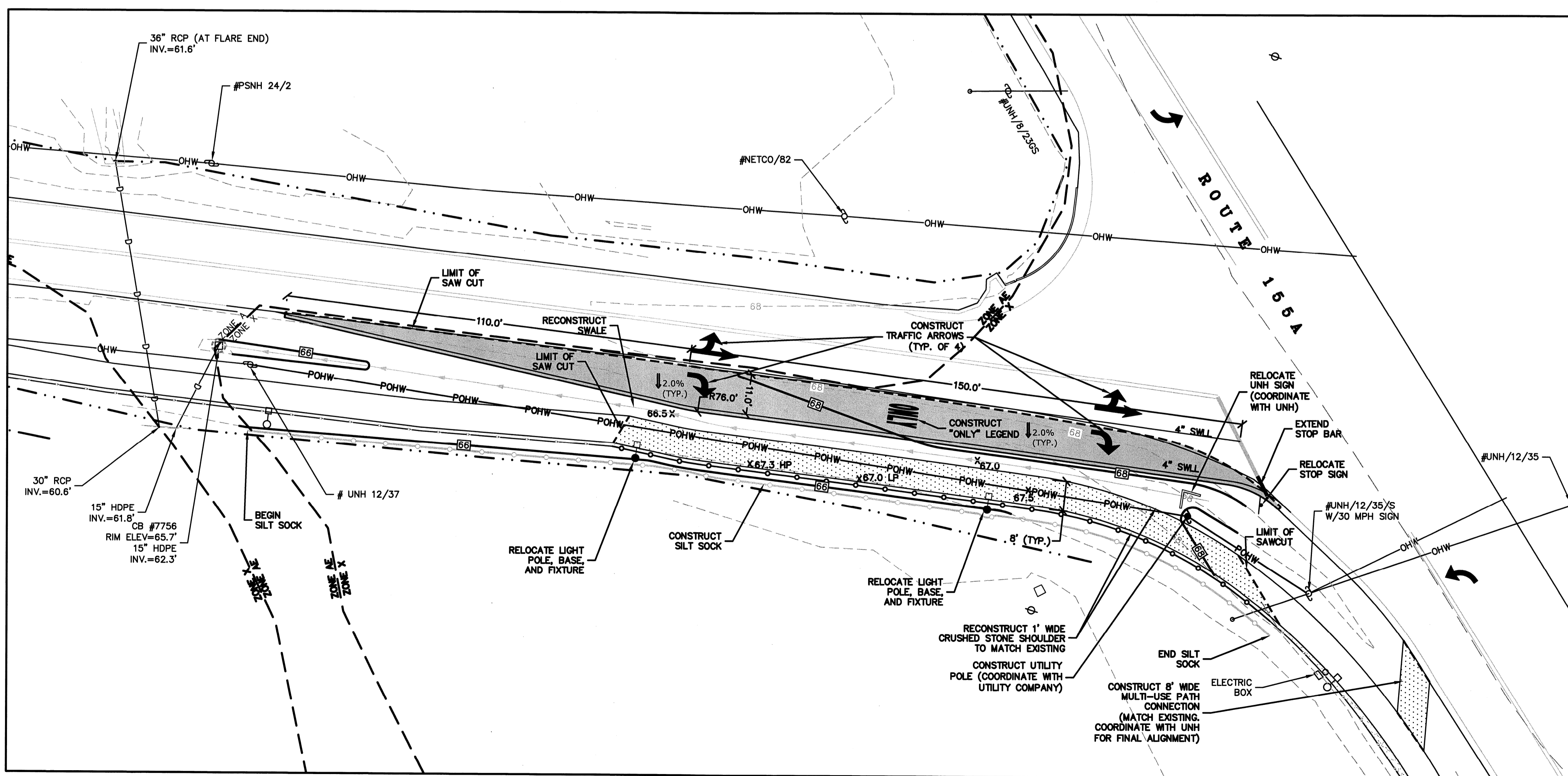
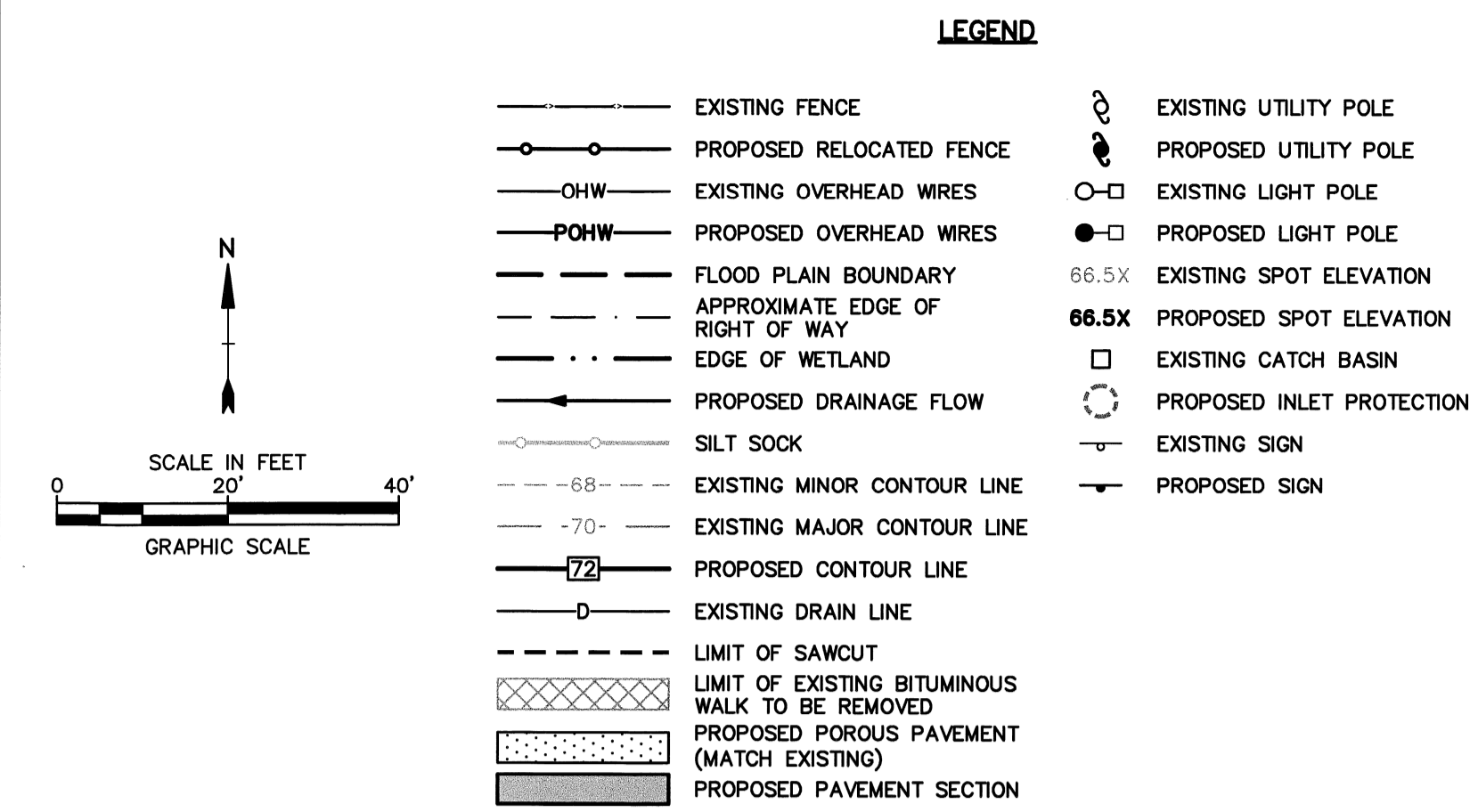


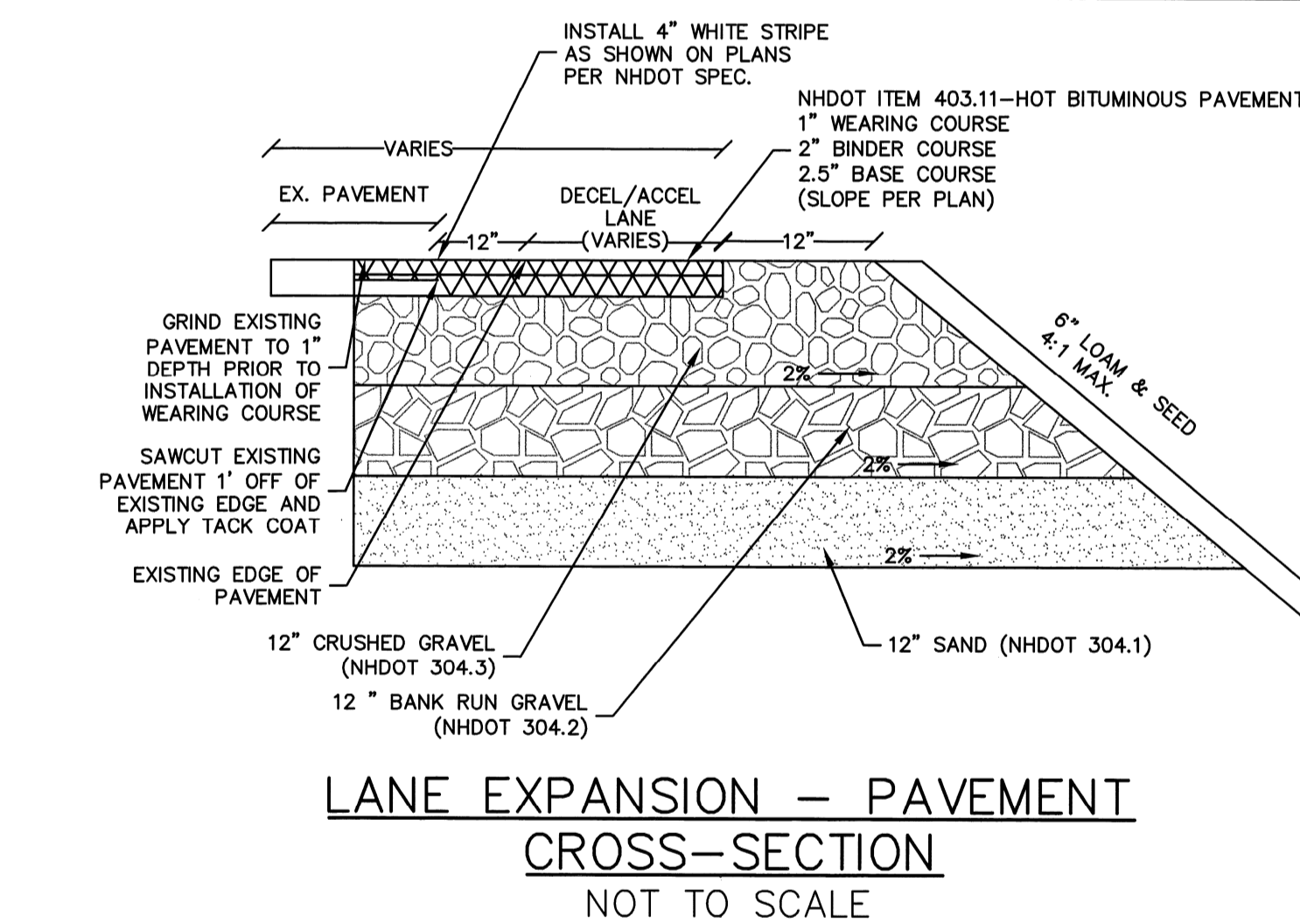
EXISTING CONDITIONS/DEMOLITION PLAN



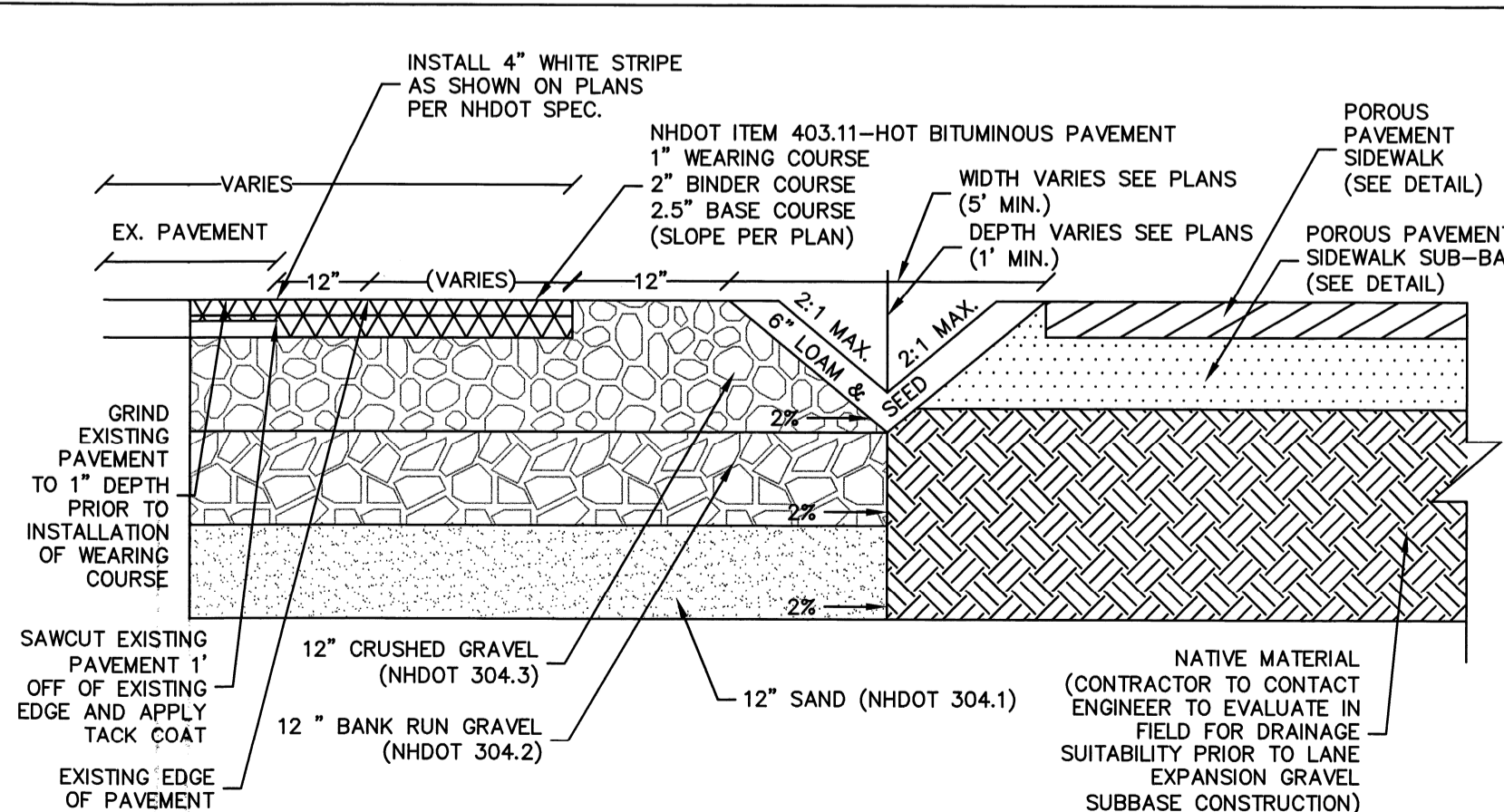
SITE PLAN



- NOTES:**
1. PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS AND LEGENDS SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO AASHTO M249. PARKING SPACES AND PAINTED ISLANDS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINES AND MEDIAN ISLANDS SHALL BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
  2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITIONS.
  3. LANE LINES SHALL BE FOUR (4) INCH WIDE WHITE LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
  4. THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
  5. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
  6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR TOWN CODES & SPECIFICATIONS.
  7. WORK WITHIN MAST ROAD SHALL BE COORDINATED WITH TOWN OF DURHAM AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION DEPARTMENT, NHDOT.
  8. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
  9. FLOODPLAIN BOUNDARY AND FLOOD HAZARD ZONE SHOWN IS PER FIRM MAP #33017003140, DATED 5/17/05.
  10. FIELD SURVEY PERFORMED BY DOUCET SURVEY, INC. USING A TRIMBLE 5603 DR 200 PLUS TOTAL STATION WITH A RANGER TDS DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
  11. THE EDGE OF MAST ROAD RIGHT OF WAY SHOWN HEREON IS BASED ON PHYSICAL EVIDENCE IN THE



LANE EXPANSION - PAVEMENT CROSS-SECTION NOT TO SCALE



LANE EXPANSION - PAVEMENT CROSS-SECTION WITH SIDEWALK NOT TO SCALE

**Peak Campus Development, LLC**

The Lodges at West Edge

Durham, NH

Mark	Date	Description
D	6/11/13	ISSUED FOR BUILDING PERMIT
C	5/9/13	REVISED PER NHDOT COMMENT
B	3/8/13	PRIOR TO CONDITIONAL APPROVAL
A	1/23/13	FOR NHDOT SUBMISSION

PROJECT NO: P0637  
 FILE: P0637\_SITE\_INT.DWG  
 DRAWN BY: CML  
 CHECKED: JMP2  
 APPROVED BY: GMM

SCALE: AS SHOWN

SHEET 28

Jun 11, 2013 2:22pm Plotted By: JMP2  
 Tighe & Bond, Inc. 210 P0637 Peak Campus Development - Durham, NH - Mast Road Student Housing (DWG-CAD) DESIGN P0637 SITE\_INT.DWG Layout: TURNING LANE