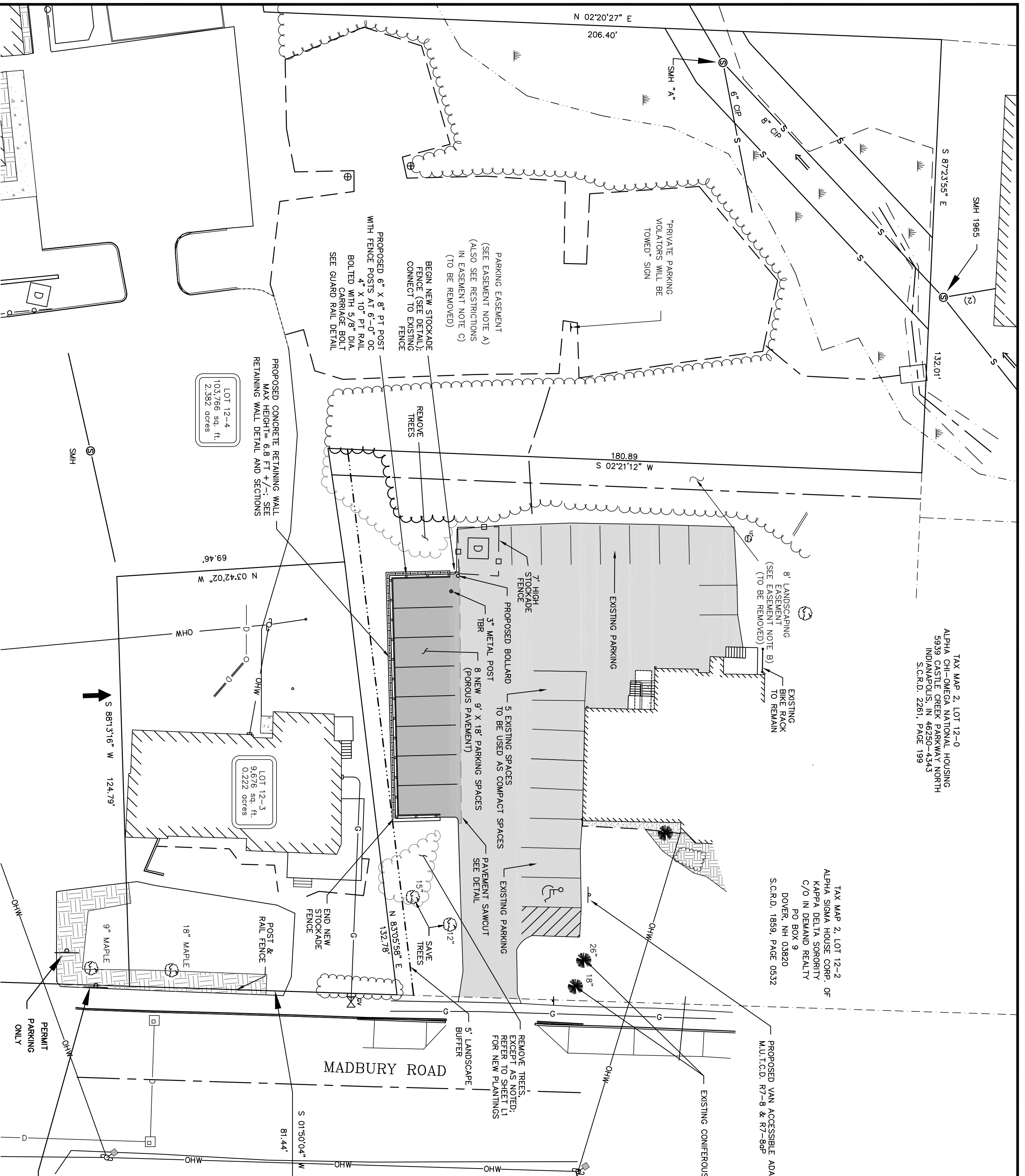


TAX MAP 2, LOT 12-0
 ALPHA CHI-OMEGA NATIONAL HOUSING
 5939 CASTLE CREEK PARKWAY NORTH
 NEW MARKET, NH 03857
 S.C.R.D. 2261, PAGE 199

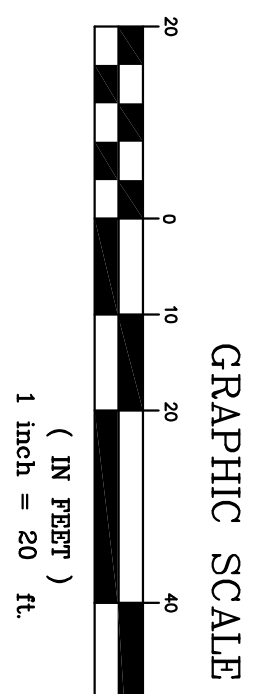
TAX MAP 2, LOT 12-2
 ALPHA SIGMA HOUSE CORP. OF
 KAPPA DELTA SORORITY
 C/O IN DEMAND REALTY
 DOVER, NH 03820
 S.C.R.D. 1899, PAGE 0532

TAX MAP 2, LOT 11-6
 SUMNER PROPERTIES, LLC
 433, ROUTE 108
 SOMERSWORTH, NH 03878
 S.C.R.D. 2337, PAGE 574



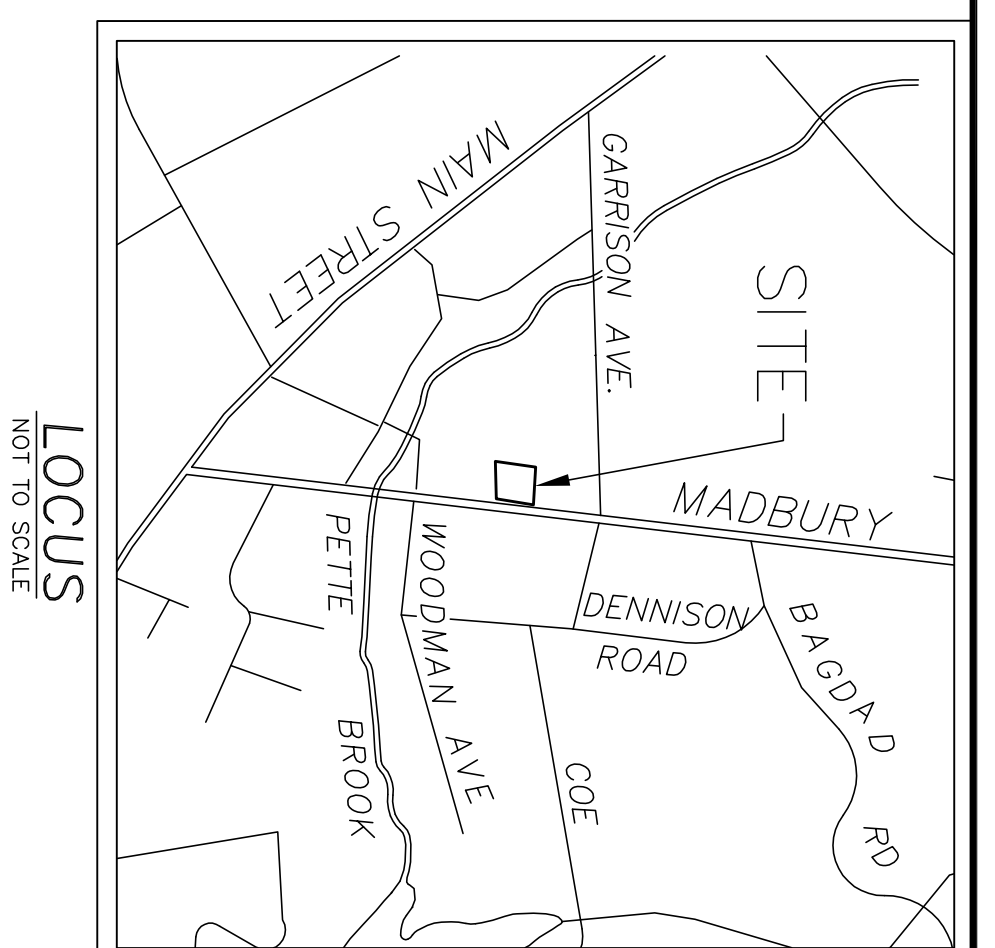
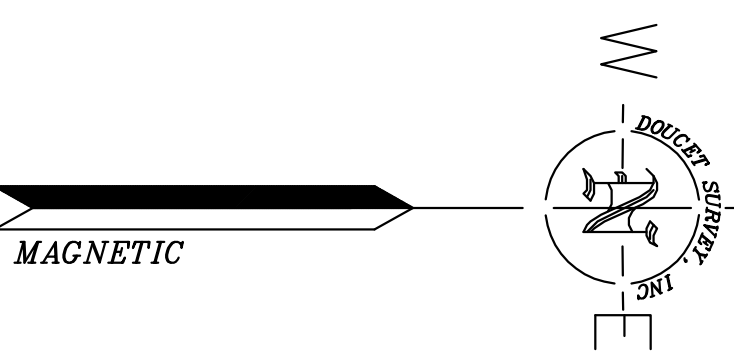
UTILITIES NOTE:
 ALL ELECTRIC, GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. LOCATE THE ABOVE SERVICES IN ACCORDANCE WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATION FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE: 1-888-DIG-SAFE (1-888-344-7233)

FINAL APPROVAL BY THE DURHAM PLANNING BOARD.
 CERTIFIED BY _____
 DATE _____



LEGEND

- UTILITY POLE & GUY WIRE
- UTILITY POLE W/ ONE LIGHT
- SIGN
- GAS GATE VALVE
- METAL POST
- JURISDICTIONAL WETLAND SYMBOL
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- CONCRETE PAD
- LANDSCAPED AREA
- DUMPSTER
- OVERHEAD WIRES
- APPROX. ABUTTERS LOT LINE
- APPROX. PROPERTY LINES
- TREE LINE
- STONE WALL
- EDGE OF JURISDICTIONAL WETLAND
- APPROX. FLOOD ZONE LINE
- SEWER LINE
- DRAIN LINE
- GAS LINE (APPROX.)
- PROPOSED EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT
- EDGE OF PAVEMENT



SITE DATA BLOCK

PLAN INTENT: TO CONSTRUCT 8-9'X18' PARKING SPACES TO REPLACE THE 8 SPACES CURRENTLY OCCUPYING THE SUBJECT LOT (12-2) HAS BEEN REMOVED ALONG WITH THE 8' WIDE LANDSCAPING EASEMENT (REF. IN EASEMENT NOTE B).
 ZONE: C3 (CENTRAL BUSINESS)
 DIMENSIONAL REQUIREMENTS:
 MIN. LOT AREA 5,000 sq.ft.
 MIN. FRONT/REAR SETBACK N/A
 SETBACK REQUIREMENTS ARE OUTLINED IN THE "DEVELOPMENT STANDARD" SECTION OF THE DURHAM ZONING ORDINANCE.
 THE PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE ZONING REGULATIONS NOT OUTLINED ABOVE.

GENERAL NOTES:

1. OWNER OF RECORD: CORP. OF KAPPA DELTA SORORITY, C/O IN DEMAND REALTY, P.O. BOX 91, DOVER, NH 03820, S.C.R.D. 1899, PAGE 0532
2. LOT AREA: 0.63 ACRES (27429± SF.)
3. REFERENCE: KAPPA DELTA SORORITY
4. FIELD SURVEY PERFORMED BY J.M.L. & L.P.S. DURING 08/13 USING A GEODEMETER 600 PRO TOTAL STATION WITH A TDS RANGING DATA COLLECTOR AND A SOKKIA BRAVATO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
5. HORIZONTAL DATUM IS BASED ON MAGNETIC ORIENTATION (1999).
6. VERTICAL DATUM IS BASED ON MAND98 PER DISK UNK3 ELEV.=76.72'.
7. REFER TO LANDSCAPE PLAN (SHEET 11) FOR PROPOSED PLANTINGS (NOT SHOWN ON THIS PLAN).
8. AT A LOCATION DEEMED SUITABLE BY THE TOWN, A SIGN SHALL BE PROVIDED WHICH SHALL STATE THE FOLLOWING:
 NOTE: POROUS ASPHALT PAVEMENT FOR STORMWATER MANAGEMENT. SEMI-ANNUAL VACUUMING IS REQUIRED. THE FOLLOWING ARE PROHIBITED: WINTER SANDING, SEAL COATING, TRACTOR TRAILERS/HEAVY LOAD VEHICLES, HANDLING OF HAZARDOUS MATERIALS.
 9. A REPRESENTATIVE FROM THE TOWN SHALL INSPECT ALL CLEARING LIMITS PRIOR TO ANY TREE CUTTING.
 10. IF CONSTRUCTION OCCURS DURING THE WINTER, POROUS ASPHALT PAVEMENT WORK WILL NEED TO BE COMPLETED AT A LATER DATE. PRIOR TO THIS WORK, ANY EXISTING UTILITIES SHALL BE RELOCATED. PARTICULARLY, THIS REFERS TO SEWERS ACCUMULATING WITHIN THE CRUSHED STONE SUBGRADE.
 11. FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 15 NEWMARKET ROAD, DURHAM, NH 03824, (603) 868-8064.
 12. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 6:00 PM SATURDAY.
 13. IF CONSTRUCTION OCCURS IN THE FALL/WINTER THEN REMOVAL OF THE SUBBASE MATERIAL WILL BE REQUIRED PRIOR TO PLACEMENT OF THE POROUS ASPHALT. REFER TO NOTE 10 FOR ADDITIONAL INFORMATION.

PARKING CALCULATIONS:

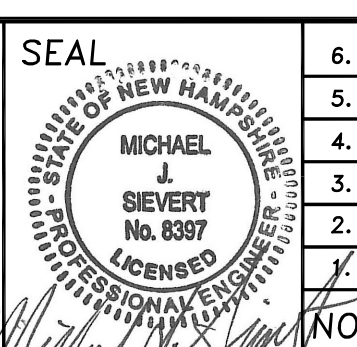
SORORITIES: 1 PER RESIDENT
 MAX RESIDENTS: 42
 REQUIRED PARKING: 42 SPACES
 PROVIDED PARKING: 24 SPACES
 * THIS PROPOSAL DOES NOT CHANGE THE OCCUPANCY AT THE SITE. THE NUMBER OF PARKING SPACES CURRENTLY PROVIDED FOR THE SORORITY USE IS 24 WITH 8 SPACES CURRENTLY ON THE ADJACENT PARCEL AT 17 MADBURY ROAD.

EASEMENT NOTES:

- A) SUBJECT TO A PARKING EASEMENT IN FAVOR OF TAX MAP 2, LOT 12-2.
- B) IN BENEFIT OF AN 8' WIDE LANDSCAPING EASEMENT OVER TAX MAP 2, LOT 12-2, SEE S.C.R.D. BOOK 1060 PAGE 320.
- C) SUBJECT TO THE RESTRICTION THAT THE NORTHERLY PORTION OF THE LOT, INCLUDING THAT ACQUIRED BY DEED 1060 PAGE 313, SHALL BE USED ONLY AS PARKING AND SHALL BE RESTRICTED TO REFERENCE PLAN #7. THIS PARCEL IS A NON-BUILDING LOT.

PROPOSED SITE PLAN
 prepared for
 KAPPA DELTA SORORITY
 (TAX MAP 2, LOT 12-2)
 25 MADBURY ROAD DURHAM, NH

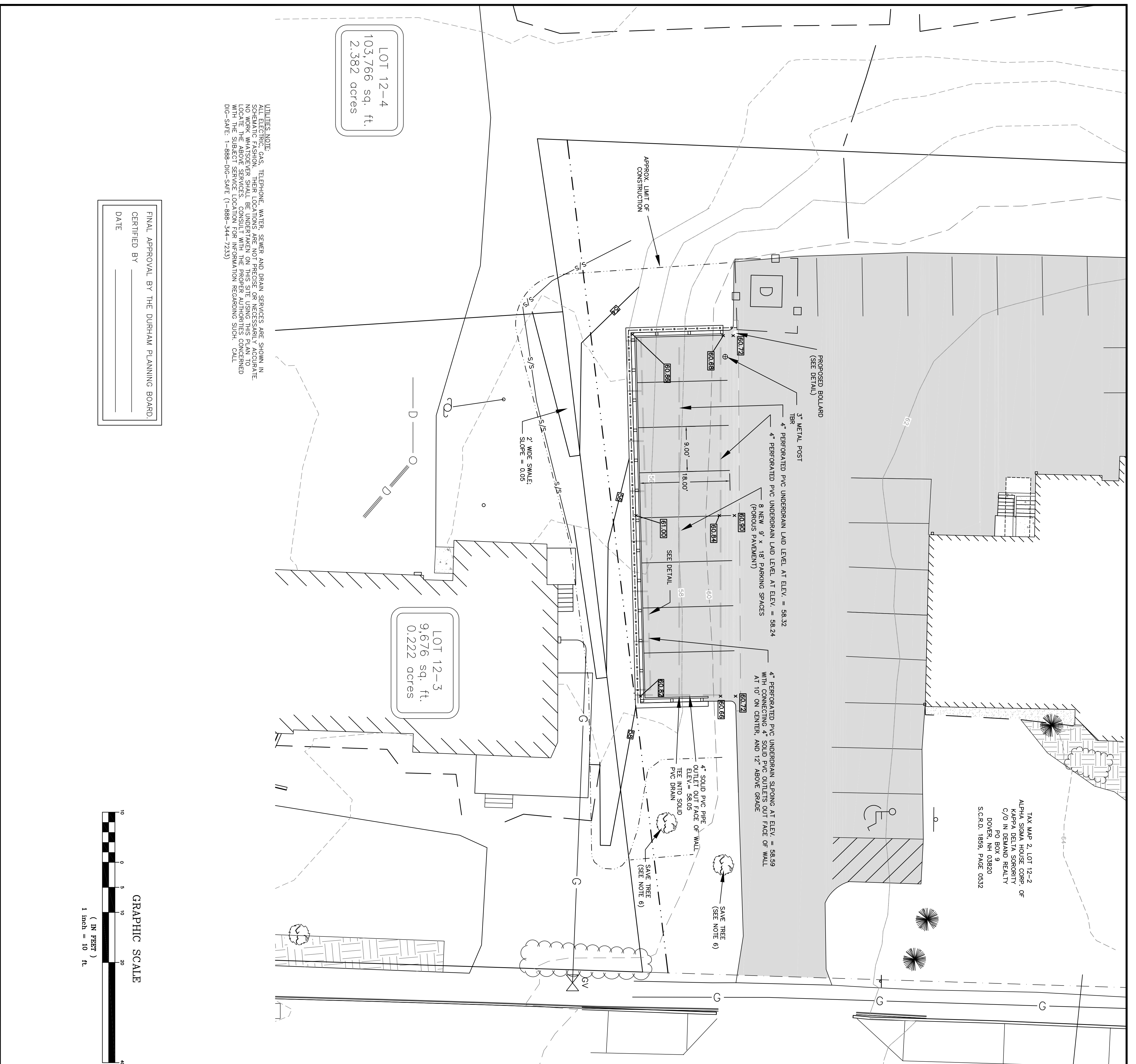
DATE: 9/4/13
 SCALE: 1"=20'
 DESIGNED BY: KD
 DRAWN BY: KD
 APPROVED BY: MJS
 DWG FILE: 13-040



NO.	REVISIONS	DATE	INT.
6.	REVISED PER FINAL CONDITIONS OF APPROVAL LETTER FROM MICHAEL BEHRENDT	5/6/14	KD
5.	REVISED PER FINAL CONDITIONS OF APPROVAL	3/26/14	JLG
4.	REVISED PER PLANNER RECOMMENDATIONS	11/1/13	JLG
3.	REVISED PER PLANNER RECOMMENDATIONS	10/2/13	JLG
2.	INITIAL SUBMISSION TO DEPARTMENT OF PUBLIC WORKS	9/24/13	KD
1.	REVISION PER TRG REVIEW ON (9-17-13)	9/20/13	KD

MJS ENGINEERING, PC
 CIVIL ENVIRONMENTAL CONSULTING ENGINEERING
 5 RAILROAD ST., P.O. Box 359
 NEW MARKET, NH 03857
 PHONE: (603) 659-4979, FAX: (603) 659-4627
 E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 13-040
 C1



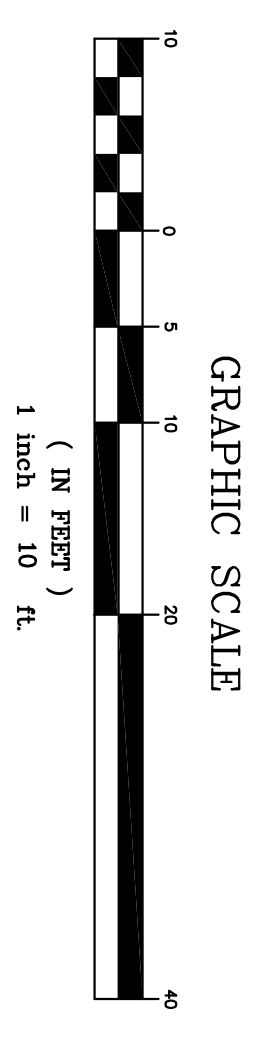
LOT 12-4
103,766 sq. ft.
2.382 acres

LOT 12-3
9,676 sq. ft.
0.222 acres

UTILITIES NOTE:
ALL UTILITIES (GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH ANY UTILITIES BEFORE ANY CONSTRUCTION BEGINS. FOR ADDITIONAL INFORMATION CONTACT: DIC-SAFE: 1-888-DIC-SAFE (1-888-344-7233)

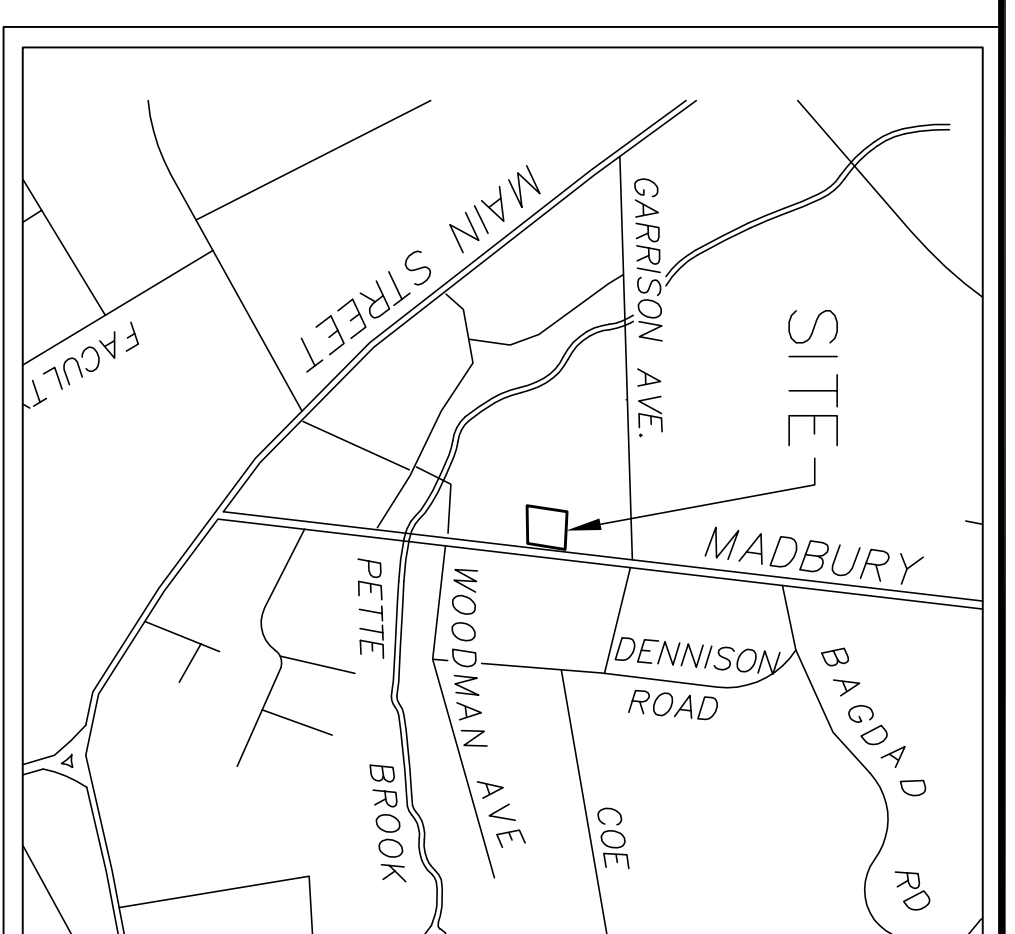
FINAL APPROVAL BY THE DURHAM PLANNING BOARD:
CERTIFIED BY _____
DATE _____

TAX MAP 2, LOT 12-2 OF ALPHA WOODMAN REALTY C/O IN DEMAND REALTY PO BOX 9 DOVER, NH 03820 S.C.R.D. 1895, PAGE 0532



MADBURY ROAD

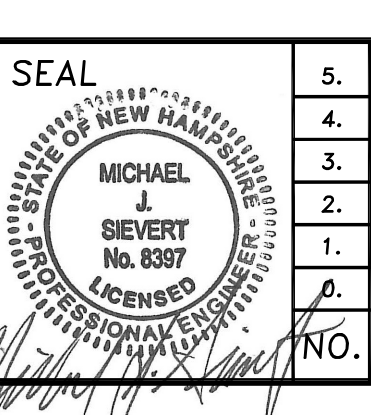
- LEGEND**
- UTILITY POLE & GUY WIRE
 - UTILITY POLE W/ ONE LIGHT
 - SIGN
 - METAL POST
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - SHRUB
 - CONCRETE PAD
 - LANDSCAPED AREA
 - DUMPSTER
 - APPROX. ABUTTERS LOT LINE
 - STONE WALL
 - APPROX. PROPERTY LINES
 - EDGE OF JURISDICTIONAL WETLAND
 - APPROX. FLOOD ZONE LINE
 - SEWER LINE
 - DRAIN LINE
 - GAS LINE (APPROX.)
 - PROPOSED SPOT GRADE
 - PROPOSED CONTOUR LINE
 - PROPOSED SILT SOCK



- GRADING & EROSION CONTROL NOTES:**
- SILT SOCK SHALL BE PLACED AROUND WALL CONSTRUCTION AREA.
 - ALL DISTURBED AREAS NOT PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" OF LOAM, SEED AND MULCH AS SPECIFIED IN LANDSCAPE PLAN FOR PLANTING LOCATIONS. (SEE SHEET 01.) (SEE COMPACTATION REQUIREMENT.)
 - COMPACTATION REQUIREMENT:
 - LOCATION: MINIMUM COMPACTATIONS:
 - BELOW PAVED OR CONCRETE AREAS: 95%
 - TRENCH BEDDING MATERIAL AND BELOW DAM AND SEED AREAS: 92%
 - * ALL PERCENTAGES OF COMPACTATION SHALL BE MAXIMUM DRY DENSITY.
 4. REFER TO EROSION CONTROL NOTES ON SHEET 01.
 5. EROSION CONTROL MEASURES SHALL RECEIVE TEMPORARY LANDSCAPE PLAN FOR PLANTING LOCATIONS.
 6. ORANGE FLAGGING SHALL BE PLACED ON TREES TO BE SAVED AND AT CLEARING LIMITS. REFER TO GENERAL NOTE 9 FOR ADDITIONAL REQUIREMENTS.

GRADING & DRAINAGE PLAN
prepared for
KAPPA DELTA SORORITY
(TAX MAP 2, LOT 12-2)
25 MADBURY ROAD DURHAM, NH

DATE: 9/4/13
SCALE: 1"=10'
DESIGNED BY: KD
DRAWN BY: KD
APPROVED BY: MJS
DWG FILE: 13-040



NO.	REVISIONS	DATE	INT.
5.	REVISED PER FINAL CONDITIONS OF APPROVAL LETTER FROM MICHAEL BEHRENDT	5/6/14	KD
4.	REVISED PER FINAL CONDITIONS OF APPROVAL	3/26/14	JLG
3.	REVISED PER PLANNER RECOMMENDATIONS	11/1/13	JLG
2.	REVISED PER PLANNER RECOMMENDATIONS	10/2/13	JLG
1.	INITIAL SUBMISSION TO DEPARTMENT OF PUBLIC WORKS	9/24/13	KD
0.	INITIAL SUBMISSION TO PLANNING BOARD	9/4/13	KD

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CIVIL ENVIRONMENTAL CONSULTING ENGINEERING
5 RAILROAD ST., P.O. BOX 359 NEWHAMPTON, NH 03857
PHONE: (603) 659-4279, FAX: (603) 659-4627
E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 13-040
C2

CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES:

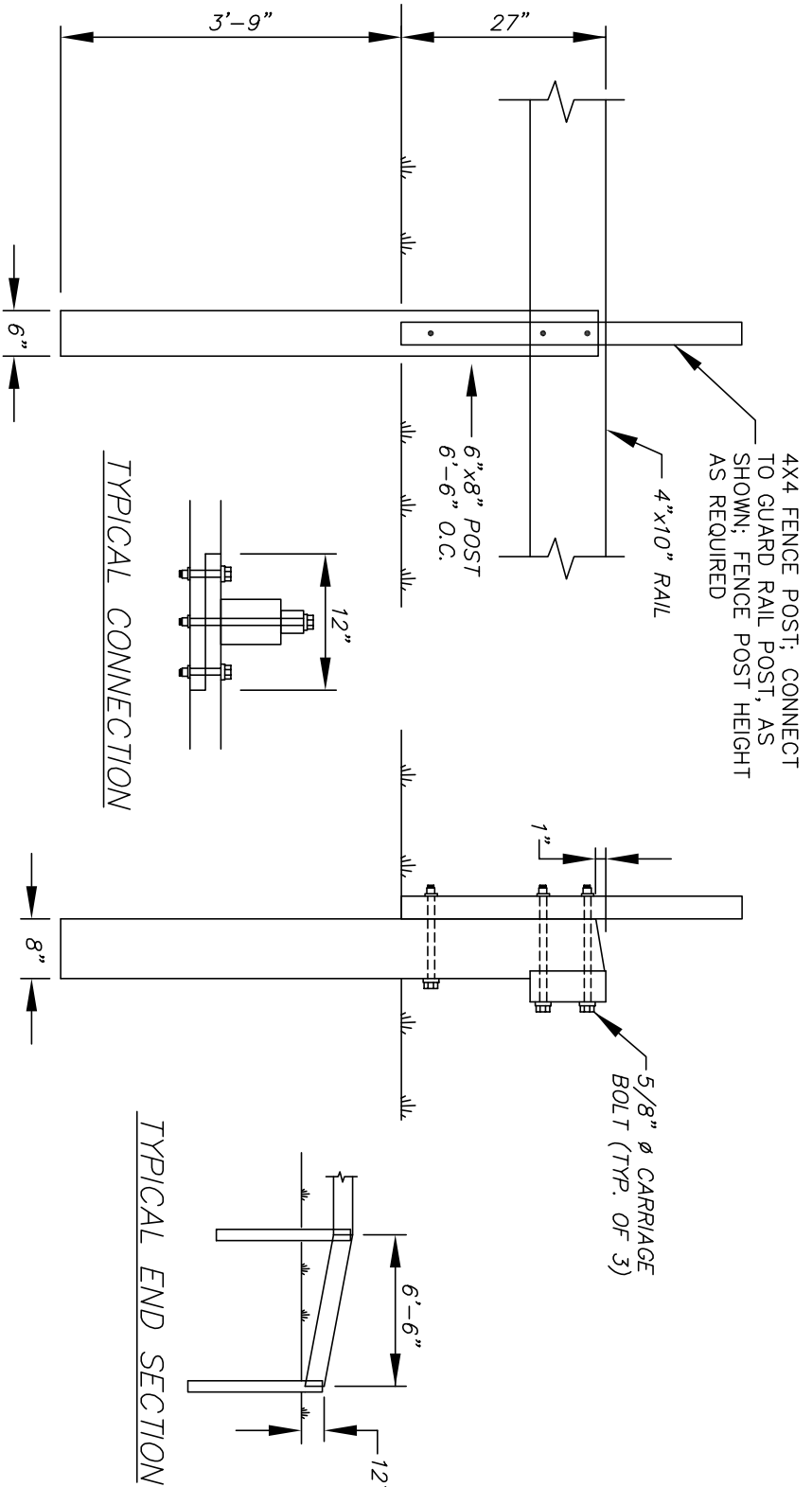
- AREA OF DISTURBANCE/STABILIZATION**
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - CONSTRUCTION HAS COMPLETED AND THE DISTURBED AREA IS RESTORED TO ORIGINAL OR BETTER CONDITION.
 - CONSTRUCTION 2006 ITEM NO. 304.1 OR 304.2 HAVE BEEN INSTALLED.
 - A MINIMUM OF 65% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - EROSION CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH ENV-WO 1506.03.
 - ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITHIN 45 DAYS AND PERMANENTLY STABILIZED NO LATER THAN 3 DAYS AFTER FINAL GRADING.

EROSION CONTROL PRACTICES

- INSTALLATION:** ALL EROSION CONTROL AS SHOWN ON THE GRADING PLAN, TYPICAL DETAILS, AND IN CONFORMANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES ON THIS PAGE. MANUFACTURER'S SPECIFICATIONS SHALL BE FOLLOWED.
 - INSPECT ALL EROSION CONTROLS WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5 INCHES OR GREATER UNLESS OTHERWISE NOTED.
 - MAINTENANCE: EROSION CONTROL MEASURES SHALL BE MAINTAINED ONCE PER WEEK DURING CONSTRUCTION UNTIL EXPOSED SURFACES ARE STABILIZED.
 - ANY SIGNS OF RILL OR GULLY EROSION SHALL BE IMMEDIATELY REPAIRED.
 - MAINTENANCE: EROSION CONTROL PER THE TYPICAL DETAILS AND IN CONFORMANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES ON THIS PAGE.
 - REMOVAL: TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE 85% VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - AFTER REMOVAL, ALL DISTURBED AREAS SHALL BE REPAIRED, FERTILIZED, AND RESEED. MONITOR TO ENSURE VEGETATIVE GROWTH IS ESTABLISHED AND REPAIR AS NEEDED UNTIL MINIMUM OF 85% VEGETATIVE COVER IS ESTABLISHED.
- EROSION CONTROL NOTES**
 - PERMANENT SEEDING OF DISTURBED AREAS, AND MULCHED WITH THE FOLLOWING SEED MIXTURES OR EQUIVALENT BETWEEN APRIL 15TH AND OCTOBER 15TH, WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - APPLY LIME (EQUIVALENT TO 50 PERCENT CALCIUM HYDROXIDE) AT A RATE OF 3 TONS PER ACRE.
 - APPLY LIME (EQUIVALENT TO 50 PERCENT CALCIUM HYDROXIDE) AT A RATE OF 3 TONS PER ACRE.
 - MULCH AT 1.5-2.0 TONS/AC.
 - TEMPORARY SEEDING OF DISTURBED AREAS & TEMPORARILY STABILIZED SHALL BE SEED MIXTURES AS SHOWN IN THE FOLLOWING TABLE. SEED MIXTURES IF LEFT UNMULCHED FOR MORE THAN 14 DAYS.

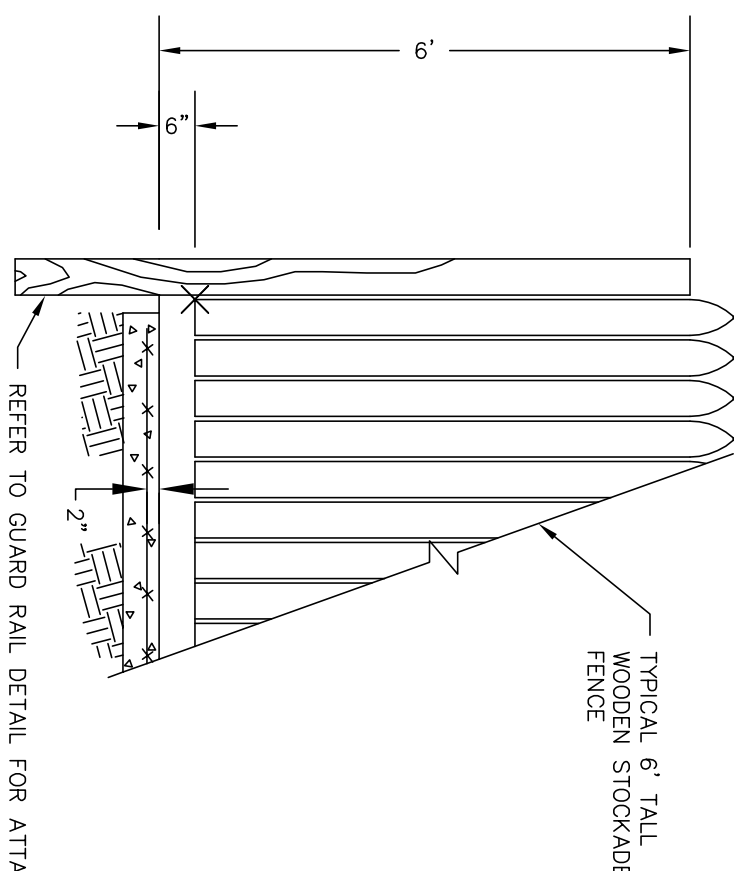
SEASON	APPLICATION DATE	MIXTURE TYPE	QUANTITY (lb./Ac.)
EARLY SPRING	NO LATER THAN 5/15	OATS	80
LATE SPRING/ FALL	4/1 TO 6/7 & 8/15 TO 9/15	PERENNIAL RYE	30
EARLY SPRING/ FALL	4/1 TO 5/15 & 8/15 TO 9/15	ANNUAL RYE	40
FALL	8/15 TO 9/15	WINTER RYE	112

- ADDITIONAL NOTES:**
- ALL CONSTRUCTION MATERIALS THAT ARE SPILLED OR DEPOSITED ON THE PUBLIC ROADWAY SHALL BE REMOVED BY THE CONTRACTOR.
 - LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 - DURING CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.



GUARD RAIL

SCALE: 1/2" = 1'-0"
 1. WHERE GUARD RAIL POSTS ARE LOCATED DIRECTLY NEXT TO THE RETAINING WALL, THEY SHALL BE SECURELY FASTENED TO IT PRIOR TO BACKFILLING. CONNECTION METHOD TO BE APPROVED BY ENGINEER.

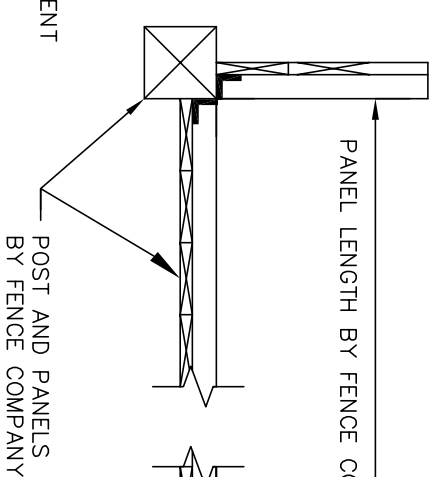


ELEVATION VIEW

SCALE: 3/8" = 1'-0"

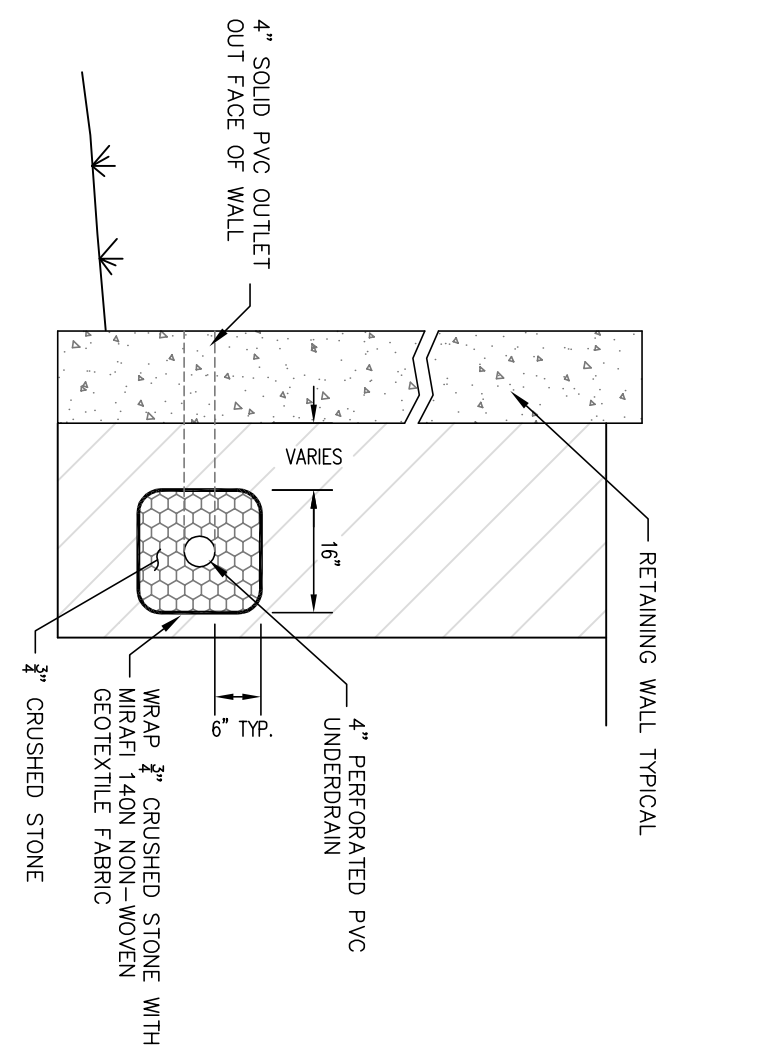
STOCKADE FENCE

SCALE: AS NOTED



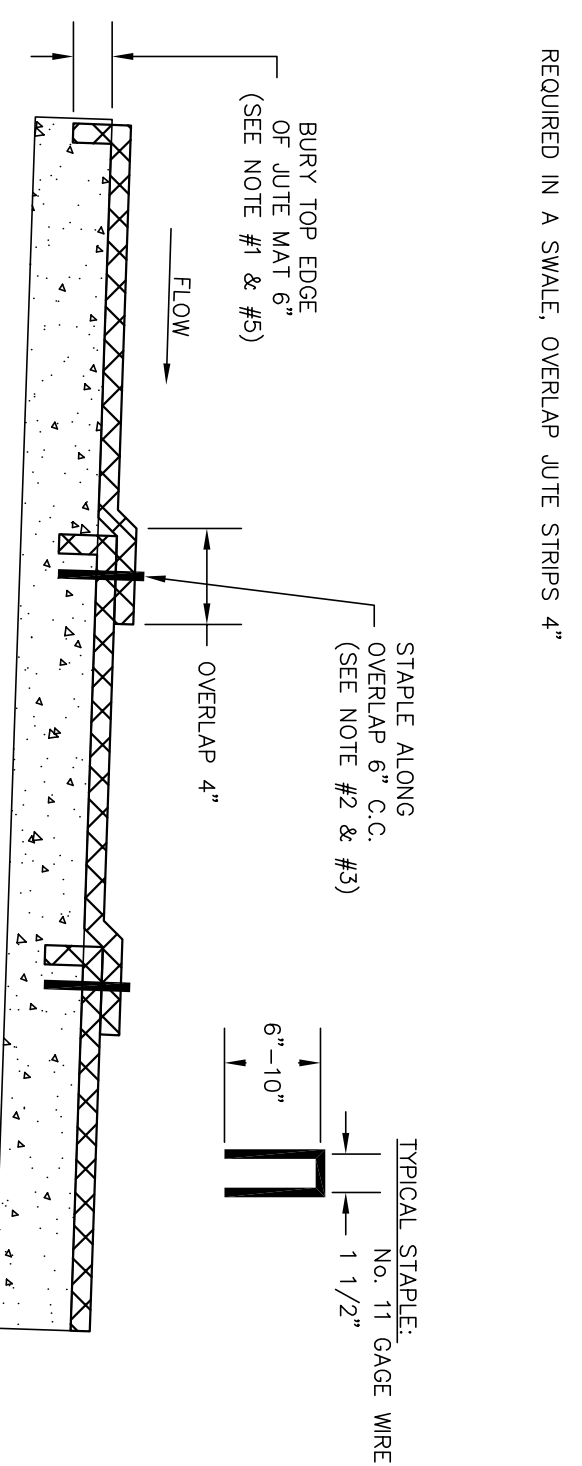
PLAN VIEW

SCALE: 3/8" = 1'-0"



UNDERDRAIN DETAIL AT BACK OF RETAINING WALL

N.T.S.

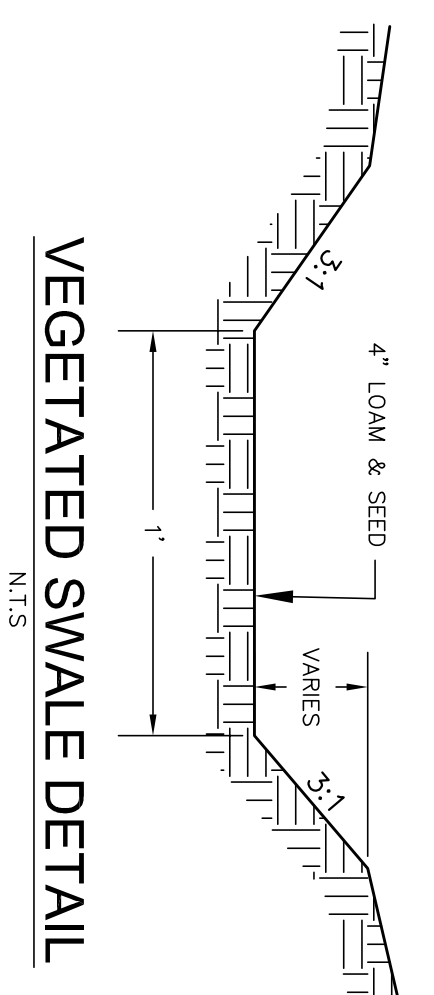


SECTION A-A'

- JUTE MATTING INSTALLATION NOTES:**
- BURY THE TOP EDGE OF THE JUTE STRIPS IN A TRENCH 6 INCHES OR MORE IN DEPTH.
 - THE TRENCH FILL OF SOIL SECURE THE JUTE STRIP WITH A ROW OF STAPLES. 6 INCH SPACING 4 INCHES FROM THE TRENCH.
 - OVERLAP - BURY UPPER END OF LOWER STRIP AS IN (1) AND (2). OVERLAP END OF UPPER STRIP AS IN (1) AND (2).
 - EROSION SIDE - ROW OF STAPLES IN SLOPE TRENCH AND TAMPED DOUBLE ROW OF STAPLES.
 - MAINTENANCE: PERIODICALLY AND BEFORE AND AFTER STORM EVENTS TO ENSURE CONTACT WITH THE SOIL UNTIL 85% VEGETATIVE COVER IS ESTABLISHED.
 - REPAIR AND RESTABLE AS NECESSARY.

JUTE MATTING DETAIL

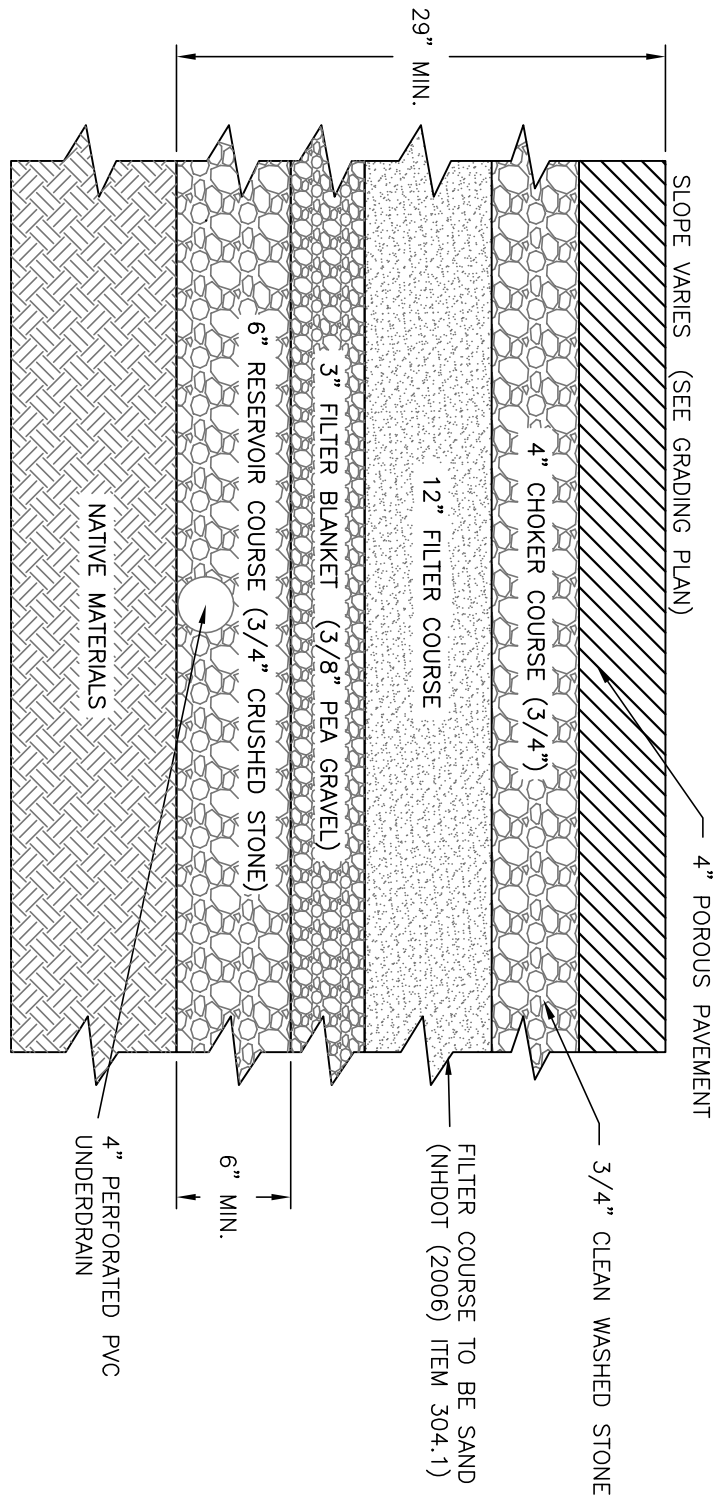
N.T.S.



VEGETATED SWALE DETAIL

N.T.S.

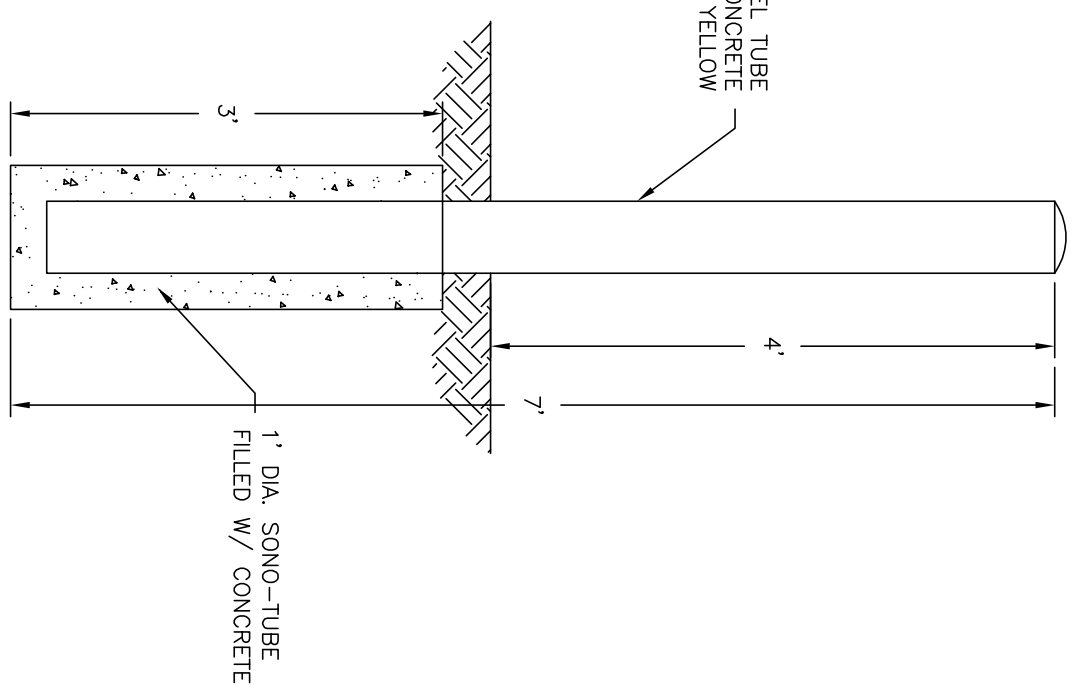
- CONSTRUCTION NOTES:**
- INSTALL IN ACCORDANCE WITH UHM STORMWATER CENTER SPECIFICATIONS FOR POROUS PAVEMENT BELOW PAVED AREAS.
 - AND PARKING AREAS SHALL BE COMPLETELY REMOVED.
 - COMPACT SUBGRADE TO 95% MAX. DRY DENSITY.
 - REFER TO PAVEMENT SAWCUT DETAIL.
- MAINTENANCE NOTES:**
- INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATION, FERTILIZER PERIODIC WORKING TO NOT MORE GRASS SHORTER THAN 4 INCHES.
 - REMOVE DEBRIS AND ACCUMULATED SEDIMENT BASED ON READ VEGETATION AREAS, REMOVE INVASIVE SPECIES AND REPAIR ERODED AREAS, AND RESEED WITH APPLICABLE GRASS MIX AS WARRANTED BY INSPECTION.



POROUS PAVEMENT PARKING LOT CROSS SECTION

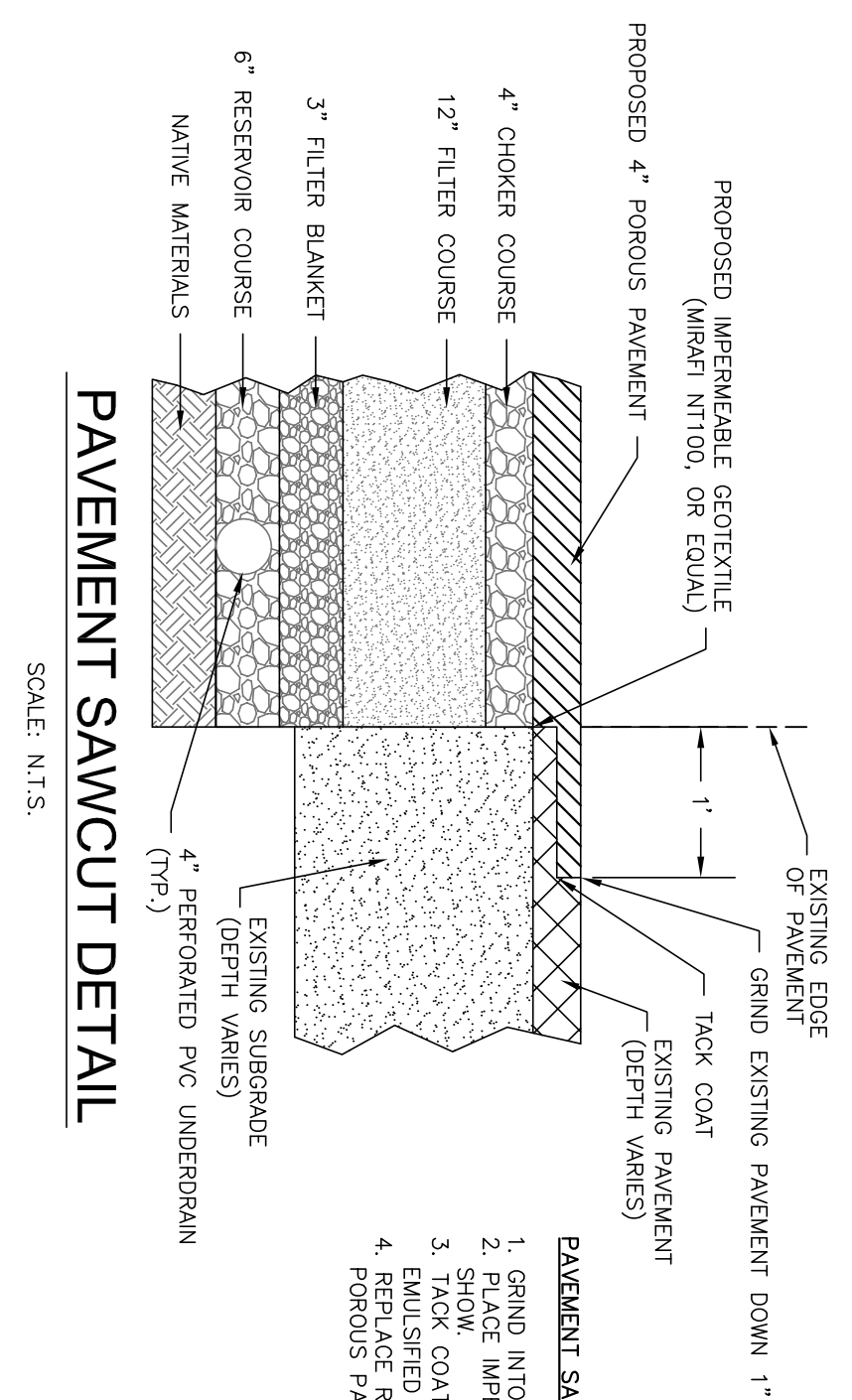
N.T.S.

- NOTES:**
- INSTALL IN ACCORDANCE WITH UHM STORMWATER CENTER SPECIFICATIONS FOR POROUS PAVEMENT BELOW PAVED AREAS.
 - AND PARKING AREAS SHALL BE COMPLETELY REMOVED.
 - COMPACT SUBGRADE TO 95% MAX. DRY DENSITY.
 - REFER TO PAVEMENT SAWCUT DETAIL.



BOLLARD DETAIL

N.T.S.



PAVEMENT SAWCUT DETAIL

SCALE: N.T.S.

- PAVEMENT SAWCUT NOTES:**
- GRIND INTO EXISTING PAVEMENT 1" AT A LENGTH OF 1'.
 - SHAKE IMPERMEABLE LINER BETWEEN EXISTING AND PROPOSED AS SHOWN.
 - TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.
 - REPLACE REMOVED EXISTING PAVEMENT WITH 1" OF PROPOSED 4" POROUS PAVEMENT.

FINAL APPROVAL BY THE DURHAM PLANNING BOARD:
 CERTIFIED BY _____
 DATE _____

CONSTRUCTION DETAILS
 prepared for
 KAPPA DELTA SORORITY
 (TAX MAP 2, LOT 12-2)
 25 MADBURY ROAD DURHAM, NH

DATE: 9/4/13
 SCALE: AS NOTED
 DESIGNED BY: MJS
 DRAWN BY: JLG
 APPROVED BY: MJS
 DWG FILE: 13-040



NO.	REVISIONS	DATE	INT.
5.	REVISED PER FINAL CONDITIONS OF APPROVAL LETTER FROM MICHAEL BEHRENDT	5/6/14	KD
4.	REVISED PER FINAL CONDITIONS OF APPROVAL	3/26/14	JLG
3.	REVISED PER PLANNER RECOMMENDATIONS	11/11/13	JLG
2.	REVISED PER PLANNER RECOMMENDATIONS	10/2/13	KD
1.	INITIAL SUBMISSION TO DEPARTMENT OF PUBLIC WORKS	9/24/13	KD
0.	INITIAL SUBMISSION TO PLANNING BOARD	9/4/13	JLG

MJS ENGINEERING, PC
 CIVIL ENVIRONMENTAL CONSULTING ENGINEERS
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 NEWMARHET, NH 03857
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 E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 13-040

D1

