

LOCUS MAP  
(NOT TO SCALE)

**LOCUS REFERENCES**

- TOWN OF DURHAM ASSESSORS MAP 5, LOTS 1-6, 1-7 & 1-8
- BOOK 3510, PAGE 416

**PLAN REFERENCES**

- PLAN #018177
- PLAN #018173
- POCKET #15-FOLDER #1-PLAN #38
- S.C.R.D. PLAN NO. 109-096
- PLAN ENTITLED "LOT CONSOLIDATION PLAN - TAX MAP 5, LOTS 1-6, 1-7 & 1-8", PREPARED BY MSC, SCALE 1"=20', DATED MARCH 25, 2014.

**DEED REFERENCES**

- BOOK 982, PAGE 162
- PROBATE #A17105

**GRANTEE REFERENCES**

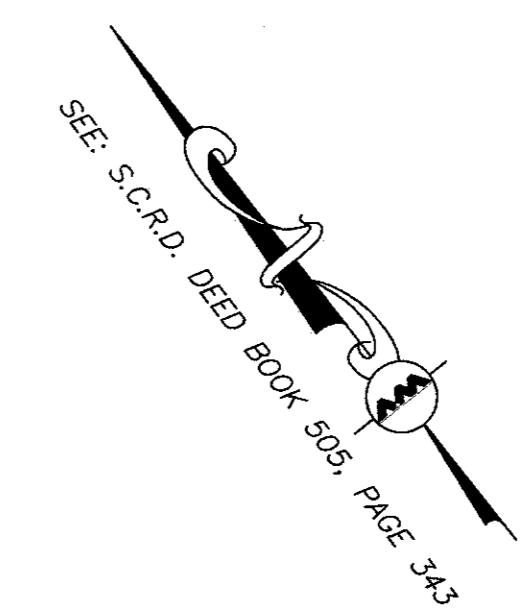
- BOOK 1716, PAGE 637
- BOOK 4215, PAGE 37

**RECORD OWNER**

- ORION UNH EDGE, LLC

**NOTES**

1. NORTH ARROW TAKEN FROM BOOK 505, PAGE 343.
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM STRAFFORD COUNTY REGISTRY OF DEEDS IN DOVER, NH.
3. VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. MAP 5, LOT 1-6 IS SUBJECT TO THE RIGHTS OF THE STATE OF NEW HAMPSHIRE TO EXTEND AND MAINTAIN SLOPES AND ENBANKMENTS AS DESCRIBED IN BOOK 862, PAGE 489.
6. MAP 5, LOT 1-7 IS SUBJECT TO COVENANTS CONTAINED IN A SEWAGE ENTRY APPLICATION AS DESCRIBED IN BOOK 853, PAGE 17.
7. MAP 5, LOT 1-7 IS SUBJECT TO AN EASEMENT TO THE NEW HAMPSHIRE ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BOOK 617, PAGE 396
8. LAND OF NOW OR FORMERLY FOREST H. & ELIZABETH G. SMART NO CONVEYANCE WAS FOUND TO ORION UNH EDGE, LLC, HOWEVER RIGHTS MAY EXIST AREA=598+-/-S.F. (SEE: SCRD BOOK 516, PAGE 19)
9. WATER LINES SHOWN HEREON ARE BASED UPON WATER GATE LOCATIONS AND PROPOSED LOCATIONS, A&M DID NOT AS-BUILT THE ACTUAL LOCATION AS IT WAS BEING INSTALLED.



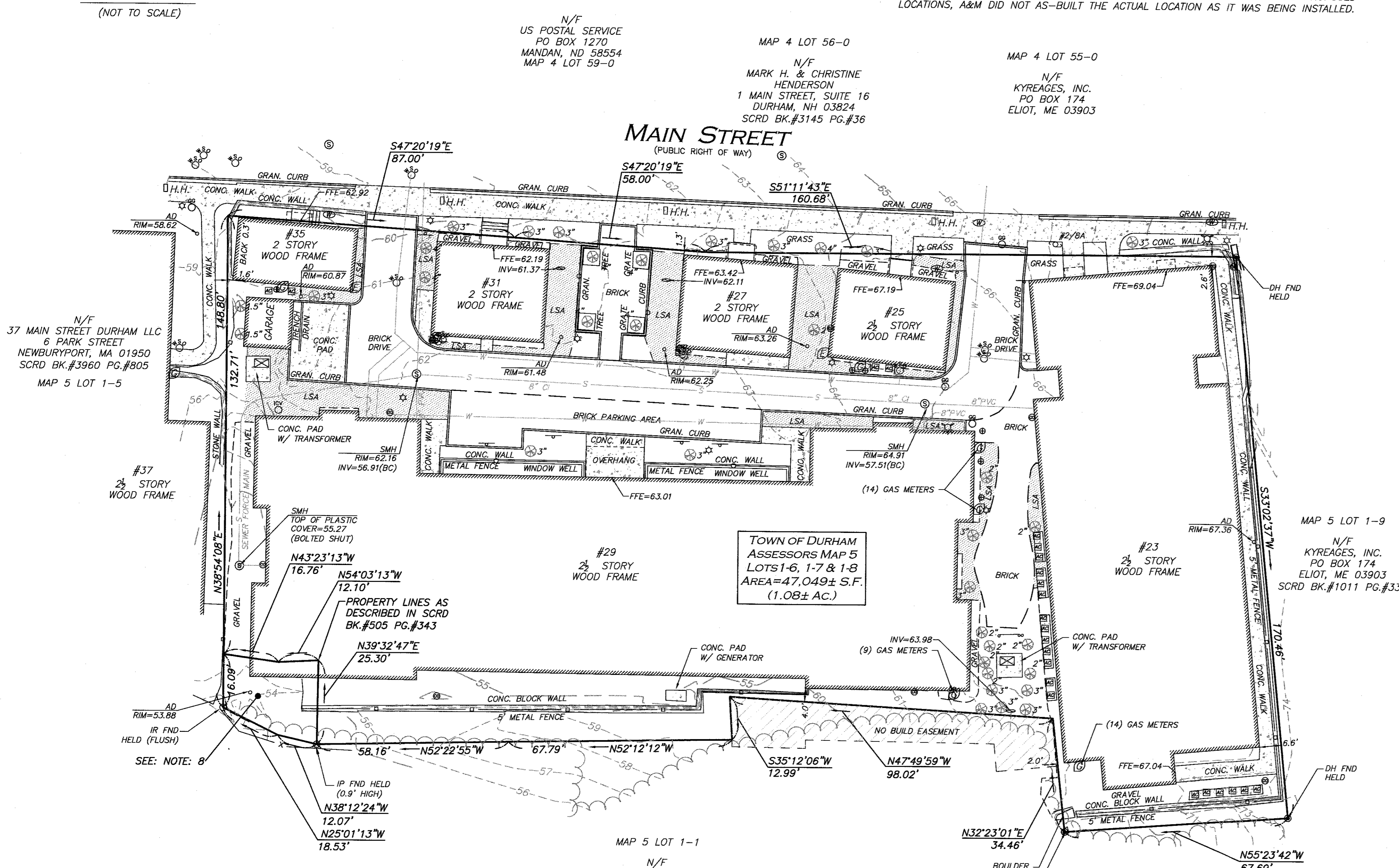
**LEGEND**

DRILL HOLE (DH)	○
IRON PIPE (IP)	⊙
SEWER MANHOLE (SMH)	⊕
CATCH BASIN (CB)	⊞
UTILITY POLE	⊗
UTILITY POLE W/LIGHT	⊗⊕
FIRE HYDRANT	⊕
WATER SERVICE	⊕
WATER GATE	⊕
GAS GATE	⊕
BOLLARD	⊕
CLEANOUT	⊕
INVERT (INV)	⊕
LIGHT	⊕
TREE	⊕
AREA DRAIN	⊕
SIGN	⊕
HAND HOLE	⊕
AIR CONDITIONER	⊕
TRANSFORMER	⊕
CONCRETE	⊕
LANDSCAPED AREA (LSA)	⊕
BRICK	⊕
BUILDING	⊕
BUILDING OVERHANG	⊕
CURB	⊕
METAL FENCE	⊕
1' CONTOUR	⊕
5' CONTOUR	⊕
PROPERTY LINE	⊕
ABUTTERS LINE	⊕
TREE LINE	⊕
EDGE OF PAVEMENT	⊕
EDGE OF GRAVEL	⊕
EDGE OF BRICK	⊕
WATER LINE	⊕
SEWER LINE	⊕
DRAIN LINE	⊕
GAS LINE	⊕
ELECTRIC LINE	⊕
TELEPHONE LINE	⊕
OVERHEAD WIRES	⊕
FINISHED FLOOR ELEVATION	⊕
BITUMINOUS	⊕
CONCRETE	⊕
GRANITE	⊕
BOTTOM CENTER	⊕
REINFORCED CONCRETE PIPE	⊕
POLYVINYL CHLORIDE PIPE	⊕
CAST IRON PIPE	⊕
NOW OR FORMERLY	⊕
BOOK	⊕
PAGE	⊕

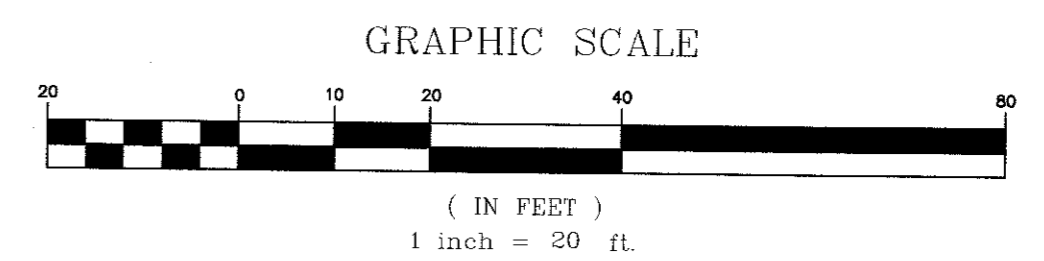
THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN SEPTEMBER 20, 2017 AND SEPTEMBER 26, 2017 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.

JAMES P. SMITH NH LLS 908 10/17/17 DATE



**UTILITY STATEMENT**  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



N:\PROJECTS\????-??\SURVEY\DRAWINGS\S-????-??-ALTA.DWG  
FD# ???? PG. ???

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
ORION UNH, LLC  
8230 BOONE BLVD, SUITE 340  
VIENNA, VA 22182

PROJECT:  
ORION STUDENT HOUSING  
23-35 MAIN STREET  
DURHAM, NH

PROJECT NO.	2158-01A	DATE:	10/17/17
SCALE:	1" = 20'	DWG. NAME:	S-2158-01A-AB
DRAFTED BY:	AJR	CHECKED BY:	JPS

PREPARED BY:

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DRAWING TITLE:	SHEET No.
AS-BUILT	1

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