

DOG DAYCARE FACILITY FOR GREAT BAY KENNEL

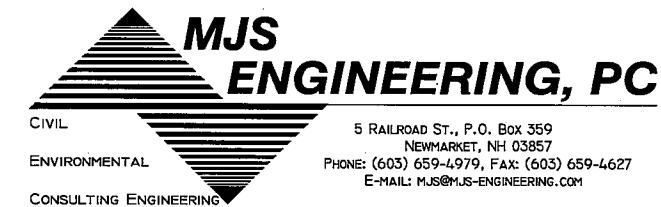
27 & 35 NEWMARKET ROAD
DURHAM, NH
TAX MAP 6, LOT 11-7

FEBRUARY 20, 2012
REVISED SEPTEMBER 19, 2012

<u>CIVIL PLANS:</u>	<u>SHEET:</u>
LOT LINE ADJUSTMENT PLAN (MSA, INC.)	LLA
REVISED SITE PLAN	C1
CONSTRUCTION DETAILS	D1
CONSTRUCTION DETAILS	D2

<u>ARCHITECTURAL PLANS:</u>	<u>SHEET:</u>
FLOOR PLAN	A2
BUILDING SECTIONS	A4
ELEVATIONS	A5
ELEVATIONS	A6

SITE AND STRUCTURAL ENGINEER:



DESIGN:

RW ROBIN WUNDERLICH
66 MAST ROAD
LEE, NH 03861

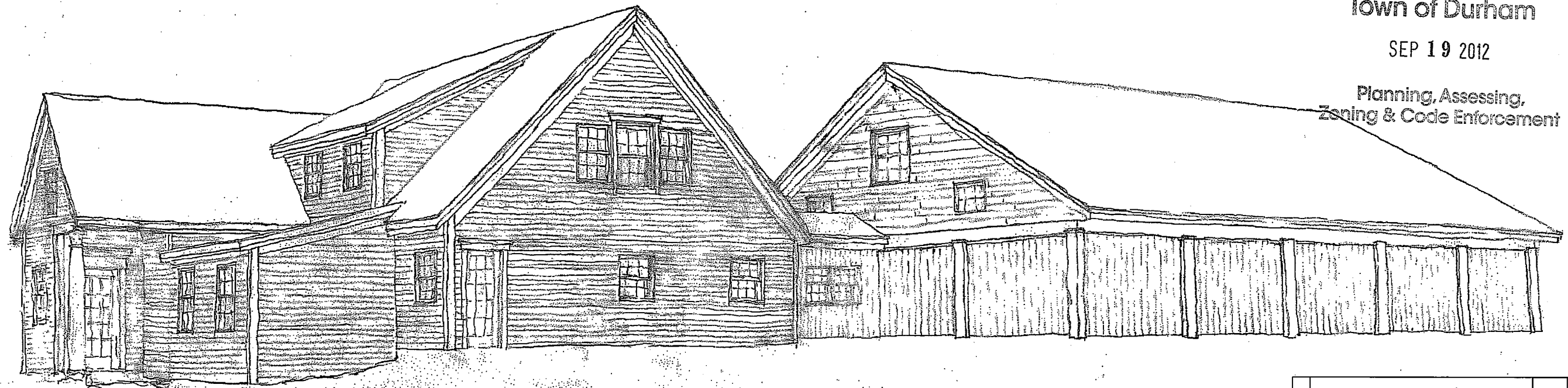
OWNER/APPLICANT:

GEOFF SAWYER
27 NEWMARKET ROAD
DURHAM, NH 03824

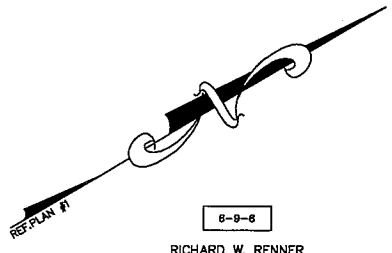
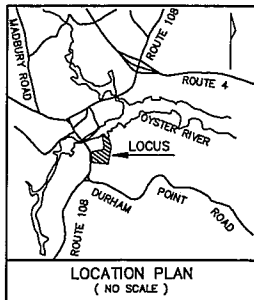
RECEIVED
Town of Durham

SEP 19 2012

Planning, Assessing,
Zoning & Code Enforcement



NO.	REVISIONS	DATE	INT.
1.	REVISIONS PER CONDITIONS OF APPROVAL AND SITE IMPROVEMENTS	9/19/12	MS



For Registry of Deeds Use

REFERENCE PLANS:

- LIMITED SUBDIVISION OF LAND PREPARED FOR GEOFF SAWYER, NEWMARKET ROAD - N.H. ROUTE 108, DURHAM, NEW HAMPSHIRE; SCALE: 1" = 60'; DATED OCTOBER 21, 1998; BY McGENEANY SURVEY ASSOCIATES; RECORDED S.C.R.D. PLAN 59-63.
- LIMITED SUBDIVISION OF LAND FOR ISABELLE SAWYER NEWMARKET ROAD - ROUTE 108, DURHAM, NEW HAMPSHIRE. SCALE: 1" = 60'; DATED: MAY 7, 1993; BY McGENEANY SURVEY ASSOCIATES; RECORDED S.C.R.D. PLAN 42-30.
- LOT LINE ADJUSTMENT PLAN PREPARED FOR GREAT BAY ANIMAL HOSPITAL, LLC AND GEOFF SAWYER, TAX MAP 6, LOT No.s 11-7 & 11-8, NEWMARKET ROAD - N.H. ROUTE 108, TOWN OF DURHAM, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 60'; DATED: APRIL 6, 2009. BY McGENEANY SURVEY ASSOCIATES. RECORDED S.C.R.D. PLAN 100-74. (SEE NOTE 7).

NOTES:

- OWNER OF RECORD:
GEOFF SAWYER
P.O. BOX 14
DURHAM, NEW HAMPSHIRE 03824
S.C.R.D. VOLUME 1685, PAGE 641

GREAT BAY ANIMAL HOSPITAL, LLC
31 NEWMARKET ROAD
DURHAM, NEW HAMPSHIRE 03824
S.C.R.D. VOLUME 2239, PAGE 510
- 6-11-7 - DENOTES TAX MAP AND PARCEL NUMBER.
- ZONING DISTRICT IS RC (RESIDENCE COASTAL) WITH THE HISTORIC OVERLAY DISTRICT AND SHORELAND PROTECTION ZONE.
MINIMUM LOT SIZE = 120,000 S.F.
MINIMUM FRONTAGE = 300 FEET
MINIMUM BUILDING SETBACKS:
FRONT = 30 FEET (COLLECTOR STREET)
SIDE = 40 FEET (ARTERIAL STREET)
REAR = 50 FEET
- FLOOD HAZARD ZONE:
FLOOD INSURANCE RATE MAP COMMUNITY PANEL #330146 0318 D
EFFECTIVE DATE MAY 17, 2005. ZONE AE - SPECIAL FLOOD HAZARD AREAS INUNDED BY 0.1 ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION DETERMINED TO BE ELEVATION 7. ALL BUILDINGS AND IMPROVEMENTS ARE LOCATED IN ZONE X - OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE INTENT OF THIS PLAN IS TO ADJUST THE COMMON LOT LINE OF THE SUBJECT PARCELS AS SHOWN. PARCEL (A) (10,121 S.F.) IS TO BE ADDED TO PARCEL 6-11-7. PARCEL (B) (10,121 S.F.) IS TO BE ADDED TO PARCEL 6-11-8. THERE IS NO CHANGE IN LOT AREA OR LOT FRONTAGE.
- THE AREAS BEING TRANSFERRED DO NOT AFFECT ACCESS AND PARKING EASEMENTS, SEE REFERENCE PLAN #1 FOR EASEMENT DETAILS.
- REFERENCE IS MADE TO A LOT LINE ADJUSTMENT PLAN BEARING THE SAME TITLE AS THIS PLAN, WHICH WAS SIGNED BY THE TOWN OF DURHAM PLANNING BOARD ON FEBRUARY 11, 2011 AND RECORDED AT STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN 100-74 (REFERENCE PLAN 3). PARCELS "A" AND "B" SHOWN THEREON WERE NEVER EXCHANGED BY THE SUBJECT PARTIES. THIS PLAN INTENDS TO EXTINGUISH AND SUPERSEDE THOSE PARCELS AND CREATE NEW PARCELS "A" AND "B" AS SHOWN HEREON.

6-9-8
50 NEWMARKET ROAD, INC.
125 BOW STREET
PORTSMOUTH, NH 03801
3775 / 932

6-9-8
RICHARD W. RENNER
SUSAN W. RENNER
28 NEWMARKET ROAD
DURHAM, NH 03824
3880 / 077

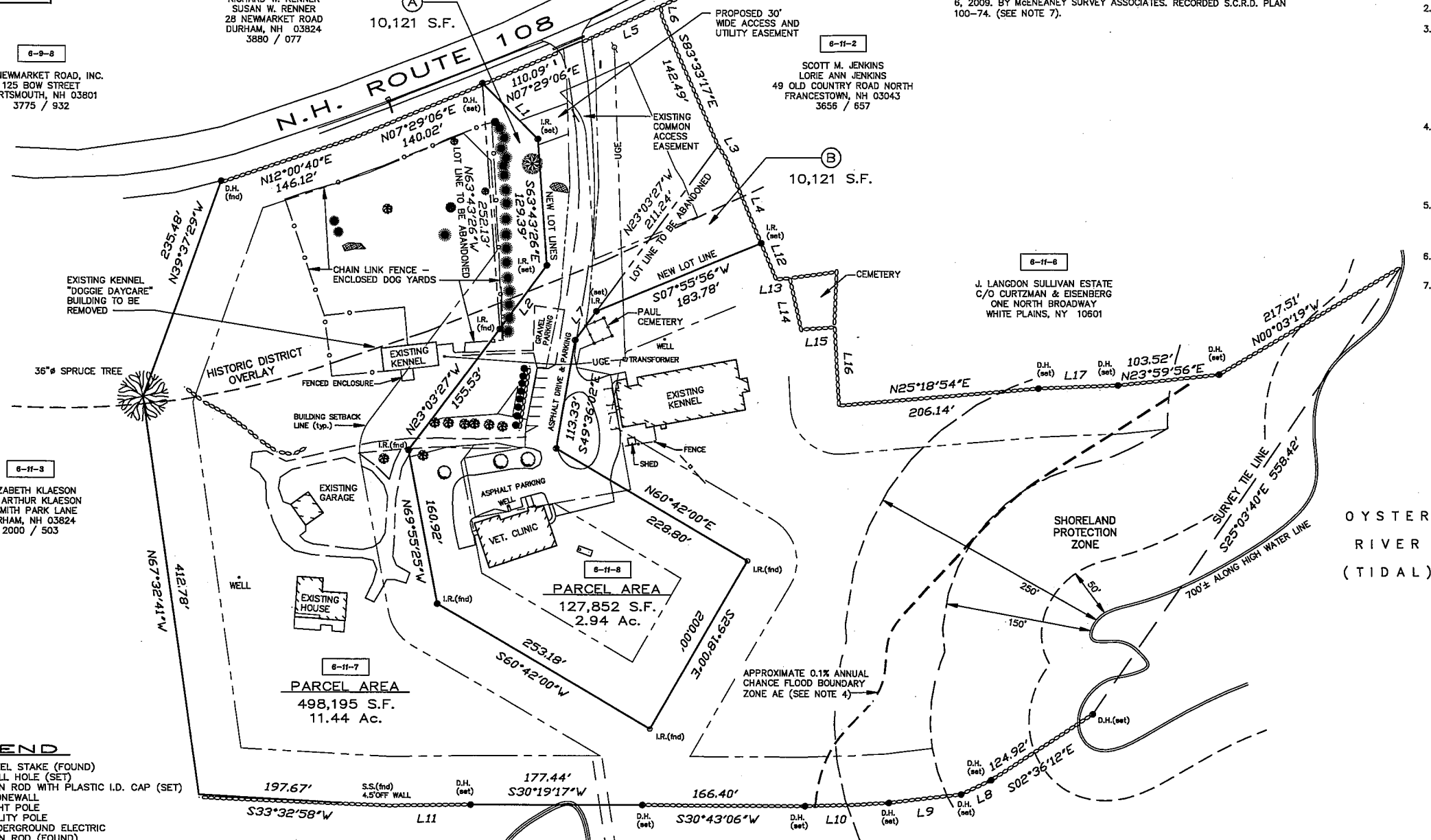
6-9-5
FRANK L. PILAR
ANITA PILAR
26 NEWMARKET ROAD
DURHAM, NH 03824

6-11-2
SCOTT M. JENKINS
LORIE ANN JENKINS
49 OLD COUNTRY ROAD NORTH
FRANCESTOWN, NH 03043
3656 / 657

6-11-6
J. LANGDON SULLIVAN ESTATE
C/O CURTZMAN & EISENBERG
ONE NORTH BROADWAY
WHITE PLAINS, NY 10601

6-11-3
ELIZABETH KLAESON
c/o ARTHUR KLAESON
2 SMITH PARK LANE
DURHAM, NH 03824
2000 / 503

11-84-1
STEFANY SHAHEEN
CRAIG WELCH
77 SOUTH STREET
PORTSMOUTH, NH 03801
3912 / 849



LEGEND

- S.S.(fnd) - STEEL STAKE (FOUND)
- D.H.(set) - DRILL HOLE (SET)
- I.R.(set) - IRON ROD WITH PLASTIC I.D. CAP (SET)
- - STONEWALL
- ☆ - LIGHT POLE
- - UTILITY POLE
- - UNDERGROUND ELECTRIC
- I.R.(fnd) - IRON ROD (FOUND)
- D.H.(set) - DRILL HOLE (FOUND)
- - DIAMETER
- - APPLE TREE
- - ARBOR VITAE
- - MAPLE TREE

No.	Bearing	Distance	No.	Bearing	Distance	No.	Bearing	Distance
L1	N75°15'02"E	80.83'	L7	S23°03'27"E	36.98'	L13	N24°23'52"E	13.78'
L2	S23°03'27"E	81.42'	L8	S04°53'42"W	34.20'	L14	S71°52'39"E	53.97'
L3	N87°24'22"E	14.74'	L9	S23°38'32"W	73.74'	L15	N26°27'57"E	34.95'
L4	S82°04'04"E	94.27'	L10	S27°54'35"W	88.26'	L16	S62°46'44"E	80.89'
L5	N05°55'32"E	90.27'	L11	S29°32'07"W	81.32'	L17	N27°56'21"E	81.89'
L6	S69°38'11"E	13.59'	L12	S82°04'04"E	39.91'			

APPROVED: DURHAM PLANNING BOARD

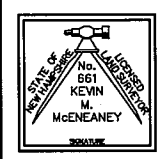
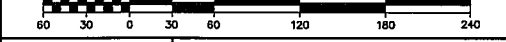
I HAVE REVIEWED AND HEREBY AGREE TO THE LOT LINE ADJUSTMENT AS SHOWN.

OWNERS SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

LOT LINE ADJUSTMENT PLAN
PREPARED FOR
GREAT BAY ANIMAL HOSPITAL, LLC
AND
GEOFF SAWYER
TAX MAP 6, LOT No.s 11-7 & 11-8
NEWMARKET ROAD - N.H. ROUTE 108
TOWN OF DURHAM
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DRAWN BY: RJM FILE: CPK\538\2011_TOPO
SCALE: 1" = 60' DATE: OCTOBER 18, 2011



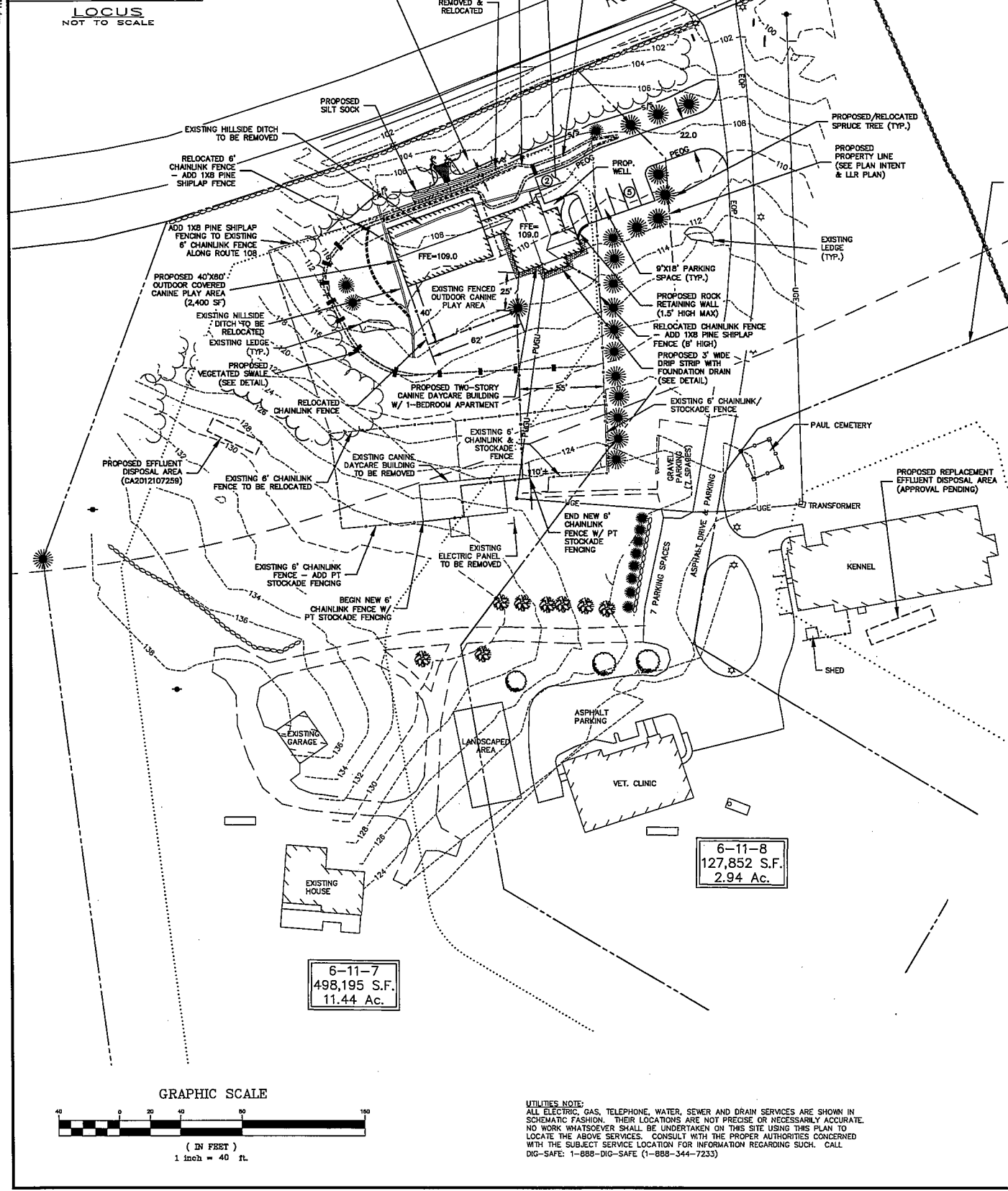
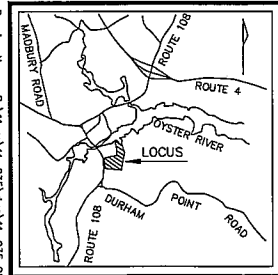
McGeneany
Survey
Associates, inc.

P.O. Box 681 - 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

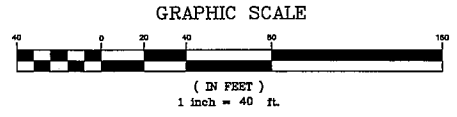
NO.	DATE	DESCRIPTION	BY	CHK
11-538		LLADJ		
PROJECT NO	TYPE	FIELDBOOK & PAGES		
For Registry of Deeds Use				

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 Wed, 19 Sep 2012 11:56am

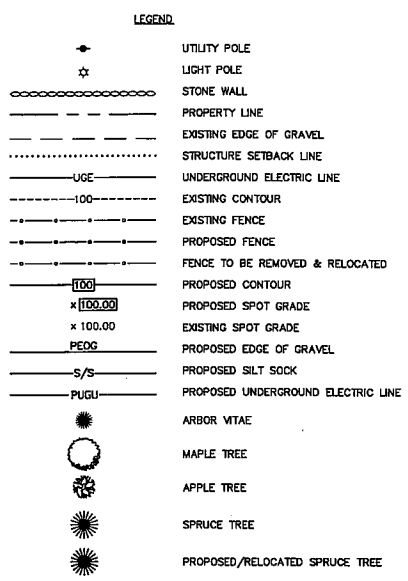


6-11-7
 498,195 S.F.
 11.44 Ac.

6-11-8
 127,852 S.F.
 2.94 Ac.



UTILITIES NOTE:
 ALL ELECTRIC, GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATION FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE: 1-888-DIG-SAFE (1-888-344-7233)



SITE DATA BLOCK

PLAN INTENT: THE PROPOSAL IS TO REMOVE THE EXISTING CANINE DAYCARE BUILDING AND CONSTRUCT A NEW 4000 SF +/- CANINE DAYCARE BUILDING. THE PROPOSED BUILDING WILL INCLUDE A 1000 SF INDOOR PLAY AREA, RECEPTION, OFFICE AND VIEWING AREAS, AND A 2400 SF OUTDOOR PLAY AREA ON THE 1ST FLOOR. THERE WILL ALSO BE A 1,000 SF ONE BEDROOM APARTMENT ON THE 2ND FLOOR OF THE INDOOR PLAY AREA BUILDING. A LOT LINE REVISION WAS APPROVED BETWEEN LOT 11-8 & 11-9 AND RECORDED (REFERENCE PLAN A, SCRD 100-74) DURING THE PREVIOUS SITE REVIEW PROCESS.

ZONE: RC - RESIDENCE COASTAL
 OVERLAY DISTRICTS: HISTORIC AND SHORELAND PROTECTION DISTRICT
 USE: COMMERCIAL & RESIDENTIAL

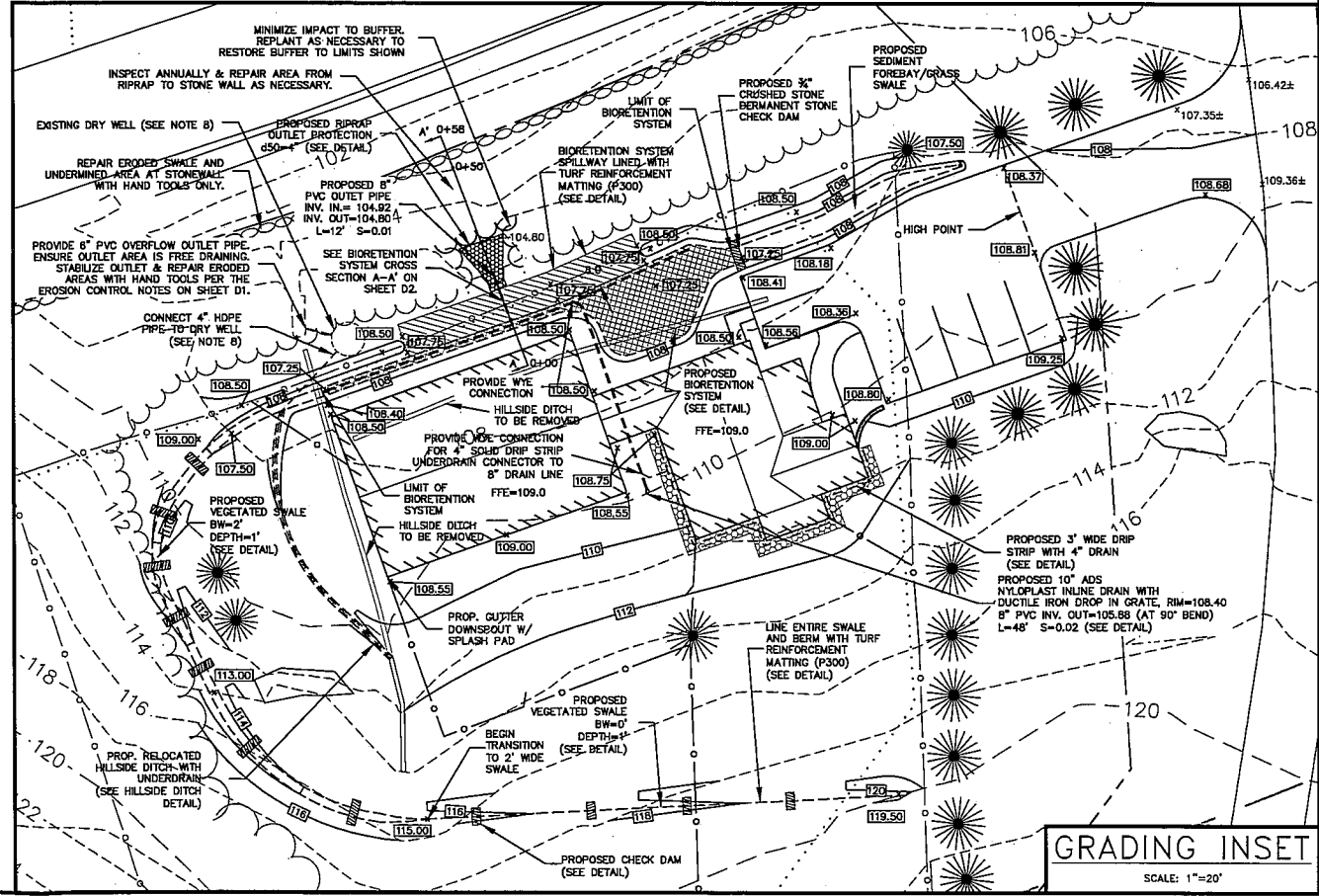
DIMENSIONAL REQUIREMENTS	REQUIRED
MINIMUM LOT SIZE (SQUARE FEET)	120,000
MINIMUM FRONTAGE (FEET)	300
MINIMUM LOT SETBACKS	
FRONT (FEET)	40
SIDE (FEET)	50
REAR (FEET)	50
MAXIMUM ROAD SETBACK (FEET)	NA
MAXIMUM HEIGHT (FEET)	35
MAXIMUM HEIGHT W/ P.B. APPROVAL (FEET)	55

RESIDENTIAL DEVELOPMENT DENSITY:

REQUIRED: 120,000 S.F./DU.
 LOT AREA = 498,195 SF
 EXISTING 3-BEDROOM HOUSE
 PROPOSED 1-BEDROOM APARTMENT

GENERAL NOTES:

- OWNER OF RECORD: GREAT BAY KENNEL, C/O GEOFF SAWYER, P.O. BOX 14, DURHAM, NEW HAMPSHIRE 03824, S.C.R.D. VOLUME 1685, PAGE 641
- LOT AREA: 11.44 ACRES (498,195± S.F.)
- REFERENCE PLANS:
 - LOT LINE ADJUSTMENT PLAN PREPARED FOR GREAT BAY ANIMAL HOSPITAL, LLC AND GEOFF SAWYER, TAX MAP 6 LOT NOS. 11-7 & 11-8, NEWMARKET ROAD - NH ROUTE 108, TOWN OF DURHAM, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE, DATED APRIL 5, 2009. S.C.R.D. 100-74.
- VERTICAL DATUM IS ASSUMED.
- FLOOD HAZARD ZONE: FLOOD INSURANCE RATE MAP COMMUNITY PANEL #330146 0318 D EFFECTIVE DATE MAY 17, 2005. ZONE AE - SPECIAL FLOOD HAZARD AREAS INUNDATED BY 0.1 ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION DETERMINED TO BE ELEVATION 7. ALL BUILDINGS AND IMPROVEMENTS ARE LOCATED IN ZONE X - OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- IMPERVIOUS SURFACE RATIO:
 - EXISTING = 4.2% (21,013 S.F.)
 - PROPOSED = 5.3% (26,623 S.F.)
 - DISCONNECTED IMPERVIOUS COVER = 4,374 S.F.
 - EFFECTIVE IMPERVIOUS AREA (EIA) = 22,249 S.F.
- EXISTING VEGETATIVE BUFFER ALONG ROUTE 108 AND THE SOUTHERN PROPERTY LINE SHALL NOT BE REDUCED OR PERPETRATED AND SHALL BE MAINTAINED IN PERPETUITY.
- DETERMINE LOCATION OF DRY WELL AND UNCOVER TO DETERMINE INLET AND OUTLET PIPE CONFIGURATION. IF DRY WELL IS FUNCTIONING PROVIDE INLET AND OUTLET PIPES AS SHOWN ON THE GRADING INSET. IF DRY WELL IS NOT FUNCTIONING, FILL IN WITH SUITABLE MATERIAL AND DECOMMISSION.



GRADING INSET
 SCALE: 1"=20'

NO.	REVISIONS	DATE	INT.
4	REVISIONS PER CONDITIONS OF APPROVAL AND SITE IMPROVEMENTS	9/19/12	MS
3	REVISIONS PER CONDITIONS OF APPROVAL	02/20/12	MS
2	REVISIONS PER HOUSE STUDY RESULTS	01/09/12	MS
1	REVISIONS PER SITE REVIEW PROCESS	10/25/11	MS
			INT.

DATE: 10/19/11
 SCALE: AS SHOWN
 DESIGNED BY: MJS/MJS
 DRAWN BY: MJS
 APPROVED BY: MJS
 DWG FILE: 11-035 CH.dwg

REVISED SITE PLAN prepared for GREAT BAY KENNEL (TAX MAP 6, LOT 11-7) 27 & 35 NEWMARKET ROAD DURHAM, NH

MJS ENGINEERING, PC
 5 Railroad St., P.O. Box 309
 Newmarket, NH 03857
 Phone: (603) 458-4627
 E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 11-035
C1

CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES:

A. AREA OF DISTURBANCE/STABILIZATION:

1. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 2" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
 - E. TREE CLEARING HAS TAKEN PLACE, BUT STUMPS AND UNDERLING VEGETATION REMAIN UNDISTURBED.
3. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS.
4. PERMANENT SEEDING OF DISTURBED AREAS:
 - A. ALL AREAS SHALL BE FERTILIZED, SEEDED, AND MULCHED WITH THE FOLLOWING SEED MIXTURES OR EQUIVALENT BETWEEN APRIL 15TH AND OCTOBER 15TH, WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

SEASON	APPLICATION DATE	MIXTURE TYPE	QUANTITY (lb./Ac.)
EARLY SPRING	NO LATER THAN 5/15	OATS	80
LATE SPRING/ FALL	4/1 TO 6/1 & 8/15 TO 9/15	PERENNIAL RYE	30
EARLY SPRING/ FALL	4/1 TO 5/15 & 8/15 TO 9/15	ANNUAL RYE	40
FALL	8/15 TO 9/15	WINTER RYE	112

1. APPLICATION RATE: 1.5-2.0 TONS/AC.
6. WINTER CONSTRUCTION:
 - A. ANY EARLY OPERATIONS PERFORMED BETWEEN OCTOBER 15TH AND MAY 15TH SHALL BE CONSIDERED WINTER CONSTRUCTION, UNLESS OTHERWISE AGREED UPON BY THE DESIGN ENGINEER AND CONTRACTOR.
 - B. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO ONE ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED BELOW PRIOR TO ANY THAW OR SPRING MELT EVENT.
 - C. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 - D. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - E. AFTER NOVEMBER 15TH, INCORPORATING PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

B. EROSION CONTROL:

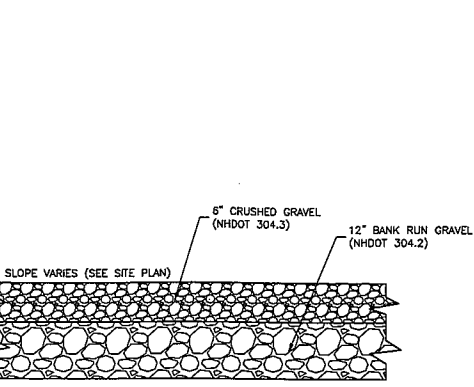
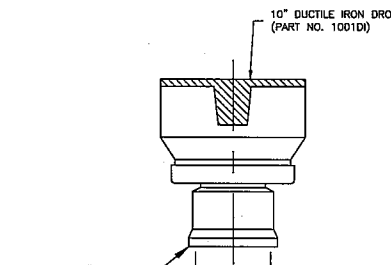
1. INSTALLATION, INSPECTION, AND MAINTENANCE:
 - A. INSTALL ALL EROSION CONTROLS AS SHOWN ON THE GRADING PLAN AND PER TYPICAL DETAILS.
 - B. INSPECT ALL EROSION CONTROLS WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5 INCHES OR GREATER.
 - C. MAINTAIN EROSION CONTROLS PER REQUIREMENTS NOTED IN TYPICAL CONSTRUCTION DETAILS.
2. EROSION CONTROL MEASURES/DRAINAGE STRUCTURES:
 - A. PERIMETER CONTROLS (I.E. SLOTTED):
 1. INSTALL PRIOR TO BEGINNING EARTH MOVING OPERATIONS.
 - B. RIP RAP/OUTLET PROTECTION
 - C. SUTE OR FIBROUS MAT
 - D. STONE CHECK DAMS:
 1. INSTALL IN SWALES FOR EROSION PROTECTION PRIOR TO STABILIZATION.
 2. INSTALL IN AREAS WHERE SURFACE RUNOFF CHANNELIZES (SUCH AS TOE OF CUT SLOPES WHILE IN PROCESS OF BUILDING UP ROAD/PARKING AREAS).
3. PERMANENT DETENTION BASINS AND SWALES:
 1. INSTALL PRIOR TO ROUGH GRADING OF THE SITE.
 2. SWALES MUST BE PERMANENTLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
4. TEMPORARY SEDIMENT BASINS/SWALES:
 1. INSTALL DURING CONSTRUCTION AS NEEDED.
 2. SWALES MUST BE PERMANENTLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 3. DURING WINTER, STABILIZE WITH MULCH OR EROSION CONTROL MATTING.
5. REMOVAL:
 - A. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE 85% VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - B. AFTER REMOVAL, ALL DISTURBED AREAS SHALL BE REGRADED, FERTILIZED, AND RESEEDED. MONITOR TO ENSURE VEGETATIVE GROWTH IS ESTABLISHED AND REPAIR AS NEEDED UNTIL MINIMUM OF 85% VEGETATIVE COVER IS ESTABLISHED.

C. CONSTRUCTION SEQUENCING:

1. CLEAR/GRUB ONLY WITHIN THE LIMITS OF GRADING AS SHOWN ON THE PLANS. REMOVE STUMPS ONLY FROM THOSE AREAS THAT CAN BE WORKED AND STABILIZED WITHIN 45 DAYS OF REMOVAL.
2. TOTAL SITE DISTURBANCE DEPICTED ON THESE PLANS IS 30,000 S.F.
 - A. THE FOLLOWING CONSTRUCTION PHASING IS RECOMMENDED:
 1. THE PROJECT WILL BE COMPLETED IN ONE PHASE.
 2. EACH PHASE SHALL FOLLOW EROSION CONTROL REQUIREMENTS AND CONSTRUCTION SEQUENCE BELOW AND SHALL BE STABILIZED PRIOR TO PROCEEDING WITH NEXT PHASE.
3. CLEAR/GRUB
 - A. STUMPS SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
4. CONSTRUCT AND STABILIZE ALL TEMPORARY AND PERMANENT SEDIMENT, EROSION, AND DETENTION CONTROL FACILITIES AS LISTED ABOVE.
 - A. THESE SHALL BE INSTALLED BEFORE ANY MAJOR EARTH MOVING OPERATIONS.
5. STOCKPILES
 - A. STOCKPILE LOAM FOR RE-USE AS NEEDED.
 - B. TEMPORARILY STABILIZE LOAM STOCKPILES WITH:
 1. WINTER RYE GRASS - PRIOR TO SEPTEMBER 15TH
 2. MULCH - FROM SEPTEMBER 15TH TO MAY 1ST
6. PARKING AREA & DRIVE CONSTRUCTION
 - A. CUTS AND FILLS:
 1. CONSTRUCT AS SHOWN ON THE PLANS
 2. FILLS:
 - A. PLACE MAXIMUM 8" LIFTS AND COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 - B. ALL MATERIAL SHALL BE FREE OF DELETERIOUS MATERIAL SUCH AS LOAM, STUMPS, BRUSH, AND ROCKS LARGER THAN 3/4" DEPTH OF THE LIFT BEING PLACED.
 3. LOAM AND SEED SLOPES WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - B. DRAINAGE AND UTILITY STRUCTURES
 1. INSTALL AS NECESSARY AND STABILIZE.
7. INSPECT, MAINTAIN, AND IF NECESSARY, REPAIR ALL EROSION AND SEDIMENT CONTROL MEASURES AS STATED IN PARAGRAPH B.1 ABOVE.
8. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AS STATED IN PARAGRAPH B.3 ABOVE.

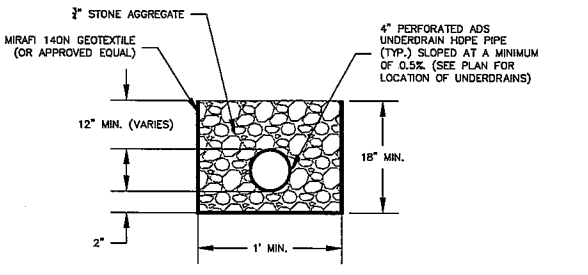
D. ADDITIONAL NOTES:

1. NO FUEL SHALL BE STORED ON SITE DURING CONSTRUCTION.
2. DURING CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
3. ALL CONSTRUCTION MATERIALS THAT ARE SPILLED OR DEPOSITED ON THE PUBLIC ROADWAYS SHALL BE REMOVED BY THE CONTRACTOR.
4. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THIS INCLUDES DISCREPANCIES BETWEEN THESE PLANS AND ANY OTHER PLANS OR CONTRACT DOCUMENTS.



TYPICAL GRAVEL PARKING LOT CROSS SECTION

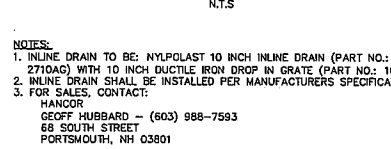
- NOTES:
1. LOAM AND DELETERIOUS MATERIALS ENCOUNTERED BELOW GRAVEL PARKING AREA SHALL BE COMPLETELY REMOVED PRIOR TO PLACING SELECT MATERIALS.
 2. COMPACT SUBGRADE TO 95% MAX. PROCTOR DENSITY.



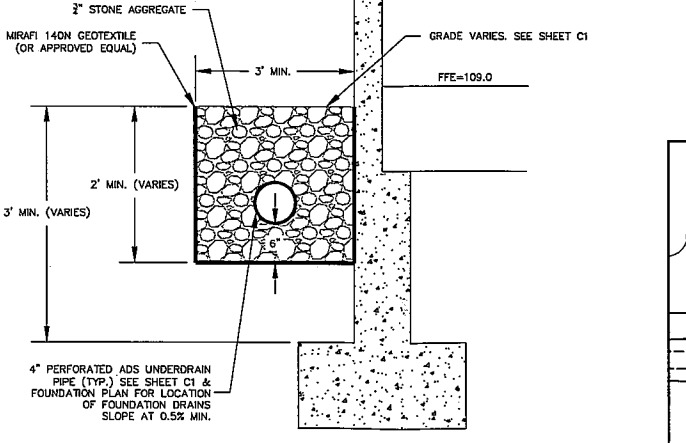
HILLSIDE DITCH DETAIL

- NOTES:
1. SEE PLANS FOR LOCATION AND LENGTH OF DITCH.

NYLOPLAST INLINE DRAIN

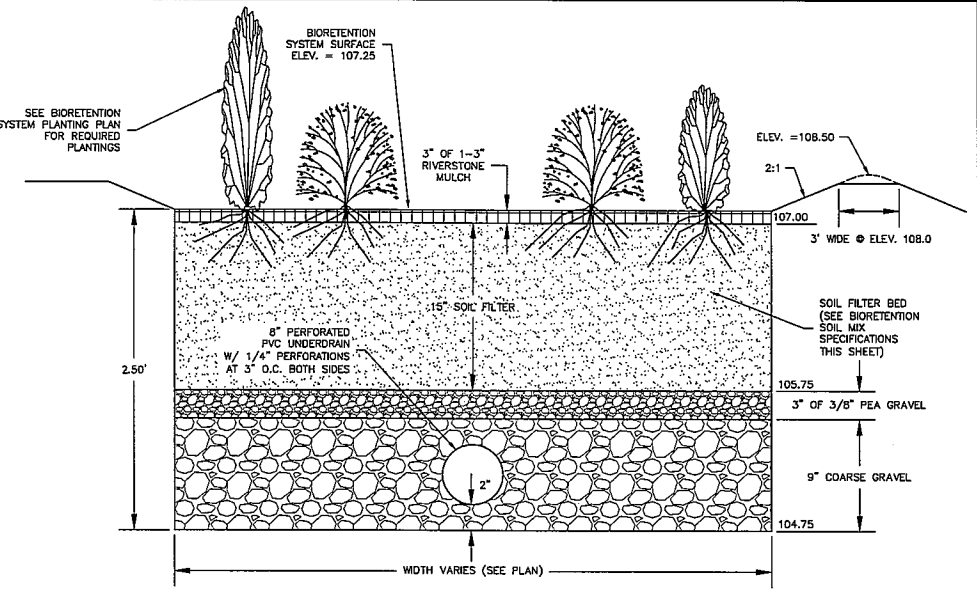


- NOTES:
1. INLINE DRAIN TO BE NYLOPLAST 10 INCH INLINE DRAIN (PART NO.: 2710AG) WITH 10 INCH DUCTILE IRON DROP IN GRATE (PART NO.: 10201D).
 2. INLINE DRAIN SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 3. FOR SALES, CONTACT:
 - HANCOCK
 - GEORGE HUBBARD - (803) 988-7593
 - 68 SOUTH STREET
 - PORTSMOUTH, NH 03801



DRIP STRIP DETAIL

- NOTES:
1. SEE PLANS FOR LOCATION OF TRENCH.



BIORETENTION SYSTEM CROSS SECTION

- CONSTRUCTION NOTES:
1. DO NOT PLACE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 2. TO PREVENT DEGRADATION OF INFILTRATION FUNCTION: DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION SYSTEM DURING ANY STAGE OF CONSTRUCTION. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 3. CLEAR AND GRUB THE AREA WHERE THE BIORETENTION SYSTEM IS TO BE LOCATED. STOCKPILE LOAM FOR REUSE LATER.
 4. THE FOUNDATION AREA SHALL BE SCARIFIED PRIOR TO PLACING FILL. ALL UNSUITABLE MATERIAL UNDER THE BERM SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION MATERIAL.
 5. THE BERM SHALL BE CONSTRUCTED BEGINNING FROM THE LOWEST POINT UNIFORMLY ALONG ITS ENTIRE LENGTH. PLACE MATERIALS IN MAXIMUM 12" LOOSE LIFTS COMPACTED TO 95% MAXIMUM MODIFIED PROCTOR DENSITY. EMBANKMENT SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LOOSE LIFT THICKNESS. STONES AROUND ANY STRUCTURES AND/OR CONDUITS SHALL NOT EXCEED 3 INCHES. EMBANKMENT FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

SIEVE SIZE	% PASSING
#4	80-90
#10	90-95
#20	95-98
#40	98-100
#60	100

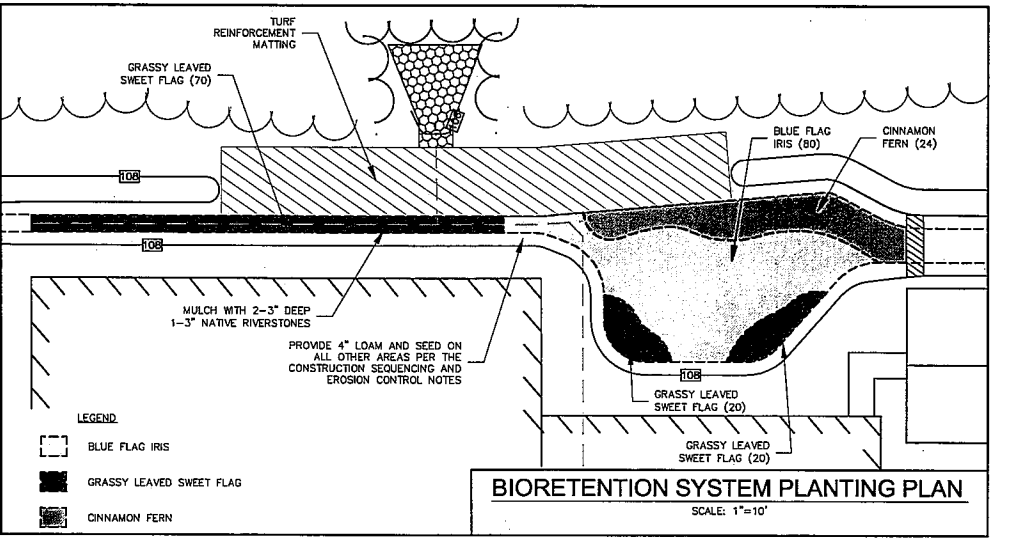
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
CINNAMON FERN	Dennstaedtia cinnamomea	24	1 GAL.
BLUE FLAG IRIS	Iris versicolor	80	1 GAL.
GRASSY LEAVED SWEET FLAG	Grass Acorus gramineus 'Ogden'	110	1 GAL.

- GENERAL MAINTENANCE:
1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 2. TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
 3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
 4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

BIORETENTION SYSTEM GENERAL NOTES:

1. BIORETENTION SYSTEM FILTER SOIL MIX SHALL MEET THE FOLLOWING REQUIREMENTS OF FILTER MEDIA OPTION A OR OPTION B.

BIORETENTION SYSTEM SOIL MIX SPECIFICATIONS			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SEVE NO.	% BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



BIORETENTION SYSTEM PLANTING PLAN

- LEGEND:
- BLUE FLAG IRIS
 - GRASSY LEAVED SWEET FLAG
 - CINNAMON FERN

DATE: 10/19/11
SCALE: AS SHOWN
DESIGNED BY: MJS/MS
DRAWN BY: MS
APPROVED BY: MJS
DWG FILE: 11-035_CILL.DWG

REVISIONS

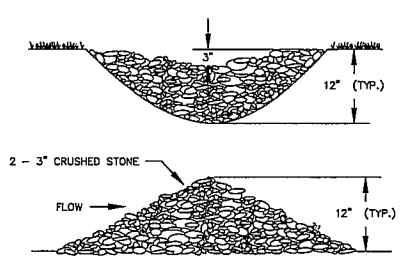
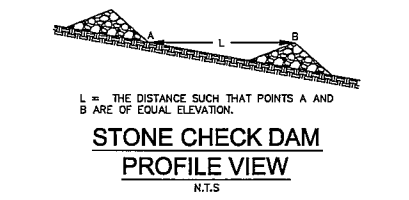
NO.	REVISIONS PER SITE REVIEW PROCESS	DATE	INT.
1.	REVISIONS PER SITE REVIEW PROCESS	10/25/11	MS
2.	REVISIONS PER CONDITIONS OF APPROVAL AND SITE IMPROVEMENTS	8/18/12	MS

CONSTRUCTION DETAILS prepared for GREAT BAY KENNEL (TAX MAP 6, LOT 11-7) 27 & 35 NEWMARKET ROAD DURHAM, NH

MJS ENGINEERING, PC
5 Fairbairn St., P.O. Box 309
Newmarket, NH 03857
PHONE: (603) 859-4979, FAX: (603) 659-1427
E-MAIL: mjs@mjsengineering.com

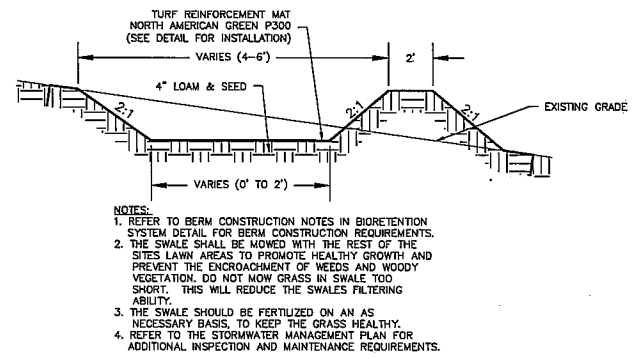
JOB: 11-035
D1

Drawing Name: P:\11-035\11-035.dwg
Mod: 19 Sep 2012 - 11:56am

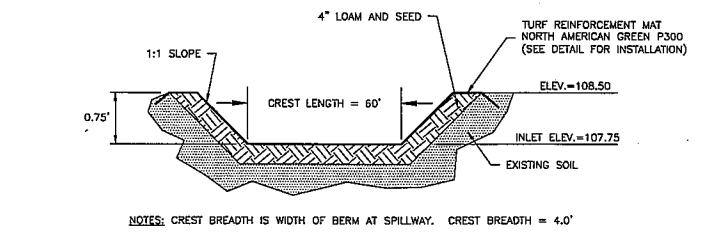


- CONSTRUCTION SPECIFICATIONS:**
- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION, AIR AND WATER POLLUTION WILL BE MINIMIZED.
 - STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
- MAINTENANCE NOTES:**
- TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE INSPECTED AFTER EACH STORM AND DAILY DURING PROLONGED STORM EVENTS. ANY DAMAGE TO THE STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
 - PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE.
 - WHEN REMOVING THE STRUCTURES, THE DISTURBED AREAS SHALL BE BROUGHT UP TO EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDING AND MULCHED.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT REACHES 1/2 THE ORIGINAL HEIGHT OF THE STRUCTURE.

STONE CHECK DAM
N.T.S.



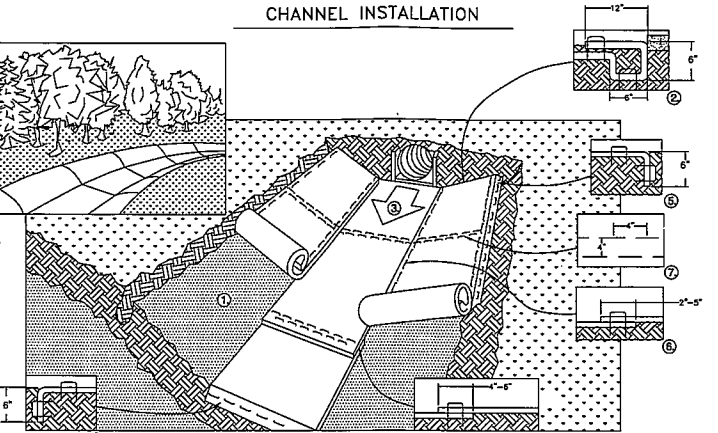
VEGETATED SWALE DETAIL
N.T.S.



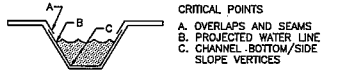
BIORETENTION SYSTEM SPILLWAY INLET CROSS SECTION
N.T.S.

NOTE: SPILLWAY TO BE CONSTRUCTED TO THE DIMENSIONS AND SPECIFICATIONS SHOWN.

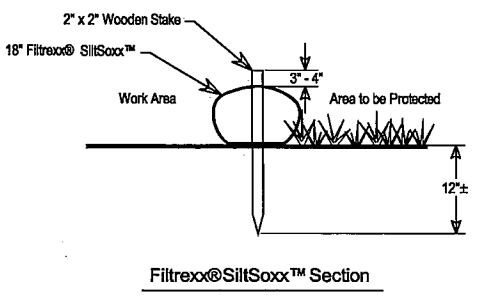
NORTH AMERICAN GREEN
EROSION CONTROL Products
Guaranteed SOLUTIONS
14649 HIGHWAY 41 NORTH
EVANSVILLE IN 47725
800-772-2040
www.nagreen.com



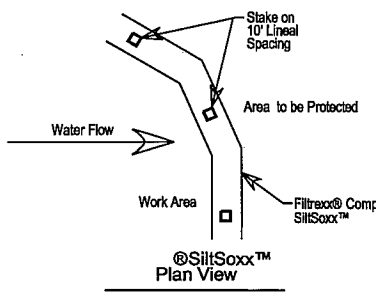
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE RECP's.
 - ROLL CENTER RECP's IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - PLACE CONSECUTIVE RECP's END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE RECP's.
 - FULL LENGTH EDGE OF RECP's AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ADJACENT RECP's MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) (DEPENDING ON RECP'S TYPE) AND STAPLED.
 - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
 - THE TERMINAL END OF THE RECP's MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- NOTE:
* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP's.



TYPICAL TURF REINFORCEMENT MATTING DETAIL
N.T.S.



Filtrexx@SiltSoxx™ Section



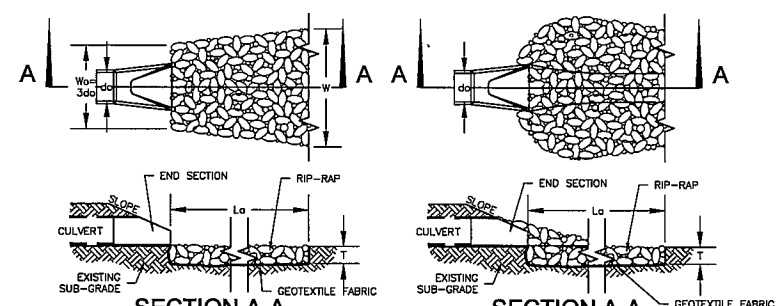
Filtrexx@SiltSoxx™ Plan View

- Notes:**
- All material to meet Filtrexx@ specifications.
 - Use Certified Filtrexx@ FilterMedia.
 - Compost material to be dispersed on site up slope from protected area.

SILTSOXX DETAIL
N.T.S.

NOTE:
* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE REQUIRED.

- NOTES:**
- VEGETATED SWALE AND BIORETENTION SYSTEM SPILLWAY TO BE LINED WITH NORTH AMERICAN GREEN P300 EROSION CONTROL BLANKET OR APPROVED EQUAL.
 - FOR SALES CONTACT:
EJ PRESCOTT, INC.
210 SHEEP DAVIS RD.
CONCORD, NH
603-224-9545



SECTION A-A
(PIPE OUTLET TO FLAT AREA NO WELL DEFINED CHANNEL)

RIP-RAP GRADATION

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)
100	6 TO 8
85	5.2 TO 7.2
50	4 TO 6
15	1.2 TO 2

SECTION A-A
(PIPE OUTLET TO WELL DEFINED CHANNEL)

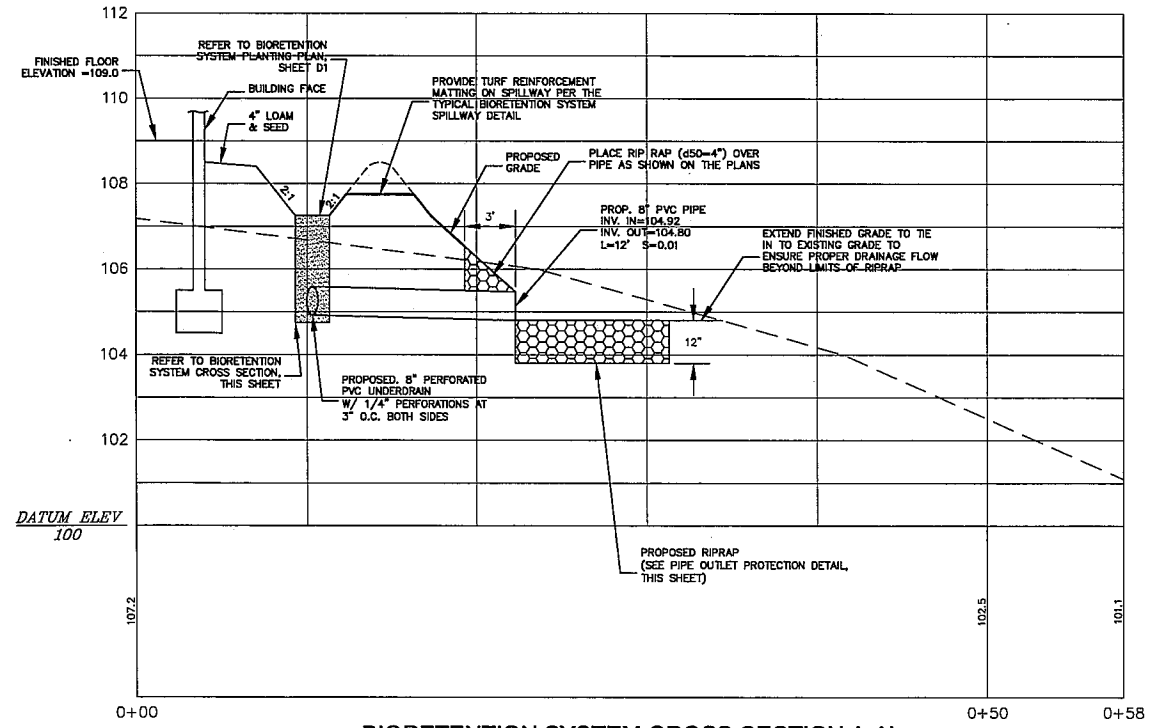
APRON DIMENSION TABLE

PIPE OUTLET BIORETENTION SYSTEM	W _o	W	L _o	T	d50
4.0'	11'	9'	12'	4"	

- CONSTRUCTION SPECIFICATIONS:**
- PREPARE THE SUB-GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP-RAP TO THE GRADES SHOWN ON THE PLANS.
 - MINIMUM 6" SAND/GRAVEL BEDDING OR GEOTEXTILE FABRIC REQUIRED UNDER ALL ROCK RIP-RAP.
 - THE ROCK OR GRAVEL USED FOR FILTER OR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO (2) PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - RIP-RAP SIZE CHOSEN FOR THE WORST CASE OF ALL OUTLETS. ALL RIP-RAP USED FOR PIPE OUTLET PROTECTION WILL HAVE THE SAME GRADATION AND THICKNESS.

- MAINTENANCE NOTES:**
- OUTLETS SHALL BE INSPECTED AND CLEANED ANNUALLY AND AFTER ANY MAJOR STORM EVENT. ANY EROSION OR DAMAGE TO THE RIP-RAP SHALL BE REPAIRED IMMEDIATELY.
 - THE CHANNEL IMMEDIATELY DOWNSTREAM FROM THE OUTLET SHOULD BE CHECKED TO SEE THAT NO EROSION IS OCCURRING.
 - THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

PIPE OUTLET PROTECTION DETAIL
NOT TO SCALE



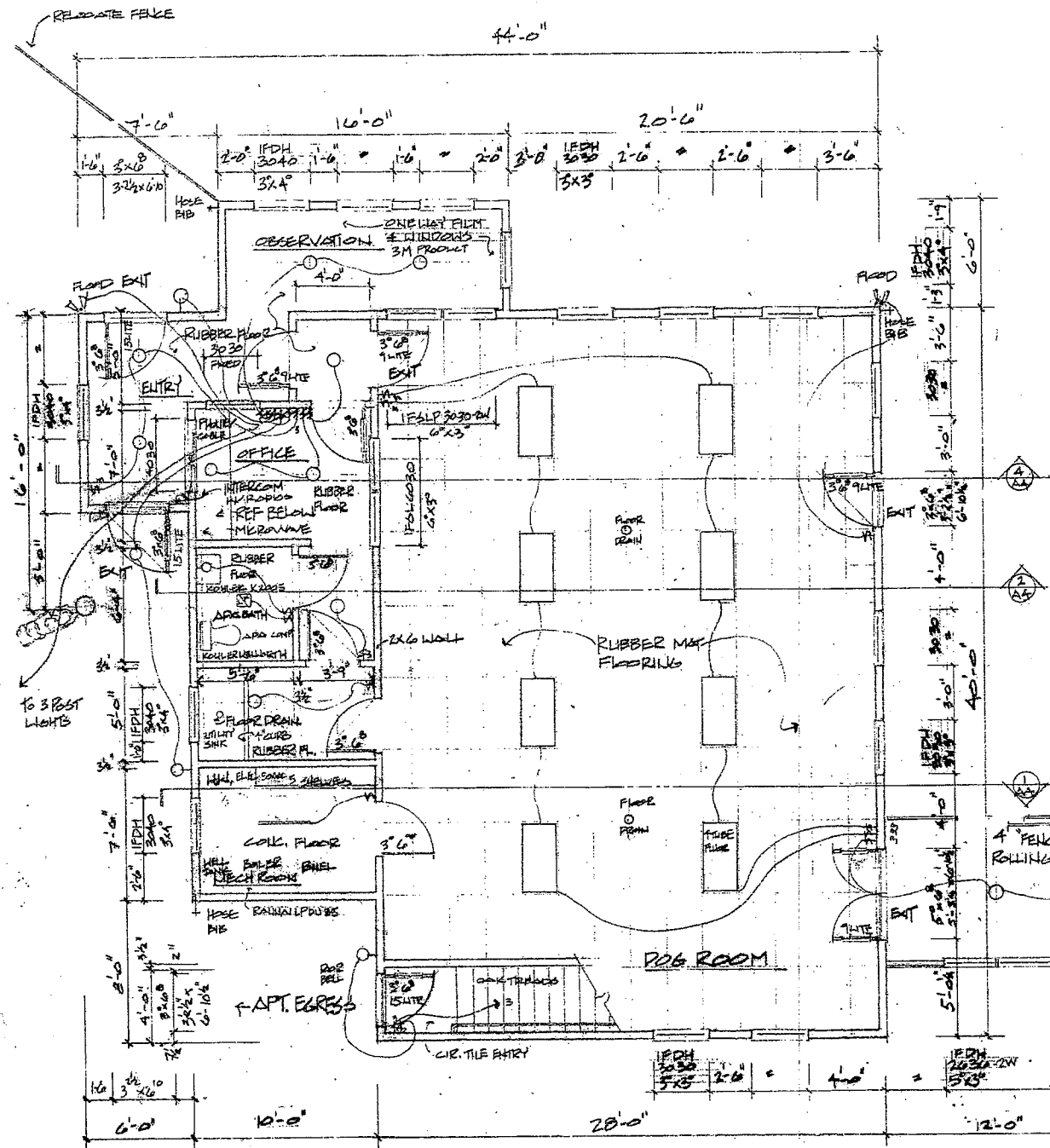
BIORETENTION SYSTEM CROSS-SECTION A-A'
SCALE: H: 1"=5' V: 1"=2'

DATE:	9/19/12	SEAL	
SCALE:	AS SHOWN		
DESIGNED BY:	MJS/MJS		
DRAWN BY:	MJS		
APPROVED BY:	MJS		
DWG FILE:	11-035_C11.dwg		
NO.			
ADDED TO PLAN SET			
REVISIONS			
DATE	9/19/12		
INT.			

CONSTRUCTION DETAILS
prepared for
GREAT BAY KENNEL
(TAX MAP 6, LOT 11-7)
27 & 35 NEWMARKET ROAD DURHAM, NH

MJS ENGINEERING, PC
5 RAILROAD ST., P.O. BOX 269
NEWBURY, NH 03257
PHONE: (603) 852-4527
E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 11-035
D2



FIRST FLOOR PLAN 1600# B + 2400# U
1/4" = 1'-0"

GA FILE NO. WF 4136 GENERIC 2 HOUR FIRE

GYPSUM WALL BOARD, WOOD STUDS

Base layer 1/2" type X gypsum wallboard or water resistant gypsum board or at right angles to each side of 2 x 4 wood studs 16" o.c. with 1/4" Type W drywall screws 12" o.c. Base layer 1/2" type X gypsum wallboard or water resistant gypsum board or at right angles to each side with 1/4" Type W drywall screws 12" o.c. with offset 6" from screws in base layer. Joints staggered 10" each layer and side. (LOAD-BEARING)

Thickness: 5/8"
Approx. Weight: 12 psf
Fire Test: SMRI 01-5820-814, 12-6-94
See WF 4136
Sound Test: (MGC 2363, 4-1-70)

FIRE RATED WALLS SUPPORTING
28' x 40' R-3 OCCUPANCY ABOVE

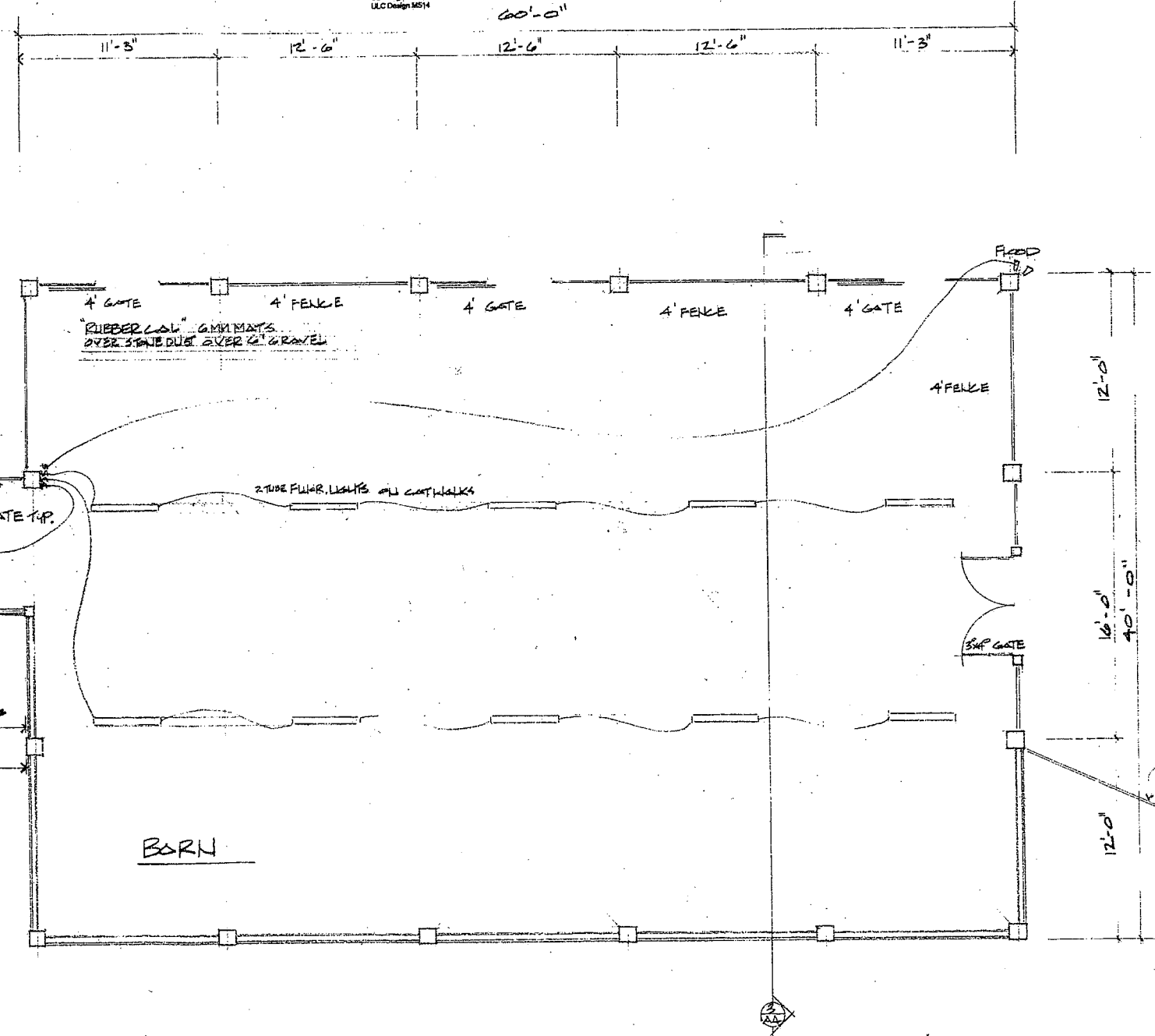
GA FILE NO. FC 5751 GENERIC 2 HOUR FIRE

WOOD FLOOR, WOOD TRUSSER, GYPSUM WALLBOARD, ROOF FURROWS CHANNELS

Base layer 1/2" type X gypsum wallboard applied at right angles to 1" deep parallel chord wood 2x4 o.c. with 1/4" Type W drywall screws 12" o.c. Second layer 1/2" type X gypsum wallboard applied at right angles to trusses with 2" Type W drywall screws 12" o.c. Second layer joints offset 24" from base layer joints. Third layer 1/2" type X gypsum wallboard applied at right angles to trusses with 2 1/4" Type W drywall screws 12" o.c. Third layer joints offset 12" from second layer joints. Full-shaped rigid lathing channels 24" o.c. applied at right angles to trusses over base layer with two 2 1/4" long Type W drywall screws at each truss. Base layer 1/2" type X gypsum wallboard applied at right angles to lathing channels with 1/4" Type S drywall screws 12" o.c. Wood trusses supporting No. 1 & G edge plywood floor applied at right angles to trusses with 8d nails 6" o.c. at joints and 12" at intermediate bays. Ceiling provides two-hour fire-resistance protection for wood flooring.

Approx. Ceiling Weight: 12 psf
Fire Test: UL RA224, D00NC6645, 4-27-01, UL Design L556, ULC Design M514

FIRE RATED CEILING OVER 28' x 40' DOG ROOM TO SEPARATE R-3

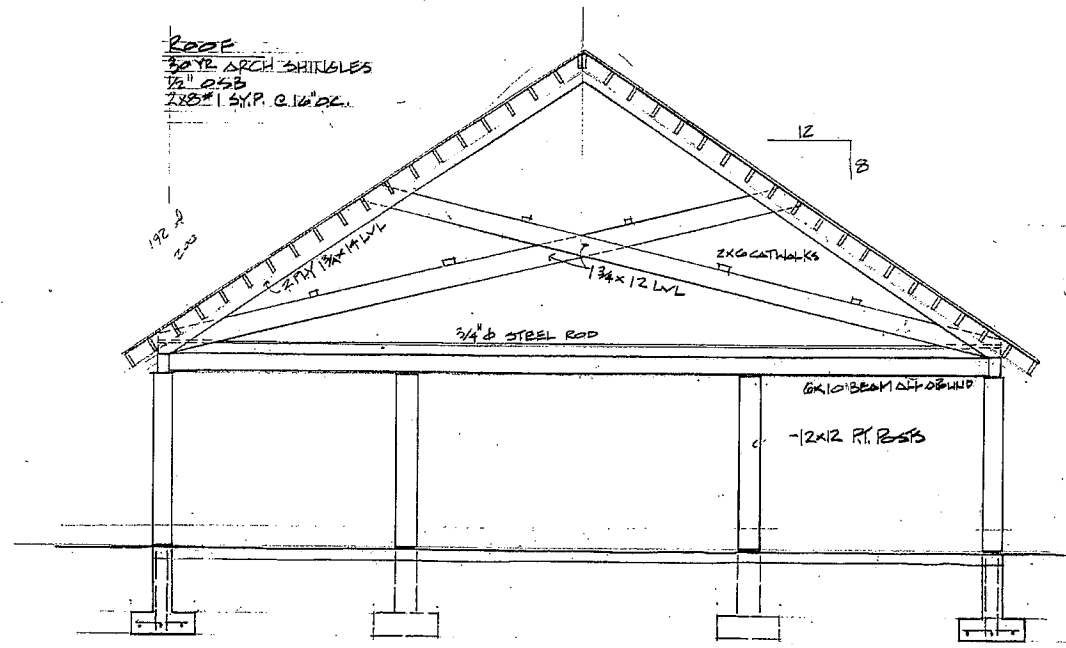


DESIGN
RW ROBIN UNDERLKH
66 MAIST ROAD
LEE, NH 03861
603-657-5717

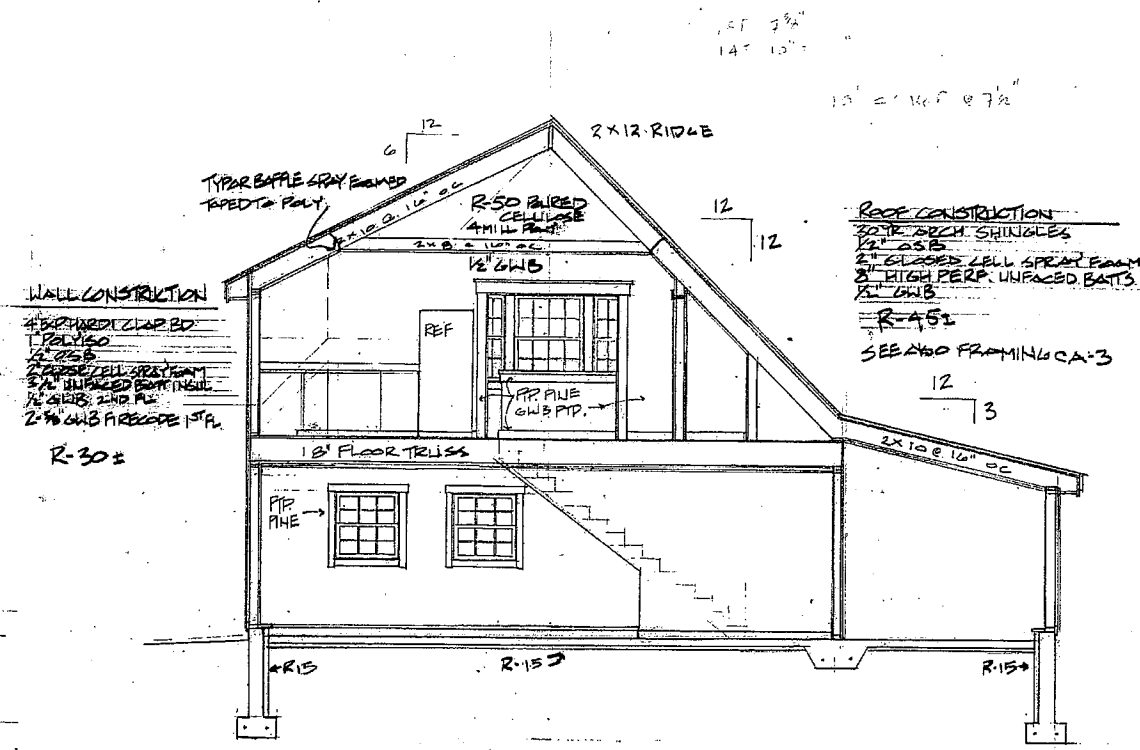
NEW 226 DOCKSIDE BUILDING
GREAT BAY KENNEL
35 NEW MARKET ROAD
DURHAM, NH 03824

2-12-12
2-20-12

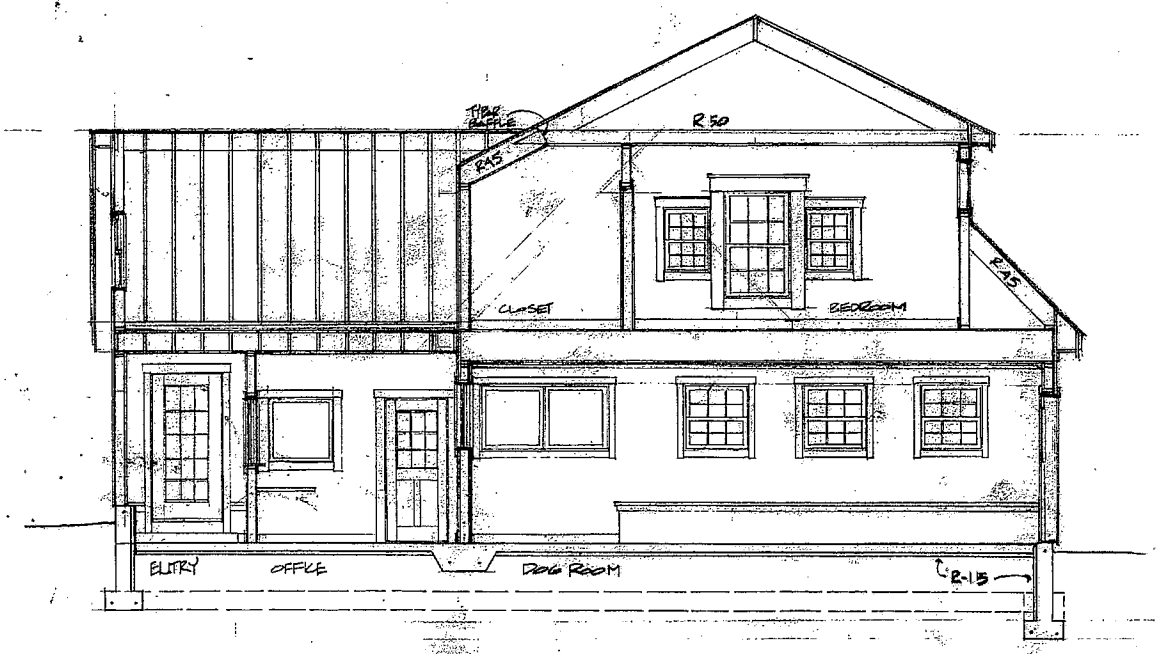
FLOOR PLAN
1/4" = 1'-0"



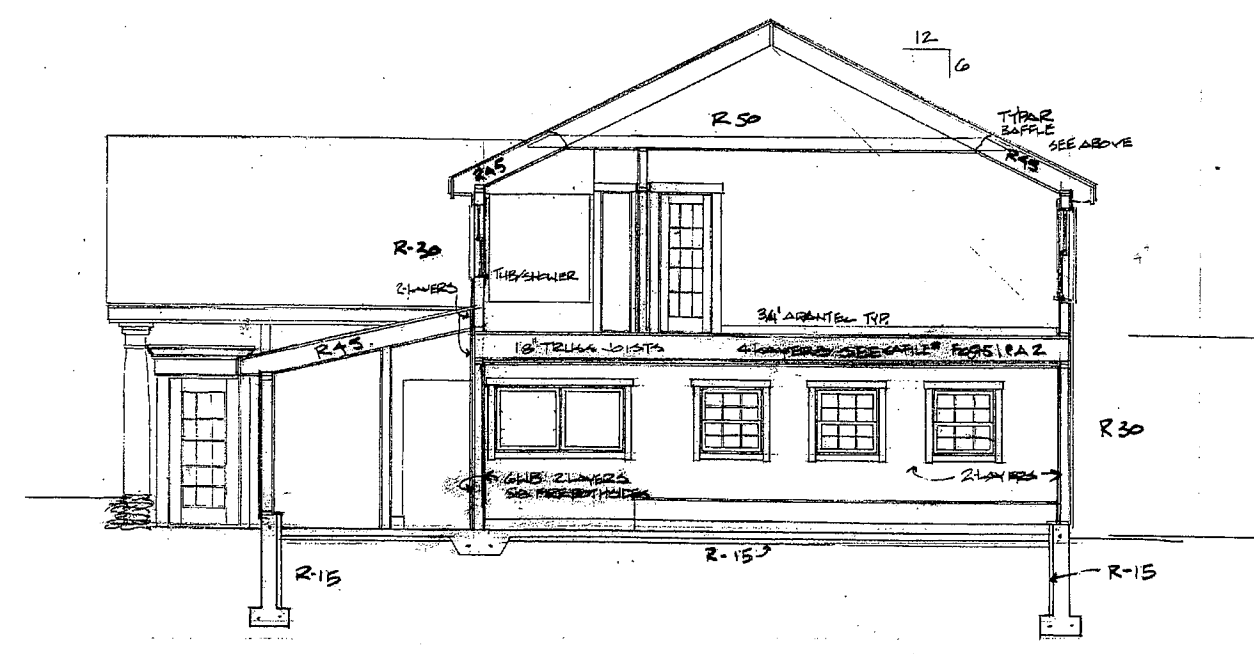
3 BUILDING SECTION C-BURN SEE S2.0 & 3.0



1 BUILDING SECTION



4 BUILDING SECTION 1/4\"/>



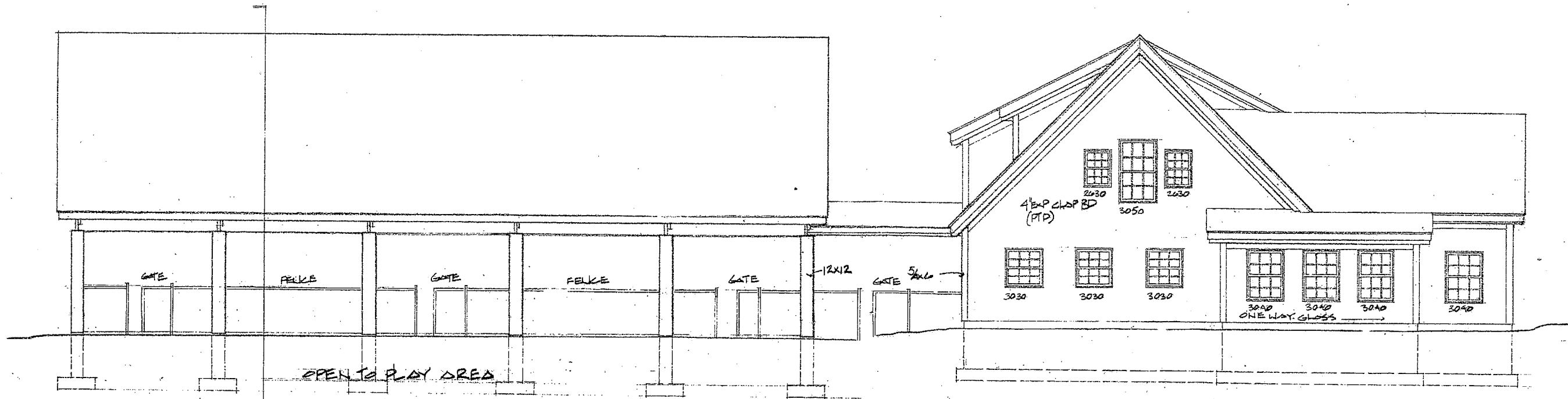
2 BUILDING SECTION 1/4\"/>

DESIGN
 RW ROBIN WUNDERLICH
 66 MAIST ROAD
 LEE, NH 03861
 603-657-5177

NEW DOG HOUSE BUILDING
 GREAT BAY VILLAGE
 35 NEW MARKET ROAD
 DURHAM, NH 03824

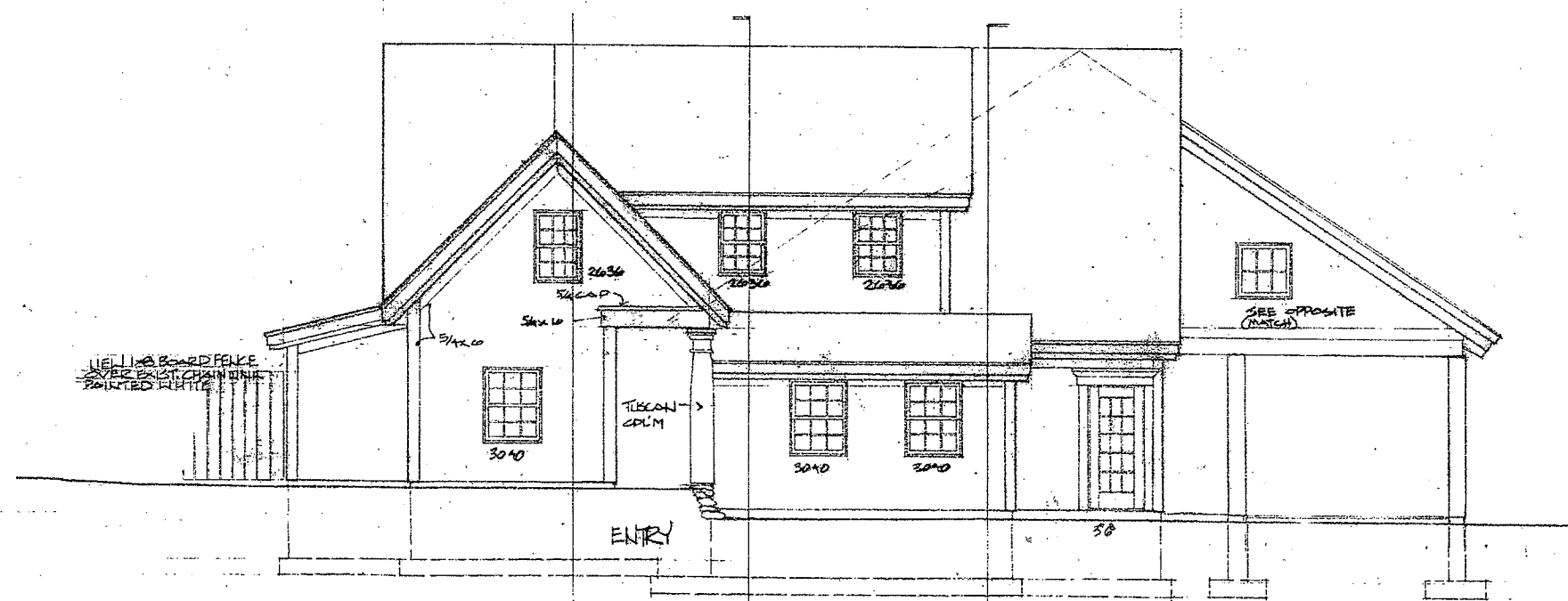
2-12-12
 2-20-12

BUILDING SECTIONS
 1/4\"/>



EAST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

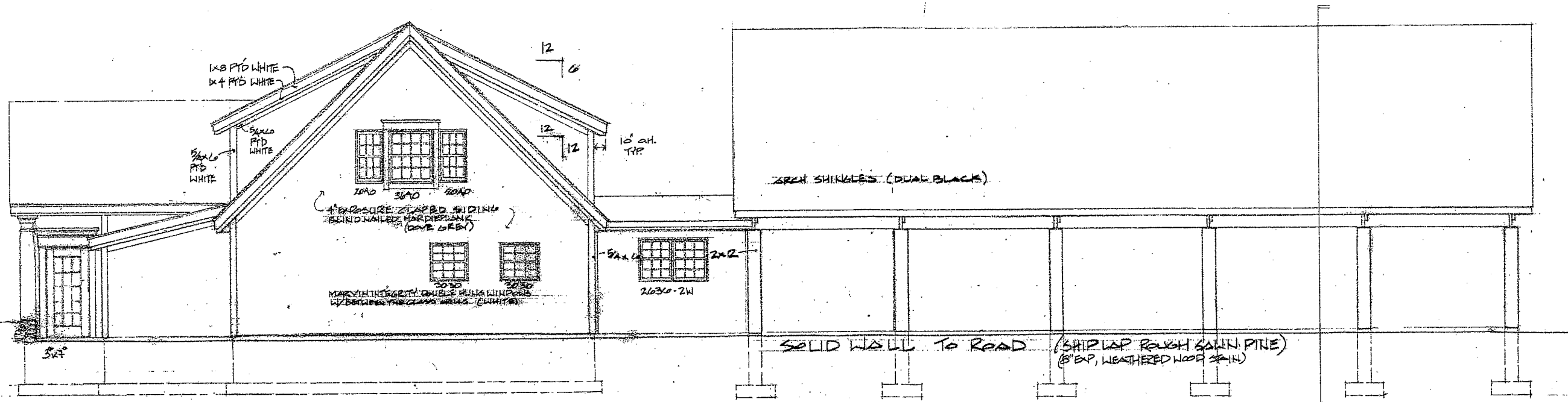
1/4" = 1'-0"

DESIGN
R.W. ROBIN WILDERLICH
66 MAIST ROAD
LEE, NH 03861

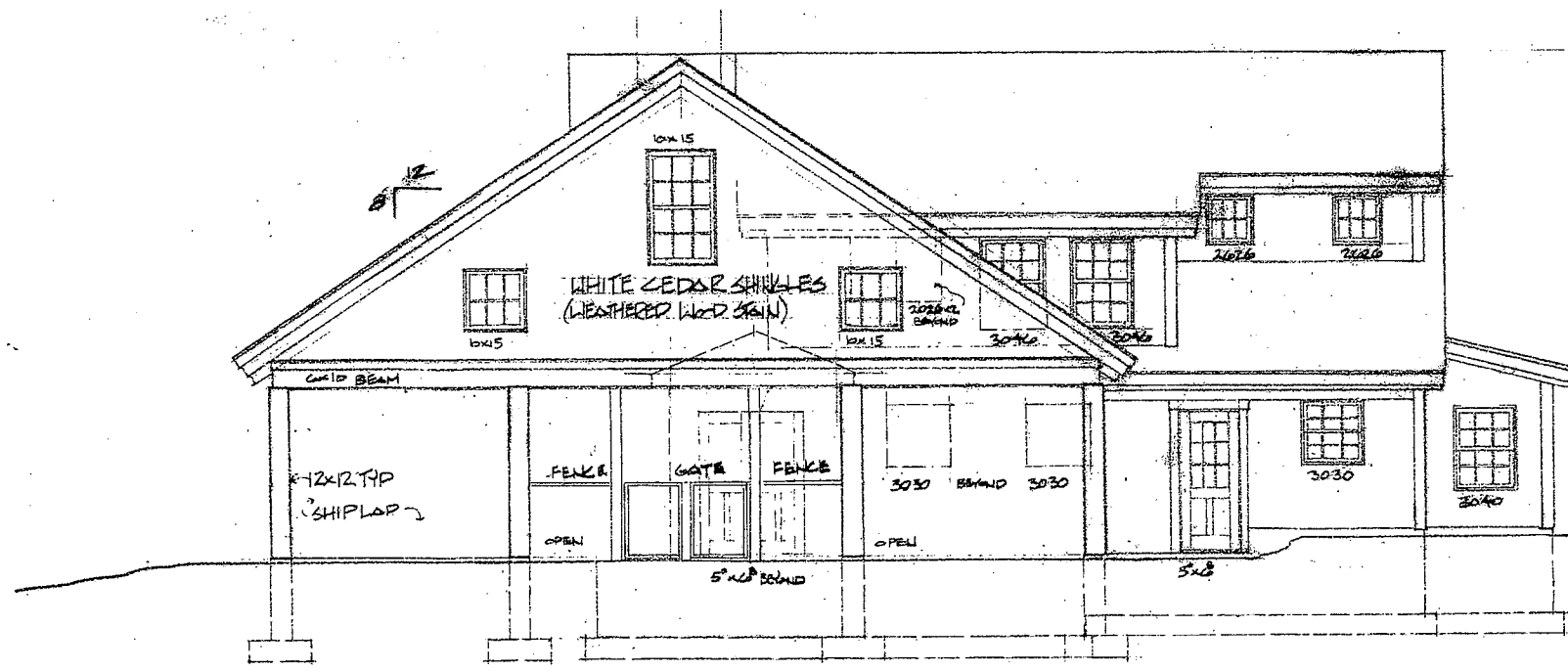
NEW DOGS BARBERS BUILDING
GREAT BAY KEENE
35 HENMARKET ROAD
DURHAM, NH 03824

2-12-12
2-20-12

ELEVATIONS
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

DESIGN
RJ ROBIN UNDERLICH
66 MAIST ROAD
LEE, NH 03861

WELLINGTON MANOR BUILDING
GREAT BAY KEENE NH
55 HELM PARKET ROAD
DURHAM, NH 03824

2-12-12
2-20-12

ELEVATIONS
1/4" = 1'-0"