

RIM=58.62

#37

 $\frac{2^{1}_{2}}{2}$ STORY WOOD FRAME

AD RIM=53.88

HELD (FLUSH)

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD

MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE

SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN &

THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH

A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS

NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

IR FND-

SEE: NOTE: 8'

37 MAIN STREET DURHAM LLC

6 PARK STREET NEWBURYPORT, MA 01950

SCRD BK.#3960 PG.#805

MAP 5 LOT 1-5

UTILITY STATEMENT

WOOD FRAME

CONC. PAD W/ TRANSFORMER

TOP OF PLASTIC

COVER=55.27 (BOLTED SHUT)

N43°23'13"W

N54°03'13"W

-PROPERTY LINES AS DESCRIBED IN SCRD

BK.#505 PG.#343

N39°32'47"E

25.30°

└─ IP FND HELD

(0.9° HIGH)

N38°12'24"W

N25°01'13"W

LOCUS REFERENCES

-TOWN OF DURHAM ASSESSORS MAP 5, LOTS 1-6, 1-7 & 1-8 -BOOK 3510, PAGE 416

PLAN REFERENCES

-PLAN #018177

-PLAN #018173 -POCKET #15-FOLDER #1-PLAN #38 -S.C.R.D. PLAN NO. 109-096

-PLAN ENTITLED "LOT CONSOLIDATION PLAN -TAX MAP 5, LOTS 1-6, 1-7 & 1-8", PREPARED BY MSC, SCALE 1"=20', DATED MARCH 25, 2014.

> MAIN STREET (PUBLIC RIGHT OF WAY)

> > FFE=63.42---- INV=62.11

METAL FENCE WINDOW WELL

— CONC. PAD
W/ GENERATOR

OVERHANG

#29

 $2\frac{1}{2}$ STORY WOOD FRAME

2 STORY WOOD FRAME

S47°20'19"E

* [] H.H.

DEED REFERENCES

US POSTÁL SERVICE PO BOX 1270

MANDAN, ND 58554 MAP 4 LOT 59-0

CONC. WALK

-FFE=62.19

INV=61.37-

WALL W

CONC. BLOCK WALL

67.79

METAL FENCE WINDOW WELL

2 STORY WOOD FRAME

U ISA -

-BOOK 982, PAGE 162 -PROBATE #A17105

GRANTEE REFERENCES

-BOOK 1716, PAGE 637 -BOOK 4215, PAGE 37 RECORD OWNER

-ORION UNH EDGE, LLC

NOTES

MAP 4 LOT 56-0

MARK H. & CHRISTINE HENDERSON

1 MAIN STREET, SUITE 16

DURHAM, NH 03824

SCRD BK.#3145 PG.#36

160.68

LSA

TOWN OF DURHAM

ASSESSORS MAP 5

LOTS1-6, 1-7 & 1-8

AREA=47,049± S.F

(1.08± Ac.)

S35*12'06"W 12.99'

GRAVEL

FFE=67.19-

2½ STORY

WOOD FRAME

RIM = 64.91

(14) GAS METERS

INV=63.98-\

NO BUILD EASEMENT

N47°49'59"W

98.02'

(9) GAS METERS -

INV=57.51(BC)

1. NORTH ARROW TAKEN FROM BOOK 505, PAGE 343.

- 2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM STRAFFORD COUNTY REGISTRY OF DEEDS IN
- 3. VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.

MAP 4 LOT 55-0

KYREAGES, INC.

PO BOX 174

ELIOT, ME 03903

4. CONTOUR INTERVAL IS ONE FOOT (1').

I'H.H. OD

BRICK DRIVE

BRICK

N32°23'01"E/ 34.46'

BOULDER -

DH FND —

- MAP 5, LOT 1-6 IS SUBJECT TO THE RIGHTS OF THE STATE OF NEW HAMPSHIRE TO EXTEND AND
- MAINTAIN SLOPES AND ENBANKMENTS AS DESCRIBED IN BOOK 862, PAGE 489. MAP 5, LOT 1-7 IS SUBJECT TO COVENANTS CONTAINED IN A SEWAGE ENTRY APPLICATION AS
- DESCRIBED IN BOOK 853, PAGE 17. 7. MAP 5, LOT 1-7 IS SUBJECT TO AN EASEMENT TO THE NEW HAMPSHIRE ELECTRIC COMPANY AND
- NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN BOOK 617, PAGE 396 8. LAND OF NOW OR FORMERLY FOREST H. & ELIZABETH G. SMART NO CONVEYANCE WAS FOUND TO ORION UNH EDGE, LLC, HOWEVER RIGHTS MAY EXIST AREA=598+/-S.F. (SEE: SCRD BOOK 516,

FFE=69.04-

#23

 $2\frac{1}{2}$ STORY WOOD FRAME

(14) GAS METERS

FFE=67.04

- CONC. PAD

W/ TRANSFORMER

AD :

CONC. WALK

國國國國國國

MAP 5 LOT 1-15

N/F

KYREAGES, INC.

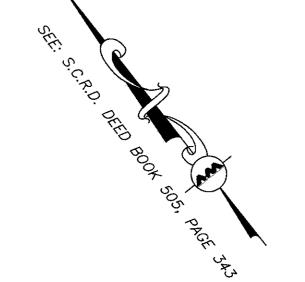
PO BOX 174

ELIOT, ME 03903

SCRD BK.#1000 PG.#674

N55°23'42"W

9. WATER LINES SHOWN HEREON ARE BASED UPON WATER GATE LOCATIONS AND PROPOSED LOCATIONS, A&M DID NOT AS-BUILT THE ACTUAL LOCATION AS IT WAS BEING INSTALLED.



DRILL HOLE (DH)	•
IRON PIPE (IP)	0
SEWER MANHOLE (SMH)	<u>s</u>
CATCH BASIN (CB)	П
UTILITY POLE	G J
UTILITY POLE W/LIGHT	~ ~
FIRE HYDRANT	Ä
WATER SERVICE	®
WATER GATE	450
GAS GATE	
BOLLARD	⊕
CLEANOUT	<u>@</u>
INVERT (INV)	89
LIGHT	\$
TREE	8
AREA DRAIN	0
SIGN	-0
HAND HOLE	<u>п</u> н.н.
AIR CONDITIONER	БС
TRANSFORMER	
CONCRETE	* 4 4 4
LANDSCAPED AREA (LSA)	27
BRICK	
BUILDING	
BUILDING OVERHANG	
CURB	
METAL FENCE	
1' CONTOUR	
5' CONTOUR	Millioner manufactor of a second where
PROPERTY LINE	
ABUTTERS LINE	
TREE LINE	MY WY
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
EDGE OF BRICK	
WATER LINE	
SEWER LINE	<u> </u>
DRAIN LINE	annumananananananananananananananananana
GAS LINE	Serve
ELECTRIC LINE	AT Madelence control or the U.S. The control of the U.S. The
TELEPHONE LINE	
OVERHEAD WIRES	massanaman Off W. massanaman
FINISHED FLOOR ELEVATION	FFE
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
BOTTOM CENTER	(BC)
REINFORCED CONCRETE PIPE	RCP
POLYVINYL CHLORIDE PIPE	PVC
CAST IRON PIPE	CI
NOW OR FORMERLY	N/F
BOOK	N/F BK.
PAGE	PG.
	PG.



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REV DATE DESCRIPTION

ORION UNH, LLC

VIENNA, VA 22182

8230 BOONE BLVD, SUITE 340

ORION STUDENT HOUSING

23-35 MAIN STREET

DURHAM, NH

1" = 20' DWG. NAME: S-2158-01A-A

AJR | CHECKED BY:

10/17/17

SHEET No.

2158-01A DATE:

www.allenmajor.com

400 HARVEY ROAD

MANCHESTER, NH 03103 TEL: (603) 627-5500 FAX: (603) 627-5501

APPLICANT\OWNER:

PROJECT NO.

DRAFTED BY:

SCALE:

THIS PLAN IS THE RESULT OF AN ACTUAL ON

THE GROUND SURVEY PERFORMED ON OR

SEPTEMBER 26, 2017 AND HAD AN ERROR

OF CLOSURE OF NO GREATER THAN 1/10,000.

BETWEEN SEPTEMBER 20, 2017 AND

ALLEN & MAJOR ASSOCIATES, INC.

AS-BUILT

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LEGEND

58.16' N52'22'55"W

COLONIAL DURHAM **ASSOCIATES** ADMINISTRATIVE OFFICES 7 MILL ROAD UNIT C DURHAM, NH 03824 SCRD BK.#1716 PG.#637

MAP 5 LOT 1-1

N52'12'12"W

MAP 5 LOT 1-9

KYREAGES, INC.

PO BOX 174

ELIOT, ME 03903

SCRD BK.#1011 PG.#339

GRAPHIC SCALE (IN FEET) 1 inch = 20 ft.

N:\PROJECTS\????-??\SURVEY\DRAWINGS\S-????-??-ALTA.DWG

FB# ???? PG. ???