

LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR ORION STUDENT HOUSING

25, 27, 29 & 35 MAIN STREET DURHAM, NH

OWNER/APPLICANT:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

SITE ENGINEERS:
ALLEN & MAJOR ASSOCIATES, INC.
250 COMMERCIAL STREET
SUITE 1001
MANCHESTER, NH 03101

ARCHITECT:
DESTEFANO ARCHITECTS
23 HIGH STREET
PORTSMOUTH, NH 03801

ABUTTERS:
TAX MAP 5 LOT 1-5
37 MAIN STREET DURHAM LLC
6 PARK STREET
NEWBURYPORT, MA 01950

TAX MAP 5 LOT 1-9
KYREAGES INC
P O BOX 174
ELIOT, ME 03903

TAX MAP 5 LOT 1-15
KYREAGES INC
P O BOX 174
ELIOT, ME 03903

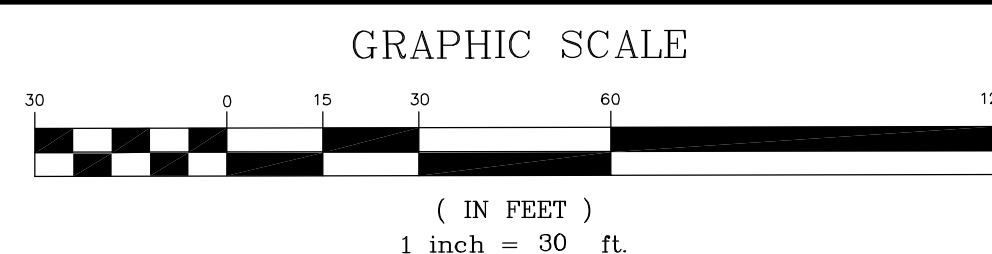
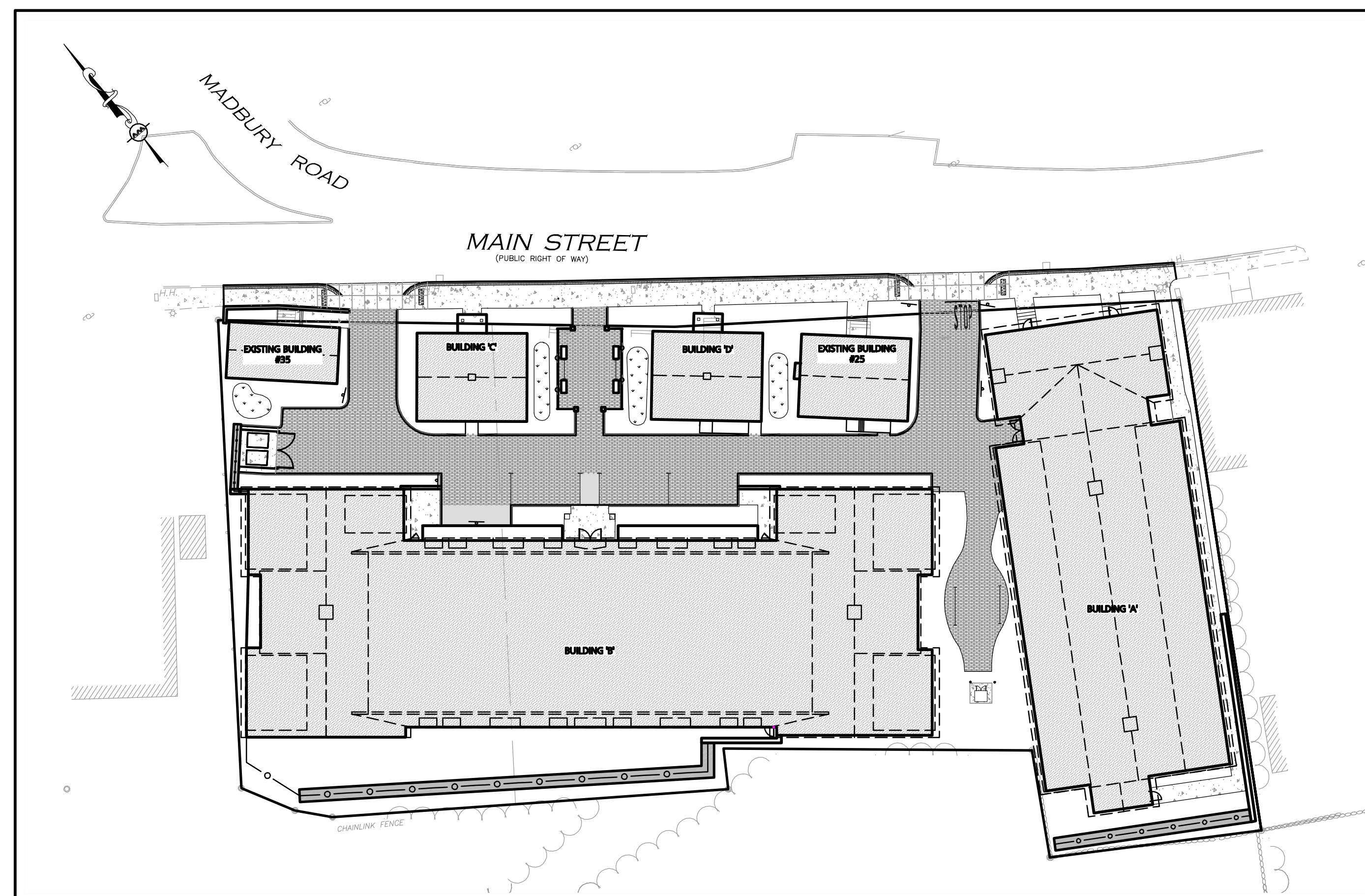
TAX MAP 5 LOT 1-1A/1B
COLONIAL DURHAM ASSOCIATES
ADMINISTRATIVE OFFICES
7 MILL ROAD UNIT C
DURHAM, NH 03824

TAX MAP 4 LOT 55-0
KYREAGES INC
P O BOX 174
ELIOT, ME 03903

TAX MAP 4 LOT 56-0
HENDERSON, CHRISTINE &
HENDERSON, MARK H
1 MAIN STREET, SUITE 16
DURHAM, NH 03824

TAX MAP 4 LOT 59-0
US POSTAL SERVICE
P.O. BOX 1270
MANDAN, ND 58554

TAX MAP 4 LOT 1-0
HENDERSON, EARLE H & MARK H
1 MAIN STREET, SUITE 16
DURHAM, NH 03824



PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
250 COMMERCIAL STREET
SUITE 1001
MANCHESTER, NH 03101
TEL: (603) 627-5500
FAX: (603) 627-5501
WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH
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LIST OF DRAWINGS

| DRAWING TITLE | SHEET NO. | ISSUED | REVISED |
|---|-----------|----------|----------|
| EXISTING CONDITIONS PLAN | EX-1 | 02-02-12 | - |
| LAYOUT & MATERIALS PLAN | C-1 | 09-04-13 | 01-15-14 |
| GRADING & DRAINAGE PLAN | C-2 | 09-04-13 | 01-15-14 |
| UTILITY PLAN | C-3 | 09-04-13 | 01-15-14 |
| LANDSCAPE PLAN | C-4 | 09-04-13 | 01-15-14 |
| CONSTRUCTION MANAGEMENT PLAN | C-5 | 10-25-13 | 01-15-14 |
| STORMWATER POLLUTION PREVENTION NOTES | SWPPP1 | 09-04-13 | 01-15-14 |
| STORMWATER POLLUTION PREVENTION PLAN | SWPPP2 | 09-04-13 | 01-15-14 |
| STORMWATER POLLUTION PREVENTION DETAILS | SWPPP3 | 09-04-13 | 01-15-14 |
| DETAILS | D-1 | 09-04-13 | 01-15-14 |
| DETAILS | D-2 | 09-04-13 | 01-15-14 |
| DETAILS | D-3 | 09-04-13 | 01-15-14 |
| DETAILS | D-4 | 09-04-13 | 01-15-14 |
| DETAILS | D-5 | 09-04-13 | 01-15-14 |
| EXIST. WATERSHED PLAN | EWP | 09-04-13 | 01-15-14 |
| PROP. WATERSHED PLAN | PWP | 09-04-13 | 01-15-14 |
| BUILDING A ELEVATIONS | A-2.1 | 09-04-13 | 12-20-13 |
| BUILDING A&B ELEVATIONS | A-2.2 | 09-04-13 | 12-20-13 |
| BUILDING B ELEVATIONS | A-2.3 | 09-04-13 | 12-20-13 |
| BUILDING B ELEVATIONS | A-2.4 | 09-04-13 | 12-20-13 |
| BUILDING C&D ELEVATIONS | A-2.5 | 09-04-13 | 12-20-13 |
| LIGHTING PLAN | L-1 | 10-25-13 | - |
| TRAFFIC RECOMMENDATION PLAN | TR-1 | 12-20-13 | 01-15-14 |
| STOPPING SIGHT DISTANCE | TR-2 | 01-15-14 | - |
| GARBAGE TRUCK TURN PATH | TP-1 | 01-15-14 | - |

ISSUED FOR REVIEW
JANUARY 15, 2013

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

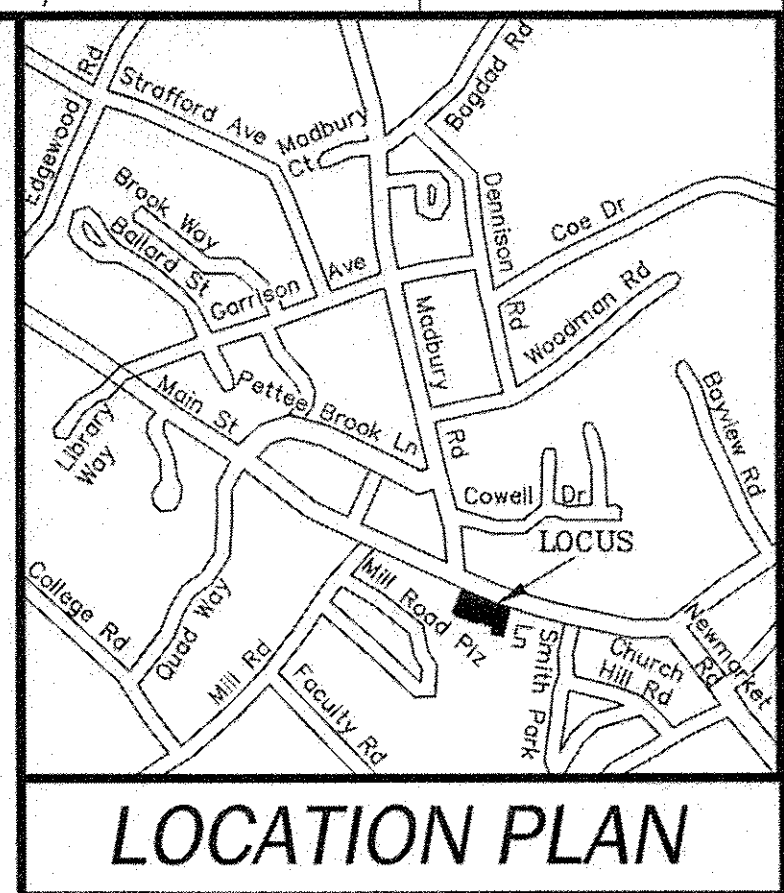
ISSUED FOR PLANNING BOARD REVIEW: SEPTEMBER 4, 2013
ISSUED FOR ZONING BOARD REVIEW: OCTOBER 25, 2013
ISSUED FOR REVIEW-REVISION 3: JANUARY 15, 2014

LEGEND

- BK.2562/PG.2783 BOOK NO./PAGE NO.
N/F NOW OR FORMERLY
POB POINT OF BEGINNING
PSNH PUBLIC SERVICE COMPANY OF NEW ENGLAND
SCRD STRAFFORD COUNTY REGISTRY OF DEEDS
S.F. SQUARE FEET
OHU OVERHEAD UTILITIES
FREE STANDING SIGN
WATER VALVE
ASSESSORS MAP & PARCEL NUMBER
PROPERTY LINE
STONE WALL
UTILITY POLE
CATCH BASIN
HYDRANT
LIGHT
WATER SHUTOFF
HANDICAPPED

PLAN REFERENCES:

- 1. "RIGHT-OF-WAY PLANS, STATE OF NH, NHDOT ROW PLANS, TOWN OF DURHAM, COUNTY OF STRAFFORD". SCRD PLAN #018177.
2. "RIGHT-OF-WAY PLANS OF PROPOSED FEDERAL AID PROJECT, OSO-STP-14-X-5133(003), N.H. PROJECT NO. C-2424-C, MAIN STREET/NEWMARKET ROAD/N.H. ROUTE 108" BY NHDOT, DATED 10-19-00. SCRD PLAN #018173.
3. "MILL ROAD, LAND SAMUEL A. TAMPOSI AND EDWARD N. LEHOULLIER, DURHAM, N.H." BY G.L. DAVIS & ASSOCIATES, CIVIL ENGINEERS, DATED APRIL 1975, REVISED 5/30/75. SCRD POCKET #15-FOLDER #1-PLAN #38.



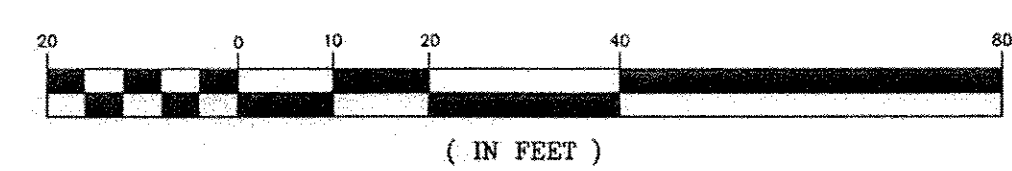
NOTES:

- 1. THE PARCELS ARE LOCATED IN THE CENTRAL BUSINESS (CB) ZONE AND THE HISTORIC OVERLAY DISTRICT (HOD).
2. THE PARCELS ARE AS SHOWN ON THE TOWN OF DURHAM ASSESSOR'S MAP 5 AS LOTS 1-6, 1-7 & 1-8.
3. THE PARCEL IS LOCATED IN FLOOD ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON INSURANCE RATE MAP COMMUNITY - PANEL NUMBER 33017C0318D WITH EFFECTIVE DATE MAY 17, 2005.
4. OWNER OF RECORD: VARSITY DURHAM, LLC
24 PARK COURT
DURHAM, NH 03824
SCRD BK.3510 PG.416
5. ZONING REQUIREMENTS:
MINIMUM LOT SIZE: 5,000 S.F./900 S.F. PER DWELLING UNIT
MINIMUM FRONTAGE: 50'
MINIMUM SETBACKS:
FRONT YARD: N/A
SIDE YARD: N/A
REAR YARD: N/A
MAXIMUM BUILDING HEIGHT: 30'
6. MAP 5 LOT 1-6 IS SUBJECT TO THE RIGHTS OF THE STATE ON NEW HAMPSHIRE TO EXTEND AND MAINTAIN SLOPES AND EMBANKMENTS AS DESCRIBED IN SCRD BK.#862 PG.#489.
7. MAP 5 LOT 1-7 IS SUBJECT TO COVENANTS CONTAINED IN A SEWERAGE ENTRY APPLICATION AS DESCRIBED IN SCRD BK.#853 PG.#317.
8. MAP 5 LOT 1-7 IS SUBJECT TO AN EASEMENT TO NEW HAMPSHIRE ELECTRIC COMPANY & NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN SCRD BK.#817 PG.#396.
9. FIELD SURVEY COMPLETED IN JANUARY 2012 UNDER SNOW COVER. EXISTING FEATURES SHOWN ON THIS PLAN WERE LOCATED AS ACCURATE AS POSSIBLE UNDER THOSE CONDITIONS. MSC, INC. RESERVES THE RIGHT TO FIELD INSPECT THESE PREMISES IN THE SPRING AND MODIFY THIS PLAN AS NECESSARY.

SURVEYOR'S CERTIFICATION

THE UNDERSIGNED HEREBY CERTIFIES TO ORION, UNH, LLC, ROCKLAND TRUST COMPANY AND STEWART TITLE GUARANTY COMPANY THAT THIS MAP OR PLAT OF SURVEY AND THE SURVEY ON WHICH IT WAS BASED WAS PREPARED BY ME AND WAS ACTUALLY MADE UPON THE GROUND. IN ADDITION, THE UNDERSIGNED HEREBY CERTIFIES THAT (1) THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY ARE CORRECT, (2) THE SIZE, LOCATION AND TYPE OF IMPROVEMENTS ARE SHOWN HEREON AND ALL ARE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTIES AND SET BACK FROM THE PROPERTIES LINES THE DISTANCES INDICATED, UNLESS SHOWN OTHERWISE, (3) THE PROPERTIES ARE CONTIGUOUS TO AND HAVE ACCESS TO AND FROM MAIN STREET, A PUBLIC ROADWAY, (4) THERE ARE NO EASEMENTS OR ENCUMBRANCES (INCLUDING UTILITY LINES) AFFECTING THE PROPERTIES OTHER THAN AS SHOWN OR NOTED ON THIS SURVEY, (5) THERE ARE NO ENCROACHMENTS OF ANY IMPROVEMENTS ON THESE PROPERTIES OVER ANY EASEMENTS OR ENCUMBRANCES, OR ONTO ADJOINING PROPERTY OTHER THAN AS SHOWN ON THIS SURVEY, (6) THERE ARE NO ENCROACHMENTS OF ANY IMPROVEMENTS ON ADJOINING PROPERTY ONTO THE PROPERTIES OTHER THAN AS SHOWN AND NOTED HEREON, (7) ALL RECORDED EASEMENTS AND OTHER EXCEPTIONS, AS NOTED IN THE STEWART TITLE GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE, DATED 01/18/2011 HAVE BEEN CORRECTLY PLATTED AND/OR NOTED HEREON; (8) ALL ZONING, USE AND DENSITY CLASSIFICATIONS ARE SHOWN HEREON, (9) THE PROPERTIES CONSTITUTE THREE SEPARATE CONTIGUOUS PARCELS WITHOUT GAPS OR GORES, AND (10) THE PROPERTIES ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN OR IN AN IDENTIFIED "FLOOD PRONE AREA", AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, PURSUANT TO THE FLOOD DISASTER PROTECTION ACT OF 1973, AS AMENDED, AS REFLECTED BY FLOOD INSURANCE RATE MAP PANEL #33017C0318D, DATED MAY 17, 2005, WHICH SUCH MAP PANELS COVERS THE AREA IN WHICH PROPERTIES ARE SITUATED AND (11) THERE ARE NO MOBILE HOME PADS LOCATED ON THE PROPERTIES.

Signature of J. Corey Colwell, Licensed Land Surveyor, dated FEB 02 2012.



ENCROACHMENTS:

- 1 STEPS AND WALKWAY ENCOACH ONTO MAIN STREET - PUBLIC RIGHT OF WAY.
2 PAVED AREA ENCOACHES ONTO MAIN STREET - PUBLIC RIGHT OF WAY.
3 STEPS AND WALKWAY ENCOACH ONTO MAIN STREET - PUBLIC RIGHT OF WAY.
4 DUMPSTER ENCOACHES ONTO ADJOINING PROPERTY.

LEGAL DESCRIPTIONS

MAP 5 LOT 1-6 BEGINNING AT A FOUND BRASS PIPE IN THE SOUTHERLY SIDELINE OF MAIN STREET AT LAND NOW OR FORMERLY OF 37 MAIN STREET DURHAM, LLC, THENCE PROCEEDING ALONG SAID SOUTHERLY SIDELINE OF MAIN STREET S 47°20'30" E A DISTANCE OF 87.00 FEET TO A POINT AT LAND NOW OR FORMERLY OF VARSITY DURHAM, LLC; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID VARSITY DURHAM, LLC S 39°02'13" W A DISTANCE OF 152.69 FEET TO A SET IRON ROD AT LAND NOW OR FORMERLY OF COLONIAL DURHAM ASSOCIATES; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID COLONIAL DURHAM ASSOCIATES N 52°12'12" W A DISTANCE OF 58.30 FEET TO A FOUND IRON PIN; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID COLONIAL DURHAM ASSOCIATES N 38°12'24" W A DISTANCE OF 12.07 FEET TO A FOUND IRON PIN; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID COLONIAL DURHAM ASSOCIATES N 25°30'26" W A DISTANCE OF 18.47 FEET TO A FOUND IRON PIN AT LAND OF SAID 37 MAIN STREET DURHAM, LLC; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID 37 MAIN STREET DURHAM, LLC N 39°00'00" E A DISTANCE OF 148.84 FEET TO THE POINT OF BEGINNING. CONTAINING: 13,434 SQUARE FEET (0.308 ACRES), MORE OR LESS.

EXISTING FEATURES PLAN FOR ORION UNH, LLC

Table with columns: REV, DATE, DESCRIPTION. It is currently empty.

TAX MAP 5 LOTS 1-6, 1-7 & 1-8 PROPERTY OF VARSITY DURHAM, LLC

35, 29 & 25-27 MAIN STREET COUNTY OF STRAFFORD NEW HAMPSHIRE

DATE: JANUARY 20, 2012

PROJECT NO. 11082 SCALE: 1" = 20'

MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. 170 COMMERCE WAY SUITE 102 PORTSMOUTH, NH 03801

Feb 02 2012 - 11:08am P:\11082\02\dwg\11082-02.dwg

FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 3 | 01-15-14 | REVS PER PEER REVIEW |
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:

ORION UNH LLC
 225 FRANKLIN STREET, 26TH FLOOR
 BOSTON, MA 02110

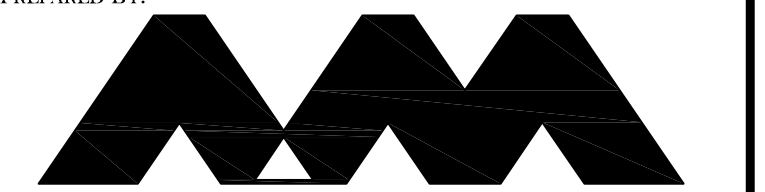
PROJECT:
**ORION
 STUDENT HOUSING**
 25/35 MAIN STREET
 DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: LAYOUT

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



**ALLEN & MAJOR
 ASSOCIATES, INC.**
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com

250 COMMERCIAL STREET SUITE 1001
 MANCHESTER, NH 03101
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 WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

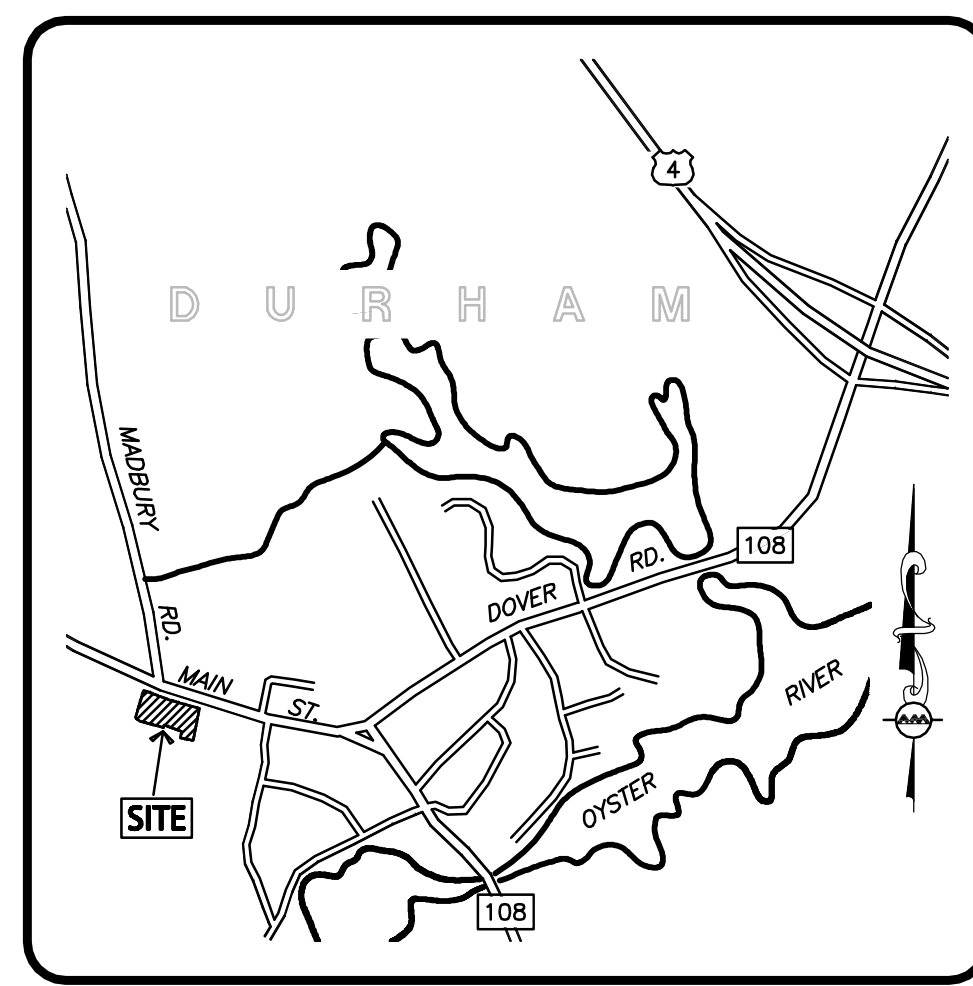
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CUSTOMER REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: SHEET No.

**LAYOUT &
 MATERIALS PLAN** C-1

LAYOUT NOTES:

1. CURB RADII SHALL BE AS SHOWN ON THE PLAN.
2. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.

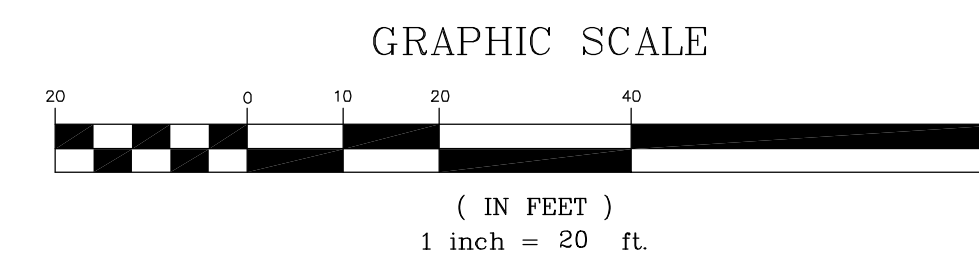


LOCUS MAP

SCALE: 1" = 1,000'

GENERAL NOTES:

1. EXISTING CONDITIONS BY MSC, DATED 2-2-2012, WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, 2013.
2. THIS PROJECT WILL BE SERVED BY PUBLIC SEWER, WATER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISA" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE TOWN OF DURHAM DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
5. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF NEW HAMPSHIRE AT THE CONTRACTOR'S EXPENSE.
6. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AILABLE AT THE CONSTRUCTION SITE.
7. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE TOWN/CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
8. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
10. ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. SUCH MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION AND REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
12. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. SNOW STORAGE SHOWN FOR CONCEPTUAL PURPOSES ONLY. SNOW SHALL BE TAKEN OFF-SITE ONCE SNOW STORAGE AREAS ON SITE BECOME INADEQUATE, AND BEGINS TO BLOCK ACCESS TO AND FROM THE SITE OR BLOCKS THE USE OF ON-SITE PARKING. ANY EXCESS WILL BE TRUCKED OFF-SITE & DISPOSED OF IN ACCORDANCE WITH TOWN OF DURHAM AND NHDES GUIDELINES.
14. PERMEABLE PAVERS TO BE ECO-PRIORA (STYLE) SIERRA AND GRANITE (COLORS) BY UNILOCK, UXBRIDGE, MA, 35 COMMERCE DRIVE (508-278-4536). THE MAJORITY SHALL BE SIERRA WHILE THE VAN ACCESSIBLE AISLE AND PARKING SPACES SHALL BE MARKED WITH GRANITE COLOR PAVERS.
15. SEE SHEET D-4 FOR SIGN DETAILS.
16. THE FENCE WILL BE MADE OF THE HEAVY DUTY METAL MATERIAL THAT WAS PRESENTED TO THE PLANNING BOARD ON JANUARY 8, 2014.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
18. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
19. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.



*NOTE:
 175-41. CENTRAL BUSINESS DISTRICT (CB)
 SECTION F:

BUILDING SETBACK - THE FRONT WALL OF THE PRINCIPAL BUILDING SHALL BE LOCATED WITHIN FIFTEEN (15) FEET OF THE FRONT PROPERTY LINE. FOR CORNER LOTS, THIS REQUIREMENT SHALL APPLY TO ALL FRONTAGES ABUTTING A PUBLIC STREET. UP TO FIFTY PERCENT (50%) OF THE FRONT FAÇADE MAY BE RECESSED BEYOND THE MAXIMUM SETBACK DISTANCE IF THE SPACE BETWEEN THE FRONT WALL AND THE FRONT PROPERTY LINE IS USED AS PEDESTRIAN AREA IN ACCORDANCE WITH PARAGRAPH 4. BELOW. THE EXPANSION OR MODIFICATION OF AN EXISTING BUILDING SHALL BE EXEMPT FROM THIS REQUIREMENT IF THE PLANNING BOARD FINDS THAT CONFORMANCE WITH THIS REQUIREMENT WOULD NOT BE CONSISTENT WITH THE CHARACTER OF THE EXISTING BUILDING.

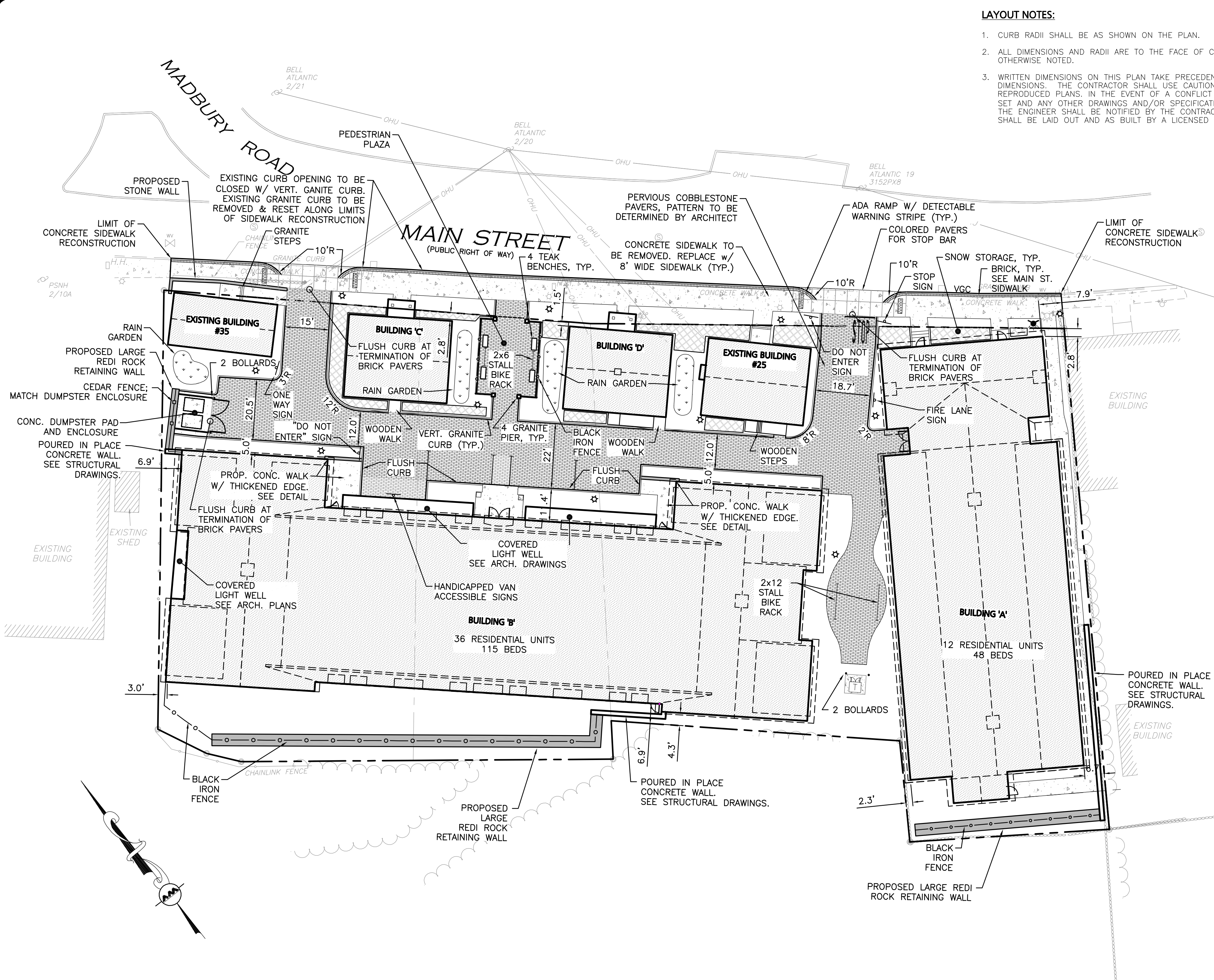
**NOTE:
 175-54. DIMENSIONAL STANDARDS TABLE
 CENTRAL BUSINESS(CB) 50' MAX ALLOWED W/
 PLANNING BOARD APPROVAL

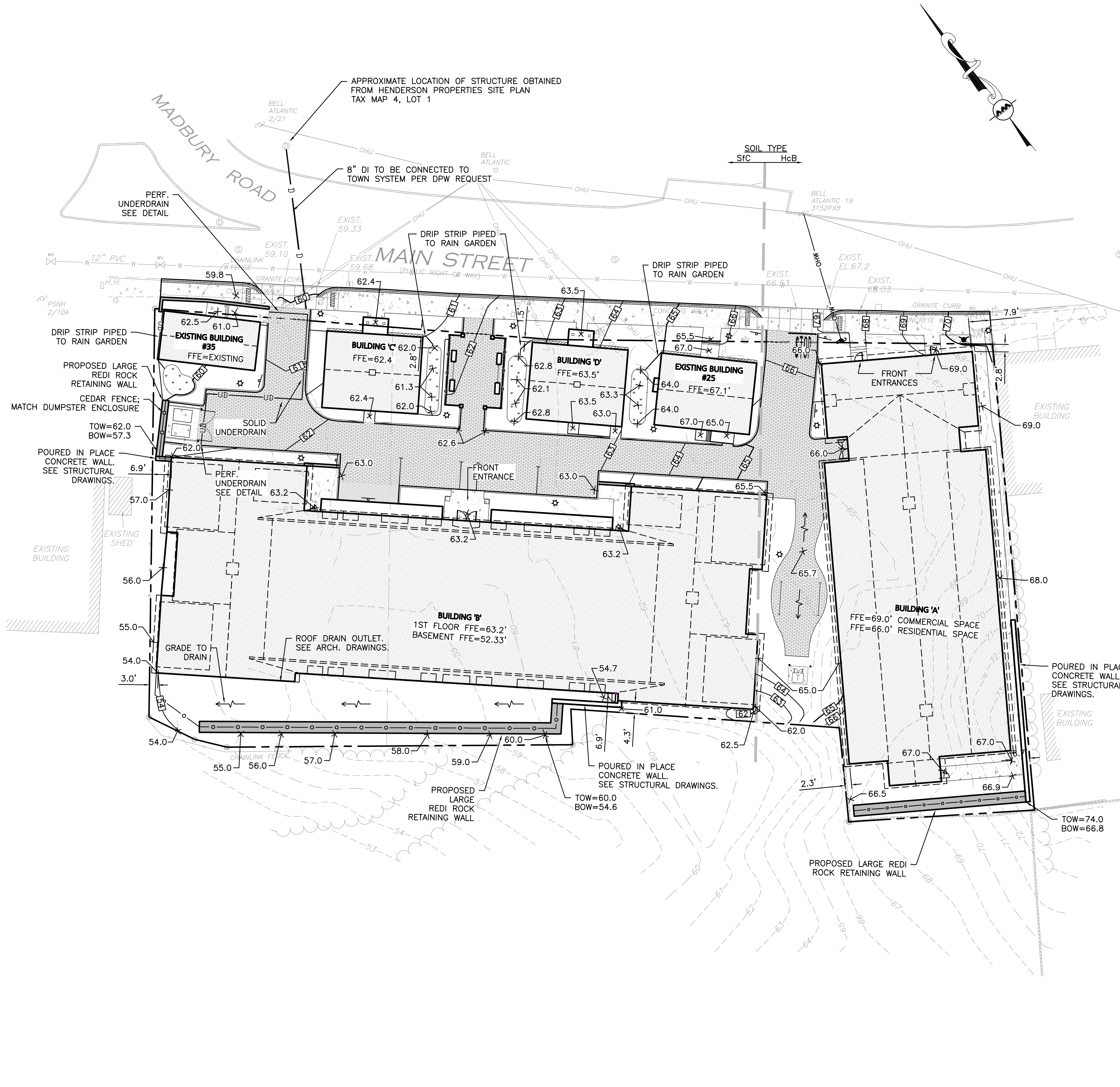
DURHAM ZONING SUMMARY TABLE
 CENTRAL BUSINESS(CB) WITHIN HISTORIC DISTRICT

| ITEM | REQUIRED | PROPOSED |
|-------------------------------|----------|-----------|
| LOT AREA (MIN.) | 5,000 SF | 47,676 SF |
| FRONTAGE (MIN.) | 50' | 305.68' |
| FRONT YARD SETBACK (MAX.) | 15'* | 1.51' |
| SIDE YARD SETBACK (MIN.) | NA | 2.31' |
| REAR YARD SETBACK (MIN.) | NA | 4.28' |
| BUILDING HEIGHT (MAX.) | 50'** | 36.6' |
| TOTAL ON-SITE IMPERVIOUS AREA | NA | 32,504 SF |
| TOTAL PERVIOUS PAVER | NA | 7,055 SF |

LEGEND:

| | | | |
|-------------------------|-----|--------------------------|-----|
| PROP. PROPERTY LINE | --- | SIDEWALK | ▬ |
| SIGN | + | COBBLESTONE PAVERS | ▨ |
| BOLLARD | • | ADA ACCESSIBLE RAMP | ▬ |
| BUILDING | ▬ | ADA DET. WARNING SURFACE | ▨ |
| BUILDING ARCHITECTURE | ▬ | SNOW STORAGE | ▨ |
| BUILDING INTERIOR WALLS | ▬ | SETBACK LINE | --- |
| CURB | ▬ | BLACK IRON FENCE | ▬ |
| RETAINING WALL | ▬ | TRANSFORMER | T |
| LIGHT POLE | ☆ | | |

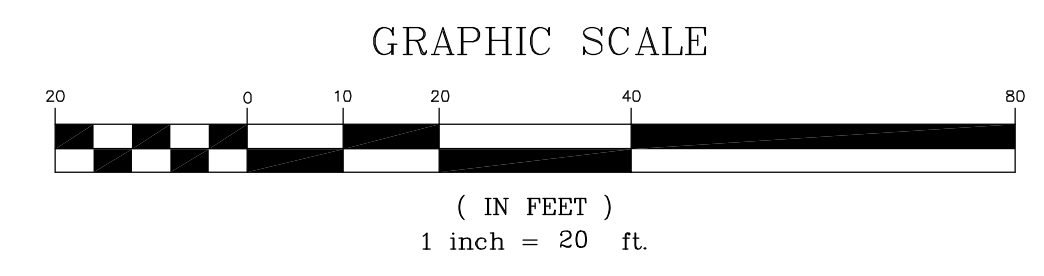




LEGEND:

- DRAIN MANHOLE
- DRAIN LINE
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- SAW-CUT LINE
- UNDERDRAIN
- SCS SOILS BOUNDARY

- GRADING & DRAINAGE NOTES:**
- VERTICAL DATUM IS NAVD88.
 - 8 FOOT DIAMETER DRAIN MANHOLES AND CATCH BASINS MAY BE NECESSARY DURING STORM DRAINAGE INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
 - ALL PROPOSED CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO THE TOWN OF DURHAM STANDARDS. EXISTING CATCH BASINS TO REMAIN SHALL BE EQUIPPED WITH HOODS.
 - ALL NEW ROOF DRAINAGE PIPES SHALL BE SDR 35 PVC, SIZED AS NOTED ON THE PLANS, TURNED UP ABOVE GRADE AND BE TERMINATED WITH A FITTING SPECIFICALLY DESIGNED TO RECEIVE A RECTANGULAR DOWNSPOUT.
 - A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 8 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
 - ALL PROPOSED DRAINAGE SHALL CONFORM TO TOWN OF DURHAM STANDARDS.
 - ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS) SHALL BE INSTALLED TO THE BUILDING WALL AND TURNED UP ABOVE GRADE UNLESS OTHERWISE NOTED OR DETAILED.
 - ALL GRAVITY DRAINAGE PIPE SYSTEMS ARE TO BE CONSTRUCTED BEGINNING AT THE LOWEST POINT IN THE SYSTEM AND PROCEEDING TO THE HIGHEST POINT.
 - UNLESS OTHERWISE NOTED, ALL EXISTING DRAINAGE STRUCTURES AND PIPES SHALL BE REMOVED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE STRUCTURES ON SITE PRIOR TO COMPLETION OF PROJECT.
 - ALL DRAIN, WATER AND SANITARY SEWER PIPES INSTALLED WITHIN 10 FEET OF THE FOUNDATION SLAB MUST BE PERMITTED AND INSTALLED BY A NEW HAMPSHIRE LICENSED PLUMBER.
 - CONTRACTOR/OWNER TO OBTAIN TEMPORARY CONSTRUCTION EASEMENT IN ORDER TO CONSTRUCT PROPOSED WALLS ON WEST, SOUTH, AND EAST PROPERTY LINES.
 - ALL STORMWATER MANAGEMENT INFRASTRUCTURE SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH DESIGN STANDARDS OF THE DURHAM SITE PLAN REVIEW REGULATIONS. THE INFRASTRUCTURE SHALL BE OWNED BY THE PROPERTY OWNER AND IT SHALL BE OPERATED AND MAINTAINED BY THE PROPERTY OWNER TO PROTECT THE QUALITY OF ON-SITE AND OFF-SITE WATER RESOURCES AND WETLAND HABITAT.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
 - THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.



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FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 3 | 01-15-14 | REVS PER PEER REVIEW |
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| | | | |
|-------------|----------|-------------|----------|
| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
| SCALE: | 1" = 20' | DWG. NAME: | GRADING |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

PREPARED BY:

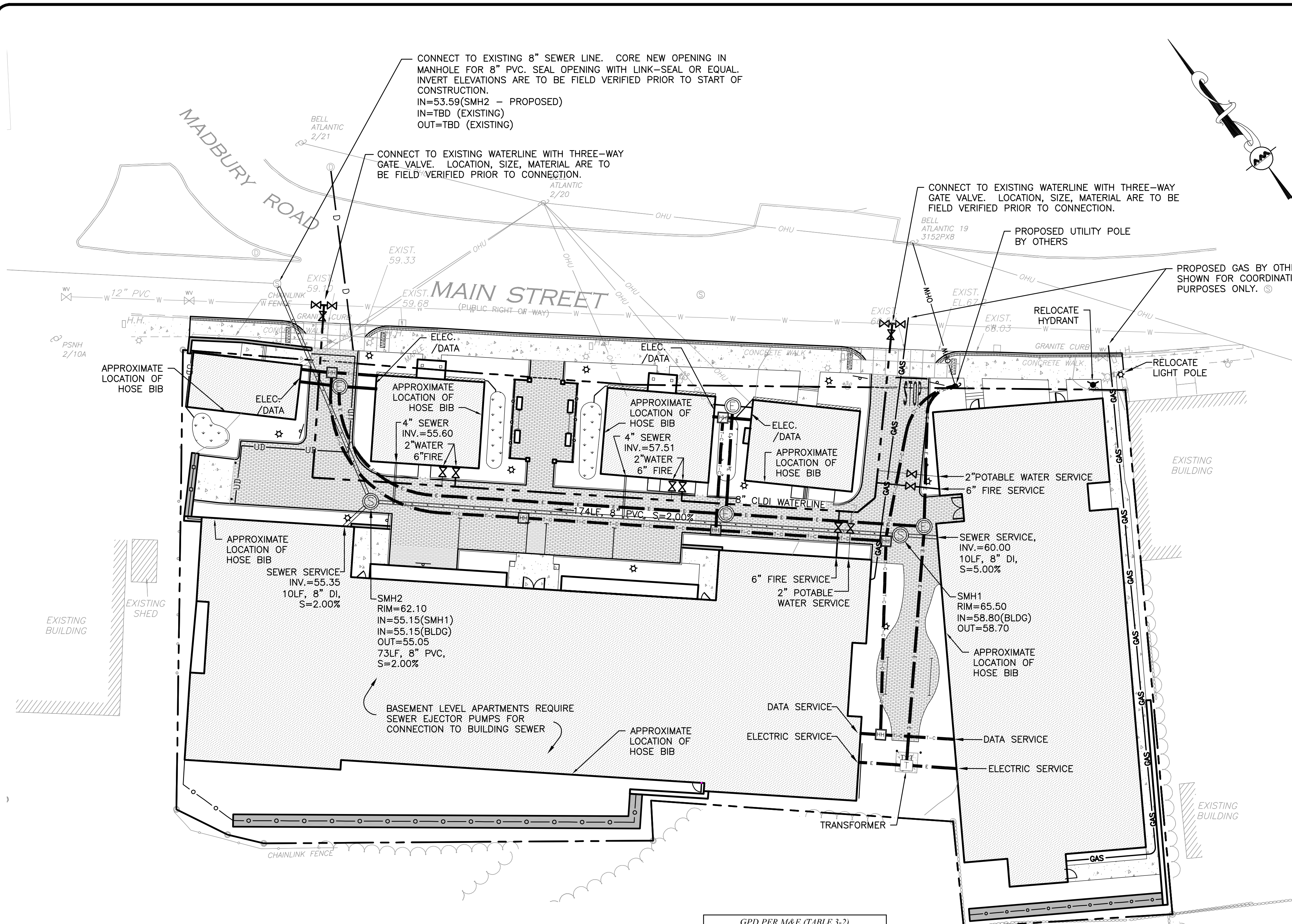
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DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-2**



UTILITY NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- THE LATEST STANDARDS OF THE TOWN OF DURHAM, DEPARTMENT OF PUBLIC WORKS, WASTEWATER DIVISION SHALL BE FOLLOWED WHEN PERFORMING ANY SANITARY SEWER WORK. SEWER WORK WILL BE INSPECTED BY TOWN OF DURHAM PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- THE LATEST STANDARDS OF THE TOWN OF DURHAM AND DEPARTMENT OF PUBLIC WORKS SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINES, AND ALL WATER LINE WORK WILL BE INSPECTED BY TOWN OF DURHAM PERSONNEL. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - SEWER: PVC (POLYVINYL CHLORIDE), SCHEDULE 35
 - DRAIN: HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN) RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
 - WATER: CLDI (CEMENT LINED DUCTILE IRON) CLASS 52 AND SHALL BE RESTRAINED AT ALL JOINTS WITH MEGALUG TYPE
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS OTHERWISE NOTED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 8 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
- ALL HYDRANTS SHALL BE INSTALLED WITH A 6 INCH CLDI RUNOUT AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE, BOX, AND TEE FITTING. ALL HYDRANTS SHALL MEET LOCAL MUNICIPAL SPECIFICATION REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- ALL WATER MAINS 3 INCHES AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF DURHAM REQUIREMENTS.
- GENERALLY, WATER MAIN FITTINGS, VALVES AND HYDRANTS SHOWN ON THIS DRAWING ARE FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS, VALVES AND HYDRANTS ARE NOTED, SHOWN OR INDICATED.
- ALL WATER MAIN FITTINGS, VALVES AND TEES ETC. SHALL BE RESTRAINED WITH THRUST BLOCKS AS REQUIRED BY THE TOWN OF DURHAM WHERE ADEQUATE RESTRAINT CANNOT BE OBTAINED WITH THRUST BLOCKS, USE OF RETAINER GLANDS IS RECOMMENDED.
- THE CONTRACTOR SHALL FIELD VERIFY/LOCATE EXISTING WATER MAINS AND WATER SERVICES.
- VALVES 8 INCHES AND SMALLER SHALL BE GATE VALVES AND SHALL BE RESILIENT SEAT, MODIFIED WEDGE DISK CONFORMING TO AWWA C-509, AND BE APPROVED BY THE MUNICIPALITY.
- PRESSURE AND LEAKAGE TEST, DISINFECTING AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- EXISTING LIGHT POLES TO BE RELOCATED AS NECESSARY.
- ALL BUILDINGS SHALL HAVE FIRE SPRINKLER SERVICE.
- ALL UTILITY PIPING AND WIRING SHALL BE LOCATED UNDERGROUND.

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FINAL APPROVAL BY DURHAM PLANNING BOARD,
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
 JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
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 225 FRANKLIN STREET, 26TH FLOOR
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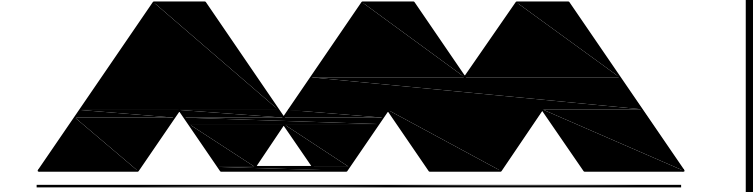
PROJECT:
ORION STUDENT HOUSING
 25/35 MAIN STREET
 DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: UTILITIES

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



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DRAWING TITLE: SHEET No.

UTILITY PLAN C-3

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LEGEND:

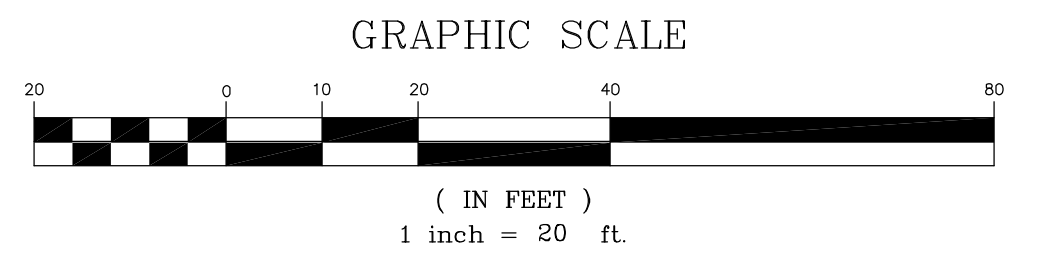
- SEWER MANHOLE
- SEWER CLEANOUT
- SEWER VENT
- SEWER LINE
- CONCRETE PIPE ENCASEMENT
- WATER LINE
- OVERHEAD WIRE
- WATER VALVE
- HYDRANT
- WATER LINE REDUCER
- TELE/CABLE CONDUIT
- ELECTRIC MANHOLE/SPLICE BOX
- ELECTRICAL CONDUIT
- HAND HOLE

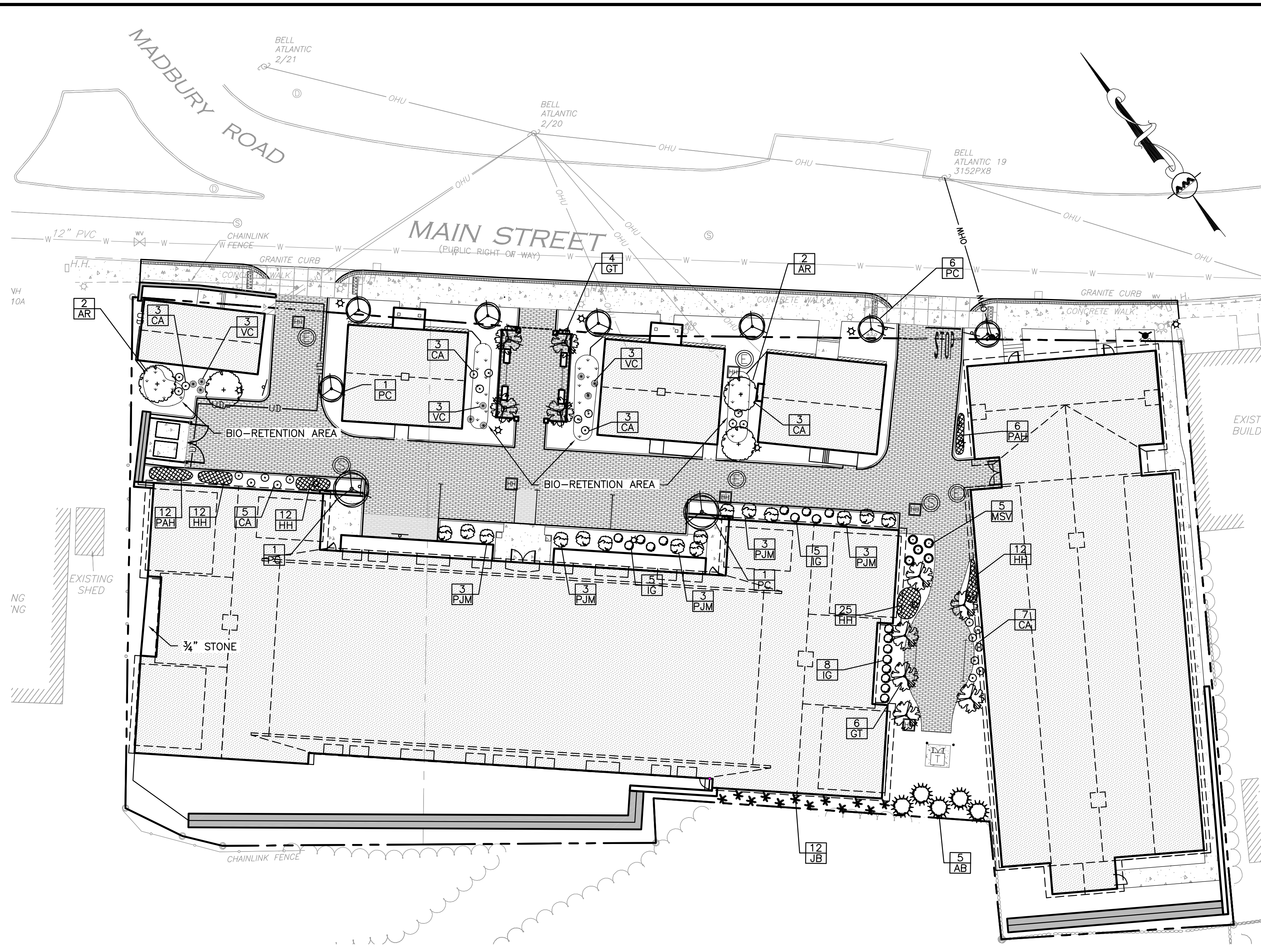
GPD PER M&E (TABLE 3-2)

| EXISTING | | | | | | | Req'd Rate | Formula | Req'd GPD |
|------------------|---|----------|----|----|-------|----|---------------|---------|-----------|
| Building A | 4 | Bathroom | 14 | 56 | - | - | Rate per bed | 6,720 | |
| Building A | | | - | - | 3,300 | 10 | Rate per Emp. | 130 | |
| Total Proposed = | | | | | | | | 6,850 | |

GPD PER M&E (TABLE 3-2)

| PROPOSED | | | | | | | Req'd Rate | Formula | Req'd GPD |
|------------------|---|----------|----|----|-------|----|---------------|---------|-----------|
| Building B | 1 | Bathroom | 7 | 7 | - | - | Rate per bed | 840 | |
| | 3 | Bathroom | 8 | 24 | - | - | Rate per bed | 2,880 | |
| | 4 | Bathroom | 21 | 84 | - | - | Rate per bed | 10,080 | |
| Building A | 4 | Bathroom | 12 | 48 | - | - | Rate per bed | 5,760 | |
| 25 Main Street | 4 | Bathroom | 2 | 8 | - | - | Rate per bed | 960 | |
| 35 Main Street | 4 | Bathroom | 2 | 8 | - | - | Rate per bed | 960 | |
| Building A | | | - | - | 2,944 | 10 | Rate per Emp. | 130 | |
| Building B | | | - | - | 2,940 | 10 | Rate per Emp. | 130 | |
| Building D | | | - | - | 2,940 | 10 | Rate per Emp. | 130 | |
| Total Proposed = | | | | | | | | 21,870 | |
| Net Difference = | | | | | | | | 15,020 | |





LANDSCAPE NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF DURHAM.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR SPRING PLANTING.
12. TREES SHALL HAVE A MINIMUM CALIPER OF 2.5" ONE FOOT ABOVE THE ROOT CROWN.
13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
15. ALL TREE STAKES SHALL BE STAINED DARK BROWN.
16. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
17. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
18. SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
19. ALL LANDSCAPE AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SCOPE OF IRRIGATION TO BE DETERMINED BY OWNER. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
20. BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED FOR THE PROTECTION OF EXISTING TREES AND VEGETATION THAT ARE PLANNED TO BE PRESERVED. ALSO, THE PROVISIONS OF SECTION 175-123- PROTECTION DURING CONSTRUCTION UNDER ARTICLE XXII- LANDSCAPING OF THE DURHAM ZONING ORDINANCE SHALL BE FOLLOWED.
21. THE PROVISION FOR MAINTENANCE OF LANDSCAPING MATERIALS AS SPECIFIED IN SECTION 175-124 - MAINTENANCE REQUIREMENTS OF THE ARTICLE XXII - LANDSCAPING IN THE DURHAM ZONING ORDINANCE, SHALL APPLY.
22. TREES SHOULD BE PLANTED USING COMMONLY ACCEPTED BEST MANAGEMENT PRACTICES, SUCH AS THOSE LISTED IN ANSI A300 PART 6: TREE MAINTENANCE STANDARD PRACTICES (TRANSPLANTING), WHICH IS AVAILABLE FROM THE INTERNATIONAL SOCIETY OF LANDSCAPE ARCHITECTS.
23. THE CONTRACTOR SHALL ENSURE THAT THERE IS ADEQUATE ROOTING SPACE AND OVERHEAD SPACE AND FIT FOR THE TREES TO BE INSTALLED.
24. ONLY LOW PHOSPHORUS/SLOW RELEASE NITROGEN FERTILIZERS FOR LANDSCAPING MATERIALS MAY BE USED.
25. A QUALIFIED ARBORIST SHALL BE ON SITE TO OVERSEE CONSTRUCTION WORK AROUND EXISTING TREES TO BE PRESERVED. NO SUCH WORK SHALL BE CONDUCTED IN THE ABSENCE OF THIS ARBORIST.
26. IF FEASIBLE, CONDUCT CONSTRUCTION NEAR EXISTING TREES DURING THE WINTER OR DORMANT SEASON, WHEN STRESS TO TREES WILL BE LESS.
27. TO THE EXTENT FEASIBLE, TREES AND SHRUBS TO BE PRESERVED SHALL BE PROTECTED AT OR ALONG THE CRITICAL ROOT ZONE BY FENCING SUFFICIENTLY SUBSTANTIAL TO MAKE CLEAR THE INTENT TO PROTECT THEM. (THE CRITICAL ROOT ZONE IS A CIRCLE WITH RADIUS EQUAL TO 1.5 FEET PER 1 INCH OF TRUNK DIAMETER. IF MORE THAN 40% OF THAT CRITICAL ROOT ZONE WILL BE DISTURBED, THE TREE MAY BE DAMAGED BEYOND RECOVERY.)
28. WHERE ROOTS OF EXISTING TREES WILL BE DISTURBED, SEVER ROOTS CLEANLY BY HAND OR WITH A ROCK SAW, RATHER THAN USING HEAVY EQUIPMENT, TO MINIMIZE TREE ROOT SYSTEM DAMAGE. (IF TOO MUCH OF THE TREE ROOT SYSTEM IS REMOVED OR DAMAGED BY CONSTRUCTION, THE TREE MAY DECLINE OR DIE.)
29. CARE SHALL BE TAKEN TO AVOID PASSES BY HEAVY EQUIPMENT NEAR PLANTED AREAS AND TREES TO BE PRESERVED, ESPECIALLY WHEN THE SOIL IS WET. (COMPACTED SOILS HAVE LESS OPEN PORE SPACE, AND HENCE LESS SPACE FOR MOISTURE AND OXYGEN NEEDED TO SUSTAIN TREE HEALTH. EVEN ONE PASS WITH HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION.)

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FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

"I, ROBERT P. CLARKE, HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS LANDSCAPE PLAN, THAT I AM A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED BY THE STATE OF NEW HAMPSHIRE AND/OR I AM A MEMBER OF THE GRANITE STATE LANDSCAPE ARCHITECTS".

ISSUED FOR REVIEW
JANUARY 15, 2014

REGISTERED LANDSCAPE ARCHITECT, A.S.L.A FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 3 | 01-15-14 | REVS PER PEER REVIEW |
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| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

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225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

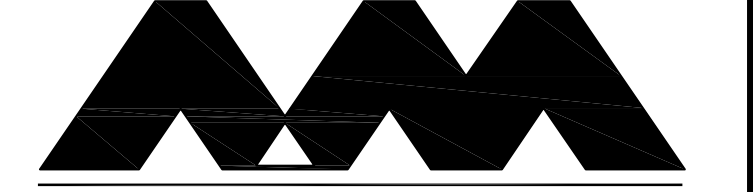
PROJECT:
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25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: LANDSCAPE

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
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DRAWING TITLE: SHEET No.

LANDSCAPE PLAN C-4

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PLANTING SCHEDULE-TREES & SHRUBS

| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | NURSERY SIZE | SPACING | COMMENTS |
|--|----------|-----------------------------|-----------------------|--------------|----------|----------|
| DECIDUOUS TREES | | | | | | |
| AR | 4 | ACER RUBRUM | RED MAPLE | 2½" CAL. | AS SHOWN | B&B |
| GT | 10 | GLEDITSIA TRIACANTHOS | HONEY LOCUST | 2½" CAL. | AS SHOWN | B&B |
| EVERGREEN & FLOWERING TREES | | | | | | |
| AB | 5 | ABIES BALSAMEA | BALSAM FIR | 8'-10' | AS SHOWN | B&B |
| PC | 9 | PYRUS CALLERY 'CHANTICLEER' | CLEVELAND SELECT PEAR | 2½" CAL. | AS SHOWN | B&B |

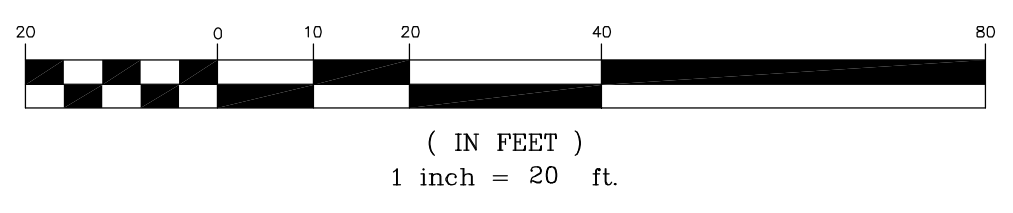
PLANTING SCHEDULE-SHRUBS, GROUNDCOVERS, PERENIALS & GRASSES

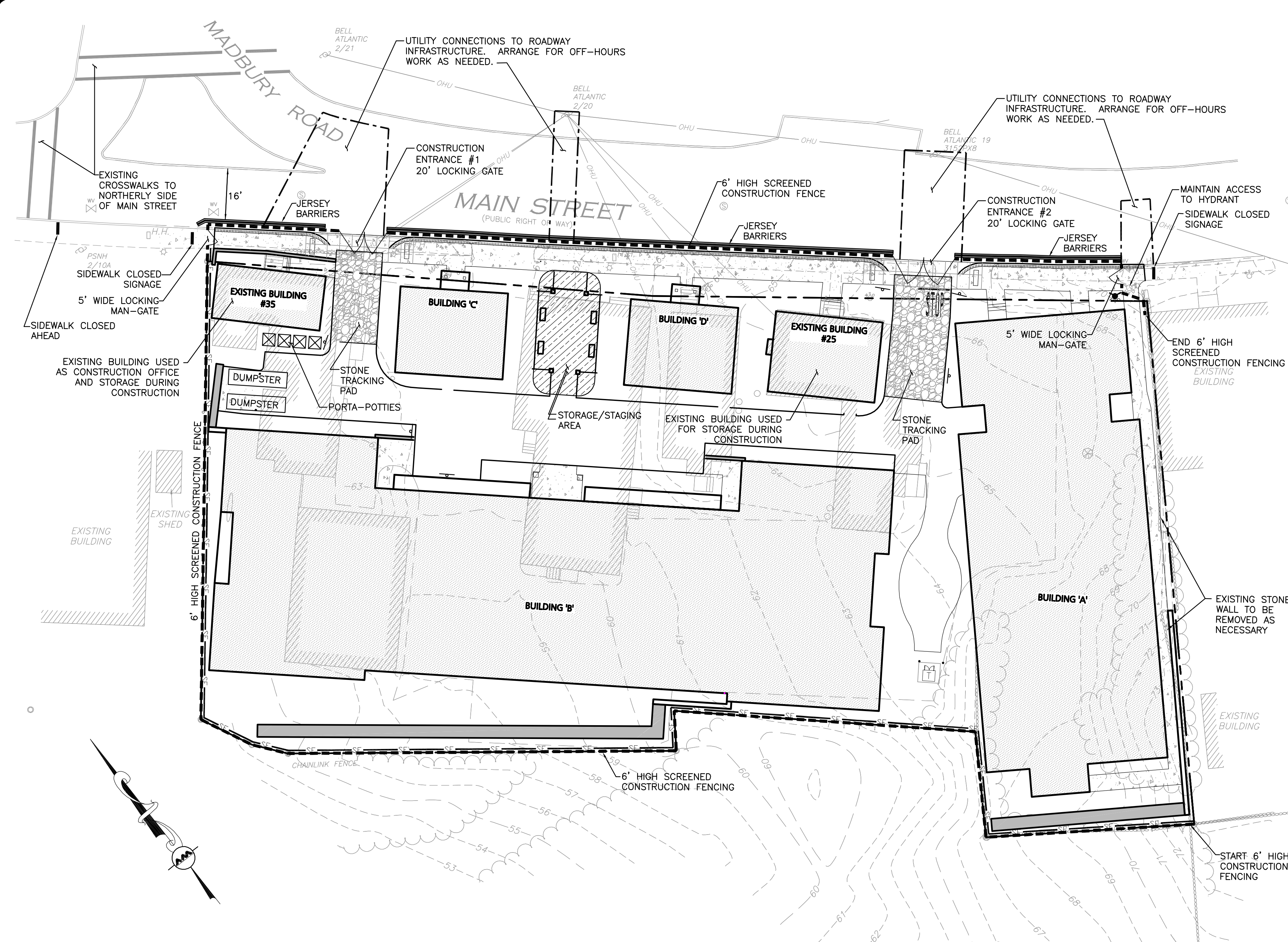
| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | NURSERY SIZE | SPACING | COMMENTS |
|--|----------|------------------------------------|----------------------|--------------|----------|-----------|
| SHRUBS | | | | | | |
| CA | 24 | CORNUS ALBA | RED TWIG DOGWOOD | 3'-4' | AS SHOWN | B&B |
| JB | 12 | JUNIPERUS H. 'BAR HARBOR' | BAR HARBOR JUNIPER | 2 GAL. | AS SHOWN | CONT. |
| IG | 18 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY | 18" TO 24" | AS SHOWN | B&B |
| PJM | 15 | P.J.M. RHODENDRON | RHODENDRON | 2'-2½' | AS SHOWN | B&B |
| VC | 9 | VACCINIUM CORYMBOSUM 'NORTHLAND' | HIGHBUSH BLUEBERRY | 2'-2½' | AS SHOWN | #3 POT |
| GROUND COVERS, PERENIALS, AND GRASSES | | | | | | |
| HH | 61 | HEMEROCALLIS 'HAPPY RETURNS' | DAYLILLIES | 1 GAL. | 18" O.C. | STAGGERED |
| MSV | 5 | MISCANTHUS 'SINENSIS' 'ZEBRINUS' | ZEBRA GRASS | 2 GAL. | AS SHOWN | STAGGERED |
| PAH | 18 | PENNISETUM ALOPECUROIDES 'HAMELIN' | DWARF FOUNTAIN GRASS | 1 GAL. | 18" O.C. | STAGGERED |

LEGEND:

- DECIDUOUS TREE
- FLOWERING TREE
- EVERGREEN TREE
- EVERGREEN SHRUB
- LARGE SHRUB
- MEDIUM SHRUB
- SMALL SHRUB
- PERENIALS
- LIMIT OF PLANT BED
- PLANT KEY

GRAPHIC SCALE





CONSTRUCTION MANAGEMENT NOTES:

1. ALL INSPECTION/OBSERVATION SERVICES FOR THE INSTALLATION OF WATER, WASTEWATER, STORMWATER MANAGEMENT, FLOOR FINISHES, AND OTHER INFRASTRUCTURE SHALL BE PERFORMED BY AUTHORIZED REPRESENTATIVES OF THE TOWN OF DURHAM AS STIPULATED BY THE DURHAM DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REIMBURSE THE TOWN FOR ALL ASSOCIATED INSPECTION/OBSERVATION COSTS.
2. NO CUT TREES, STUMPS, DEBRIS, JUNK, RUBBISH, OR OTHER WASTE MATERIALS SHALL BE BURIED IN THE LAND, OR LEFT OR DEPOSITED ON SITE AT THE TIME THE CERTIFICATE OF OCCUPANCY IS ISSUED, OR AT ANY TIME AFTER THAT.
3. ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 868-5531 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
4. BLASTING AND ON-SITE CHIPPING (OF STONE) IS RESTRICTED TO THE HOURS OF 9:00 A.M. TO 4:00 P.M. MONDAY THROUGH FRIDAY. THERE SHALL BE NO PROCESSING OF STONE ON SITE. A NOTICE OF INTENT TO BLAST SHALL BE PROVIDED AT LEAST 24 HOURS IN ADVANCE VIA SIGNAGE PLACED IN APPROPRIATE PLACES AND OTHER APPROPRIATE MEDIA PROVIDED BY THE TOWN (SUCH AS THE TOWN'S WEBSITE AND FRIDAY UPDATES).
5. THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN MAY BE SPECIFIED AT THAT TIME. THE APPLICANT IS STRONGLY ENCOURAGED TO MEET WITH BUILDING AND FIRE OFFICIALS EARLY TO EXPEDITE THE REVIEW PROCESS.
6. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE SHALL BE RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 6:00 P.M. SATURDAY. TRUCK LOADING AND UNLOADING WILL TAKE PLACE ONLY BETWEEN THE HOURS OF 7:00 A.M. (9:00 A.M. ON SATURDAY) AND 5:00 P.M. ON WEEKDAYS, WITH NO DRILLING OR HAMMERING ON WEEKENDS OR HOLIDAYS. SEE TABLE ON PAGE 5 IN THE CONSTRUCTION MANAGEMENT PLAN PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DATED OCTOBER 28, 2013, FOR A SUMMARY OF THE HOURS OF OPERATION.
7. BECAUSE OF THE HISTORIC CHARACTER OF THE BUILDINGS THAT SHALL BE DEMOLISHED, NO BUILDINGS, NOR PARTS OF ANY BUILDINGS, MAY BE DEMOLISHED ON SITE UNTIL THE BUILDING PERMIT IS ISSUED.
8. SNOW SHALL BE REMOVED FROM THE SITE, AS NEEDED, AND SHALL NOT BE PUSHED AGAINST TREES OR OTHER VEGETATION.
9. FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 15 NEWMARKET ROAD, DURHAM, NH 03824. (603) 868-8064.
10. IT IS THE APPLICANT'S, SITE CONTRACTOR'S, AND BUILDING CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL REQUIREMENTS RELATED TO THIS SITE PLAN APPROVAL. PLEASE REVIEW THESE PLANS AND THE PLANNING BOARD NOTICE OF DECISION CAREFULLY. CONTACT THE DURHAM PLANNING DEPARTMENT AT (603) 868-8064 WITH ANY QUESTIONS OR CONCERNS.
11. THERE SHALL BE NO OCCUPANCY ON THE SITE OF EXISTING BUILDINGS WHILE CONSTRUCTION IS ONGOING UNLESS APPROVED BY THE BUILDING OFFICIAL.
12. THE SITE IS TO BE FENCED IN DURING THE DURATION OF PROJECT.
13. ALL BUILDINGS ARE TO BE COMPLETED IN THE SAME MONTH. THERE WILL BE NO PHASING IN THE ISSUANCE OF INDIVIDUAL CERTIFICATE OF OCCUPANCY DURING CONSTRUCTION, UNLESS APPROVED BY THE BUILDING OFFICIAL.
14. TRUCKS ACCESSING THE SITE FROM OUTSIDE OF DURHAM SHALL BE RESTRICTED TO ROUTE 108 (THEN TO MAIN STREET/CHURCH HILL) AND ROUTE 4 (THEN TO MAIN STREET/OLD CONCORD TURNPIKE).
15. THE APPLICANT/CONTRACTOR SHALL MEET WITH THE BUILDING OFFICIAL AT LEAST TWO MONTHS (60 DAYS) PRIOR TO THE START OF CONSTRUCTION IN ORDER TO DISCUSS THE BUILDING PROCESS AND TO PLAN FOR THE PROPER SUBMITTAL OF ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER PLANS. THE BUILDING OFFICIAL MAY REDUCE THIS TIMEFRAME AT HIS REASONABLE DISCRETION FOR GOOD CAUSE.
16. THE APPLICANT/CONTRACTOR SHALL COMPLY WITH THE PROVISIONS CONTAINED IN THE CONSTRUCTION MANAGEMENT PLAN.
17. THE APPLICANT/CONTRACTOR SHALL HOLD WEEKLY MEETINGS WITH THE TOWN ENGINEER AND OTHER APPROPRIATE TOWN STAFF (AS DETERMINED BY THE TOWN ENGINEER) TO DISCUSS THE CONSTRUCTION PROCESS AND THE SCHEDULE FOR THE UPCOMING WEEK. IN ADDITION, THE APPLICANT/CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING WITH APPROPRIATE TOWN STAFF SHOULD ISSUES ARISE IN THE INTERIM.
18. IN ACCORDANCE WITH PLANNING BOARD REQUIREMENTS, THE APPLICANT/CONTRACTOR SHALL NOT OBSTRUCT ANY ROAD OR SIDEWALK WITHOUT APPROVAL OF THE DURHAM POLICE DEPARTMENT. THE APPLICANT/CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO ANY ACTIVITY OR DELIVERY THAT WOULD OBSTRUCT ANY ROAD OR SIDEWALK AND THE POLICE DEPARTMENT WILL DETERMINE WHETHER OR NOT A POLICE DETAIL IS NEEDED. IN ALL CASES, THE POLICE DEPARTMENT SHALL DETERMINE WHEN A POLICE OFFICER IS NEEDED ON SITE. POLICE DETAILS SHALL BE BILLED FOR A MINIMUM OF 4 HOURS AT THE PREVAILING BILLING RATE USED BY THE POLICE DEPARTMENT.
19. THE DURHAM POLICE WILL NOT ALLOW ANY CONSTRUCTION OR DELIVERY THAT WOULD CAUSE ANY LANE CLOSURE DURING THE PERIOD OF THE LAST WEEK IN AUGUST THROUGH LABOR DAY WEEKEND THAT WOULD COINCIDE WITH UNH 'MOVE-IN'.
20. IN ACCORDANCE WITH PLANNING BOARD REQUIREMENTS, THE TOWN ENGINEER MAY APPROVE REASONABLE DEPARTURES FROM THE PROVISIONS IN THE CONSTRUCTION MANAGEMENT PLAN FOR GOOD CAUSE.
21. IN ACCORDANCE WITH PLANNING BOARD REQUIREMENTS (AND PURSUANT TO RSA 676:15), UPON FAILURE OF THE APPLICANT/CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE CONSTRUCTION MANAGEMENT PLAN OR OTHER ORDERS RELATED TO THE CONSTRUCTION OF THE SITE MADE BY THE DURHAM PUBLIC WORKS DIRECTOR, POLICE CHIEF, FIRE CHIEF, OR BUILDING OFFICIAL, THE TOWN ADMINISTRATOR, UPON RECOMMENDATION OF THE DURHAM PUBLIC WORKS DIRECTOR, POLICE CHIEF, FIRE CHIEF, OR BUILDING OFFICIAL MAY ORDER THE JOB SITE CLOSED AND/OR ASSESS A FINE PAYABLE FROM THE CONSTRUCTION COMPLIANCE DEPOSIT. THE FIRST FINE SHALL BE \$275.00. EACH SUBSEQUENT FINE SHALL BE \$550.00. EACH DAY THAT A VIOLATION CONTINUES SHALL BE CONSIDERED A SEPARATE OFFENSE.
22. IN ACCORDANCE WITH TOWN POLICY, THE APPLICANT'S BUILDING PERMIT FEES COVER THE PLANS REVIEW CONDUCTED BY THE DURHAM BUILDING OFFICIAL AT THE BUILDING PERMIT STAGE. IT IS UNDERSTOOD THAT SHOULD THE APPLICANT SEEK A QUICKER TURNAROUND THAN WHAT IS AVAILABLE WITH AN IN-HOUSE REVIEW, THE APPLICANT HAS THE OPTION OF PAYING ADDITIONAL FEES TO ENABLE THE BUILDING OFFICIAL TO HIRE AN OUTSIDE REVIEWER.
23. THE TOWN OF DURHAM FIRE CODE OFFICIAL, OR DESIGNEE, SHALL PERFORM ON-SITE INSPECTIONS DURING FIRE CODE AND LIFE-SAFETY MATTERS. THE APPLICANT SHALL PAY THE COSTS OF ANY SUPPLEMENTAL STAFF HIRED BY THE TOWN TO ASSIST THE FIRE DEPARTMENT IN ITS INSPECTION OF THIS PROJECT.

DEMOLITION NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
4. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.

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FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 3 | 01-15-14 | REVS PER PEER REVIEW |
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| | | | |
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| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
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| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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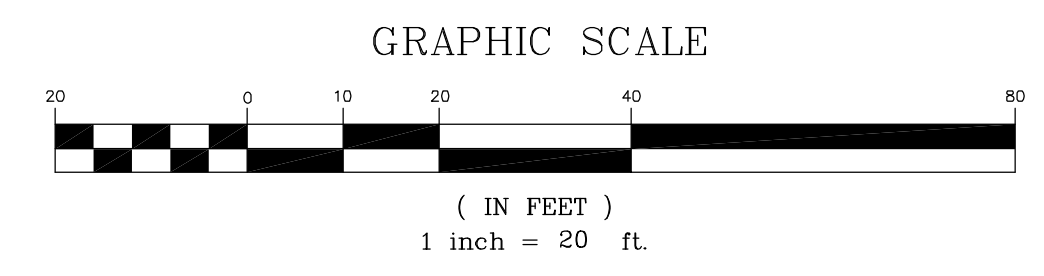
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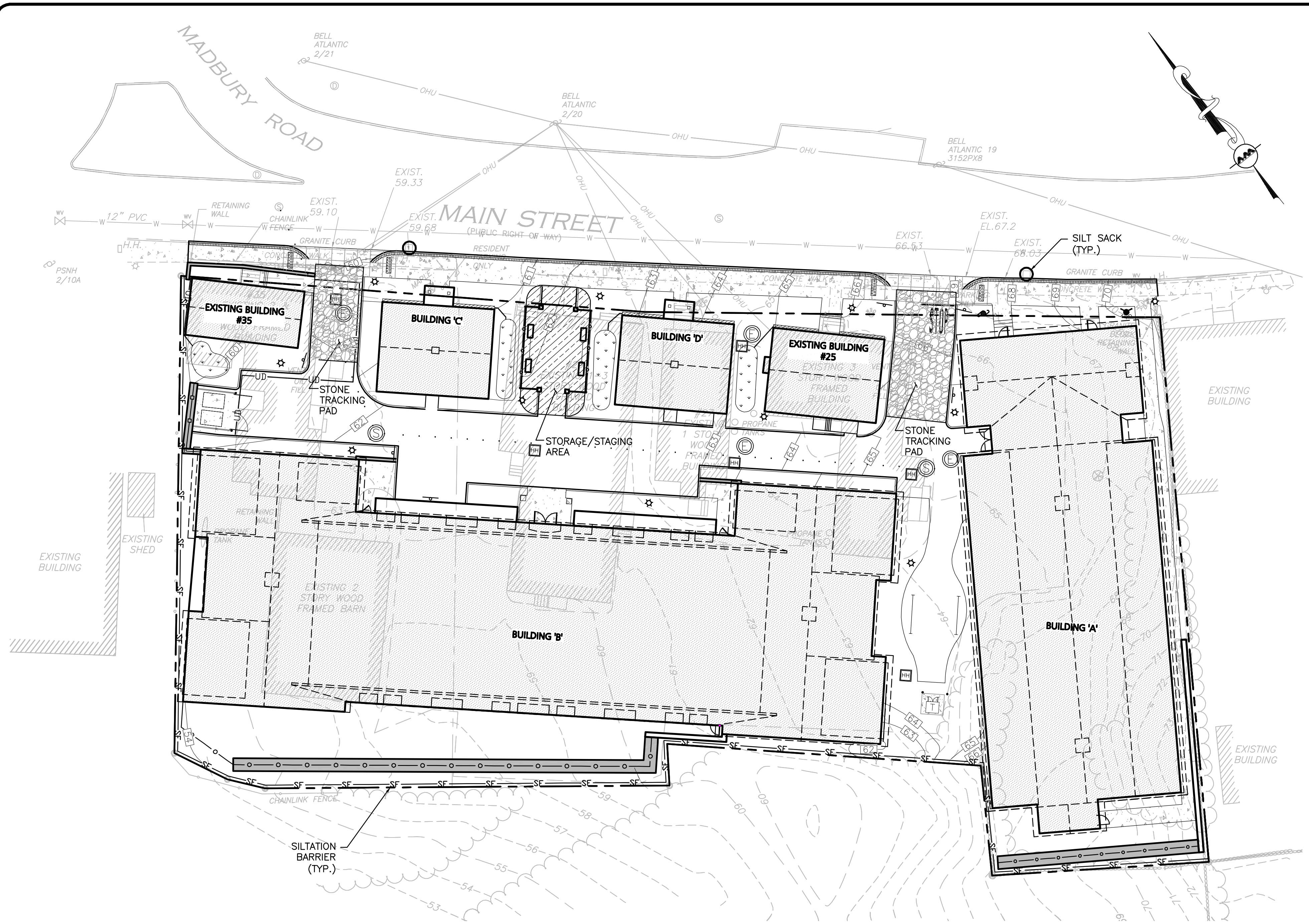
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DRAWING TITLE: **CONSTRUCTION MANAGEMENT PLAN** SHEET No. **C-5**

LEGEND:

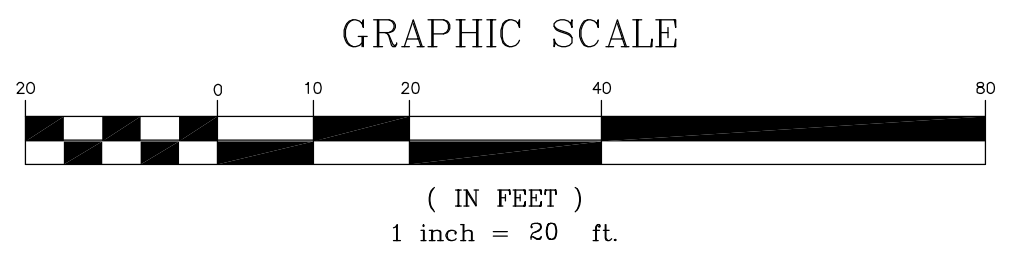
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|-------------------------------------|--------|
| CONSTRUCTION FENCING | — SF — |
| SILT FENCE | — SF — |
| JERSEY BARRIERS | — |
| STABILIZED CONST. ENTRANCE | — |
| STOCKPILE/CONSTRUCTION STAGING AREA | — |





LEGEND:

| | |
|-------------------------------------|------|
| SILTATION BARRIER | —SF— |
| SILT SACK | ○ |
| STABILIZED CONST. ENTRANCE | ▨ |
| PROPOSED GRADING | 125 |
| STOCKPILE/CONSTRUCTION STAGING AREA | ▨ |



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CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
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APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
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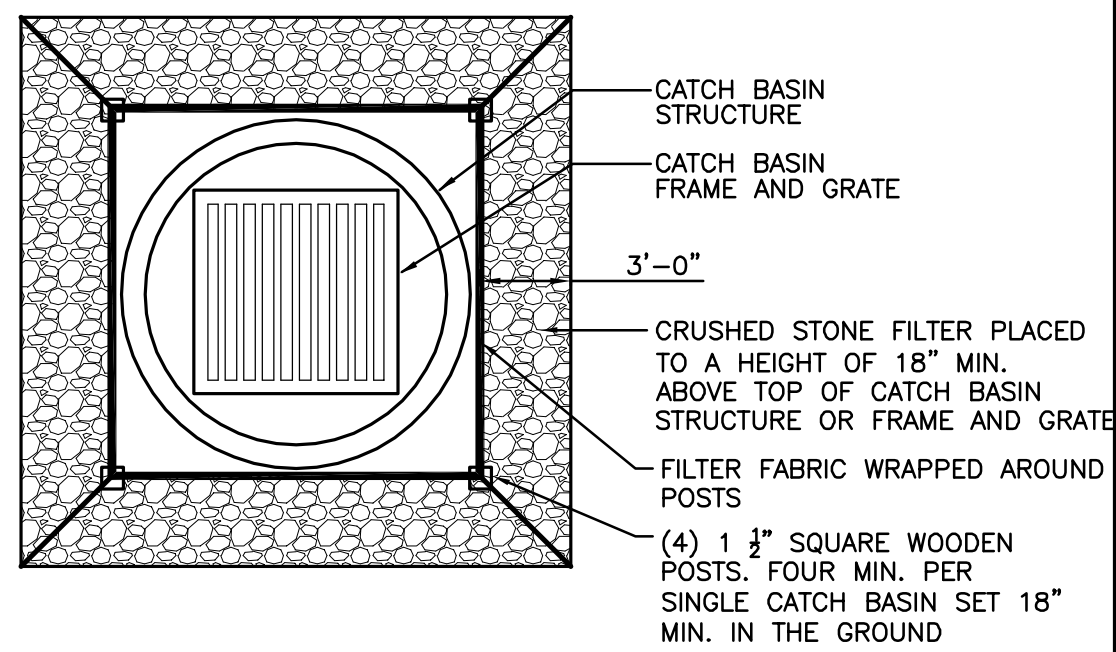
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| SCALE: | 1" = 20' | DWG. NAME: | GRADING |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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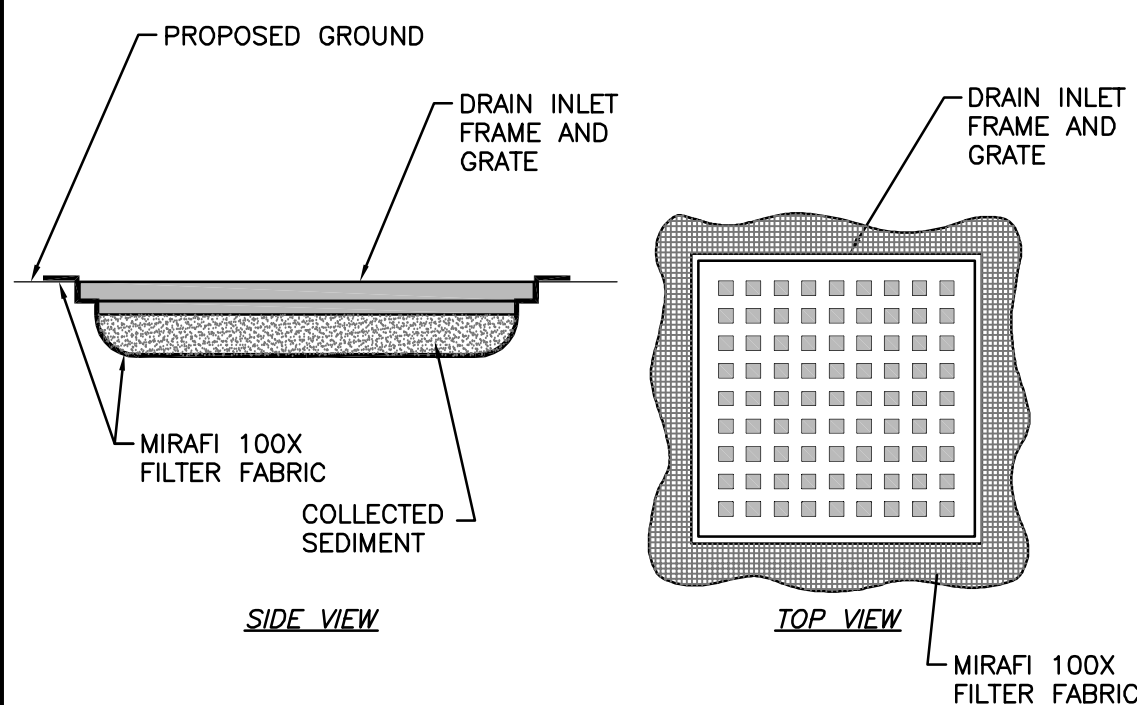
DRAWING TITLE: **STORMWATER POLLUTION PREVENTION PLAN** SHEET No. **SWPPP 2**

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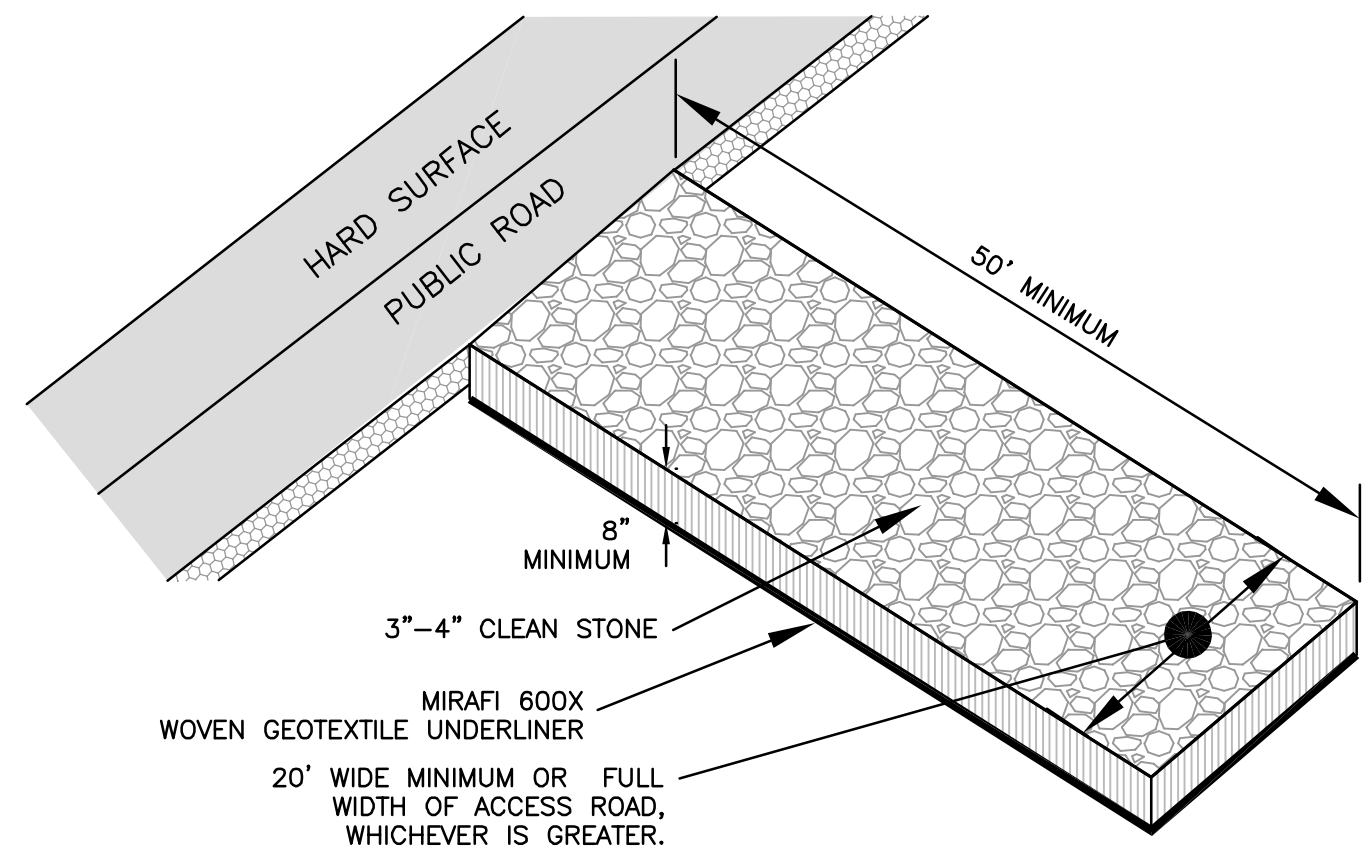
- NOTES:**
1. INSPECT WEEKLY OR AFTER EACH 1/4" OF RAINFALL AND REPAIR OR REPLACEMENT OF STONE AND FILTER FABRIC SHALL BE MADE PROMPTLY IF DAMAGED OR AS DIRECTED.
 2. CONTRACTOR SHALL REMOVE SEDIMENT ACCUMULATION ONCE IT REACHES A DEPTH OF 6" MAX.

CRUSHED STONE CATCH BASIN INLET PROTECTION
NOT TO SCALE

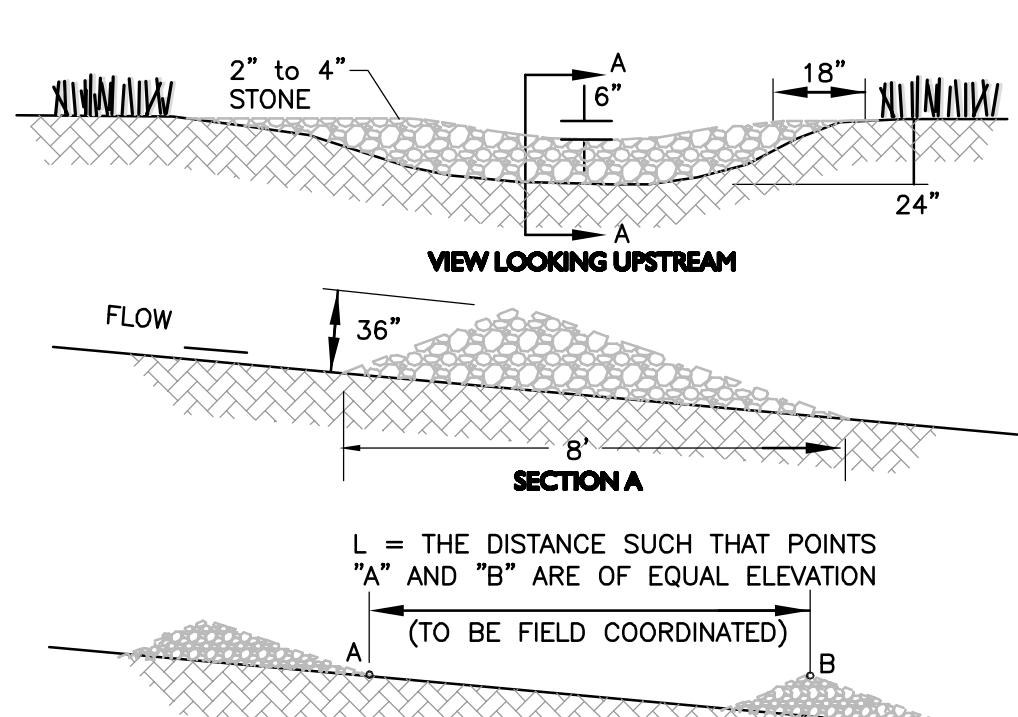


- NOTE:**
1. FILTER FABRIC SHALL BE SECURELY IN PLACE UNDERNEATH GRATE.
 2. FREQUENT INSPECTIONS SHALL BE CONDUCTED AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY IF NECESSARY.

TYPICAL SILT SACK DETAIL
NOT TO SCALE

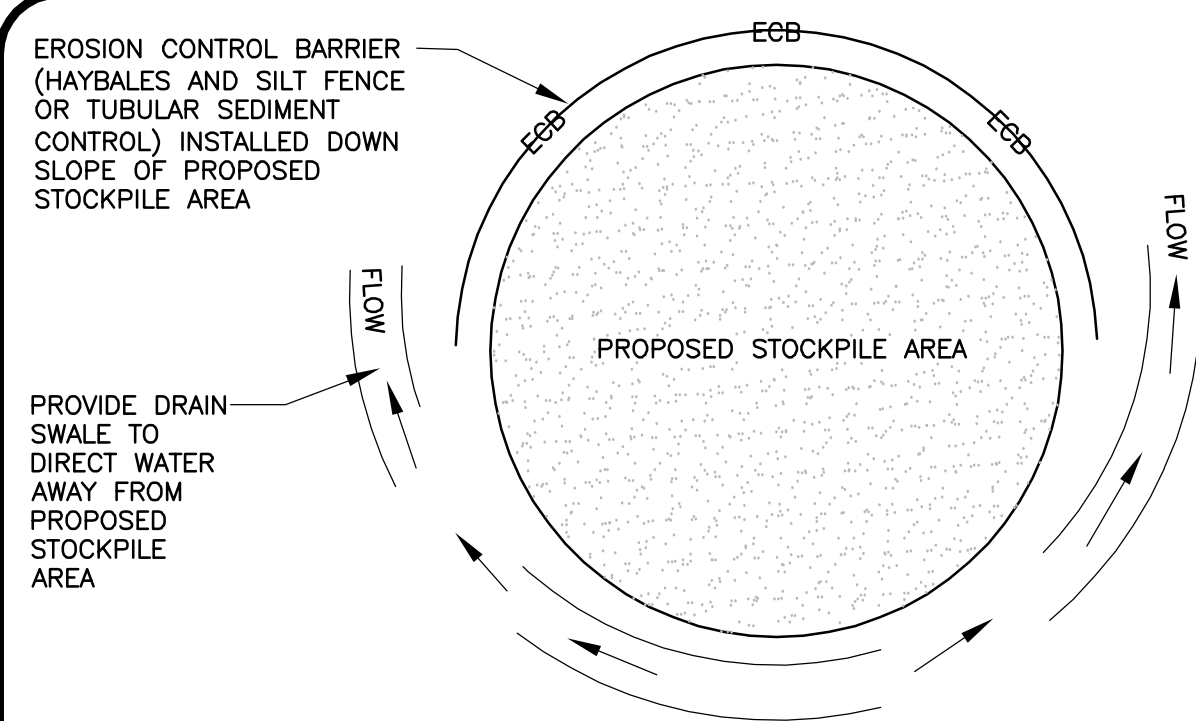


CONSTRUCTION ENTRANCE
NOT TO SCALE



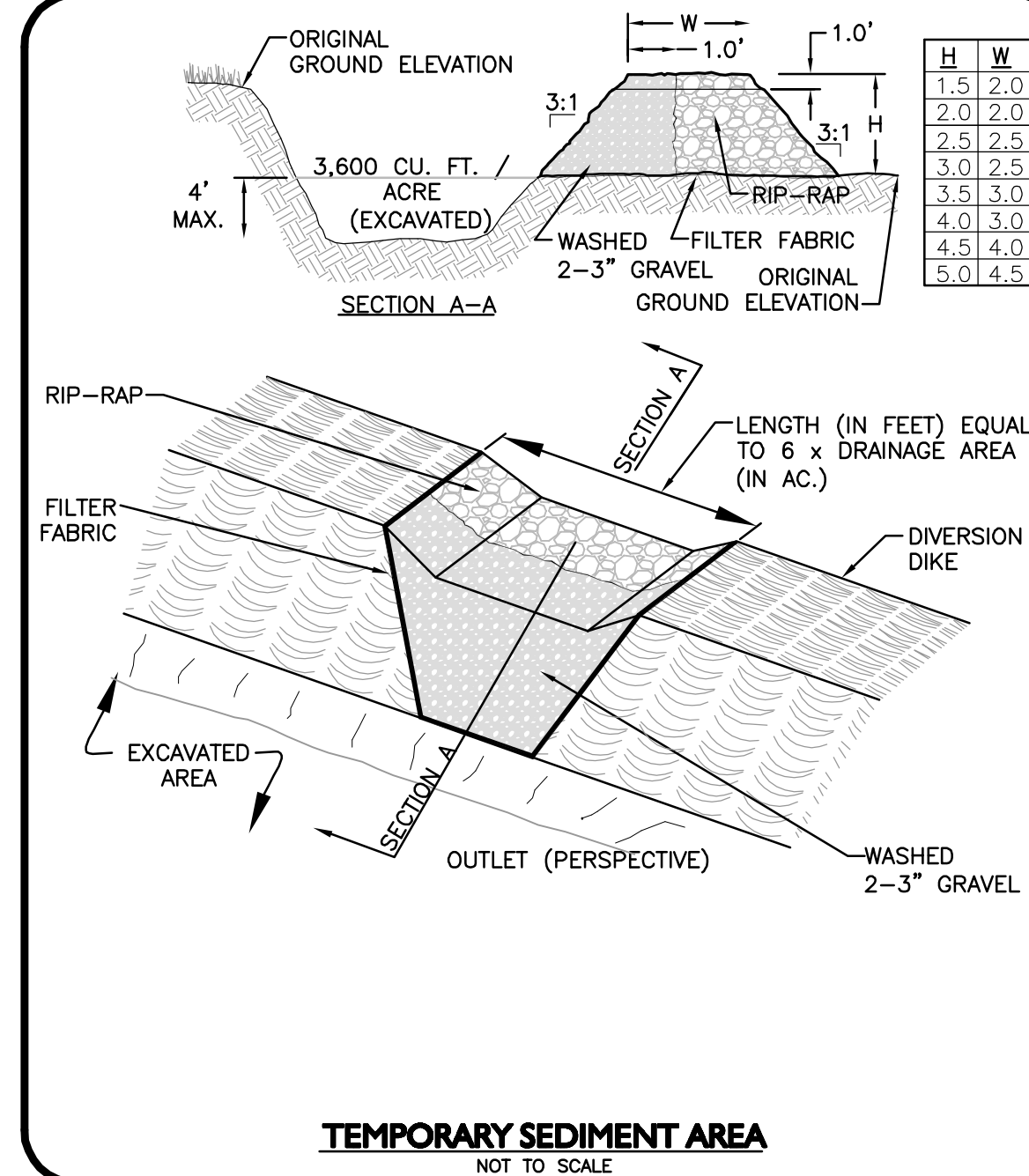
- NOTE:**
1. STONE CHECK DAM TO BE USED IF DRAINAGE AREA IS GREATER THAN 1/4 ACRE. LOCATIONS TO BE AS SHOWN ON THE PLANS AND FIELD COORDINATED.
 2. KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.
 3. CONTRACTOR TO INSPECT CHECK DAMS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS. CONTRACTOR TO REPAIR AND REPLACE THE STONE AS NECESSARY.

STONE CHECK DAM DETAIL
NOT TO SCALE

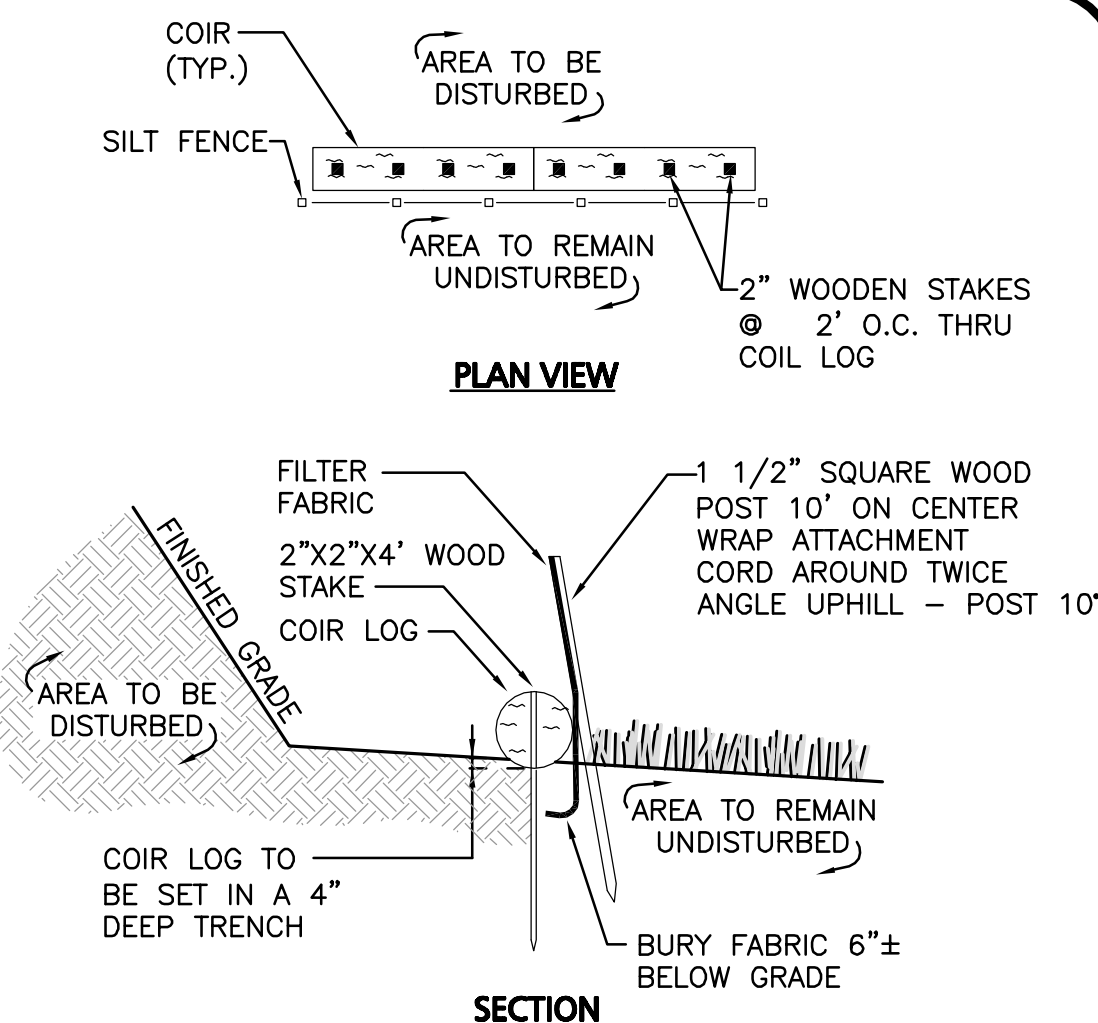


- NOTES:**
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION DETAIL
NOT TO SCALE

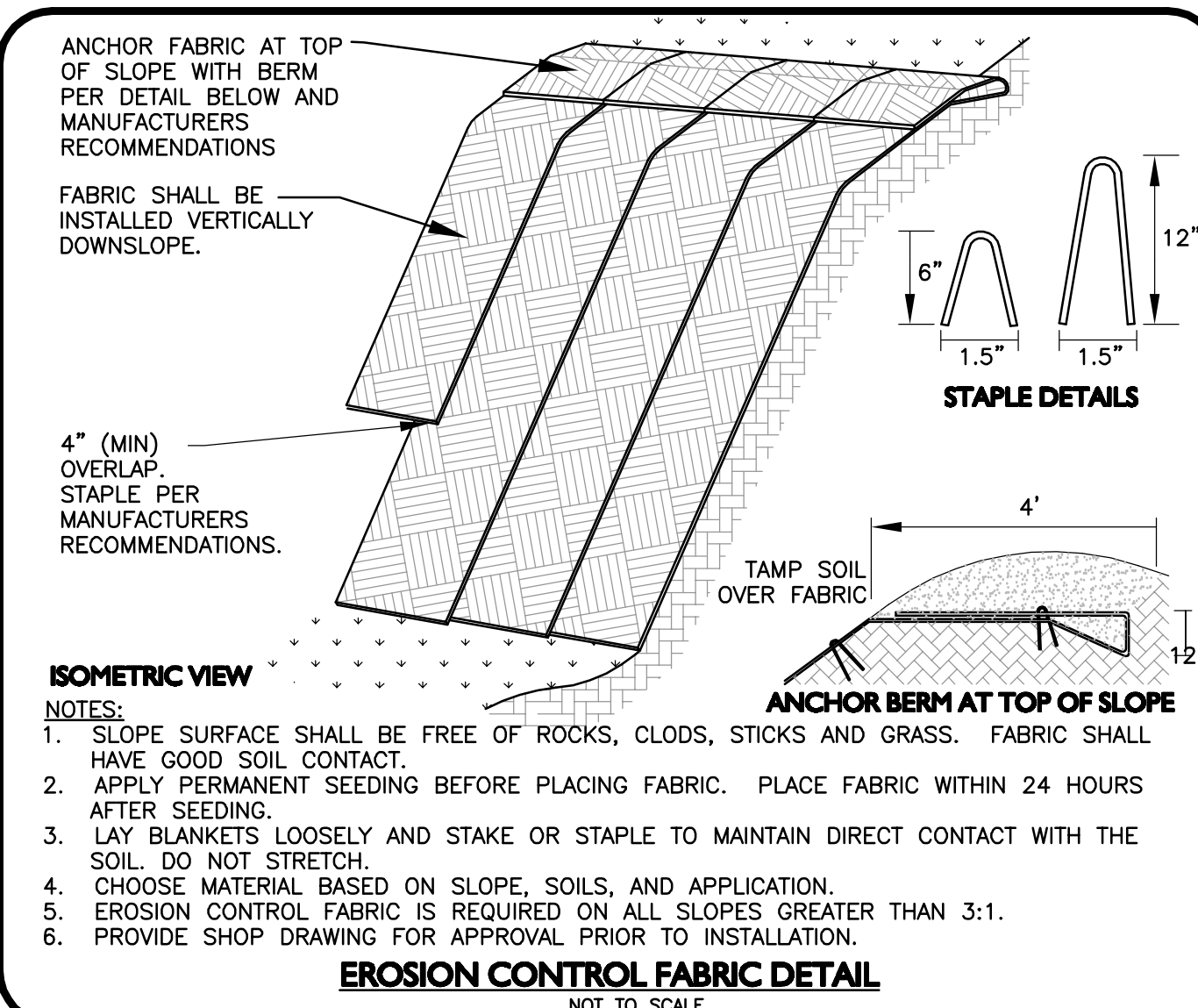


TEMPORARY SEDIMENT AREA
NOT TO SCALE



- NOTE:**
- DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.

SILT FENCE AND COIR LOG DETAIL
NOT TO SCALE



- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. FABRIC SHALL HAVE GOOD SOIL CONTACT.
 2. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC. PLACE FABRIC WITHIN 24 HOURS AFTER SEEDING.
 3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 4. CHOOSE MATERIAL BASED ON SLOPE, SOILS, AND APPLICATION.
 5. EROSION CONTROL FABRIC IS REQUIRED ON ALL SLOPES GREATER THAN 3:1.
 6. PROVIDE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.

EROSION CONTROL FABRIC DETAIL
NOT TO SCALE

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

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BOSTON, MA 02110

PROJECT:
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25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

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| | |
|---|------------|
| DRAWING TITLE: | SHEET No. |
| STORMWATER POLLUTION PREVENTION DETAILS | SWPPP 3 |

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 3 | 01-15-14 | REVS PER PEER REVIEW |
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| | | | |
|-------------|----------|-------------|------------|
| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
| SCALE: | 1" = 20' | DWG. NAME: | C - DETAIL |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

PREPARED BY:



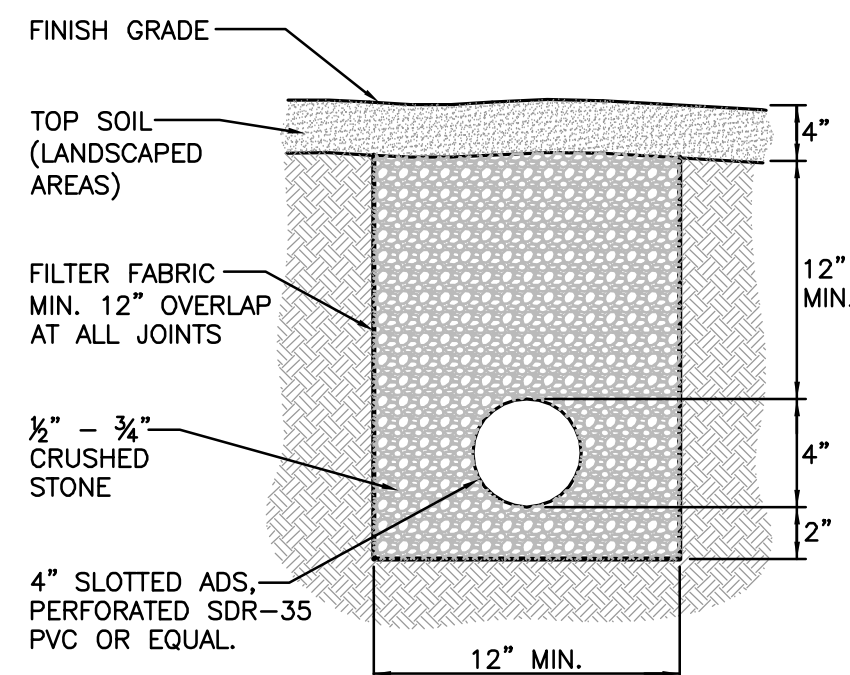
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

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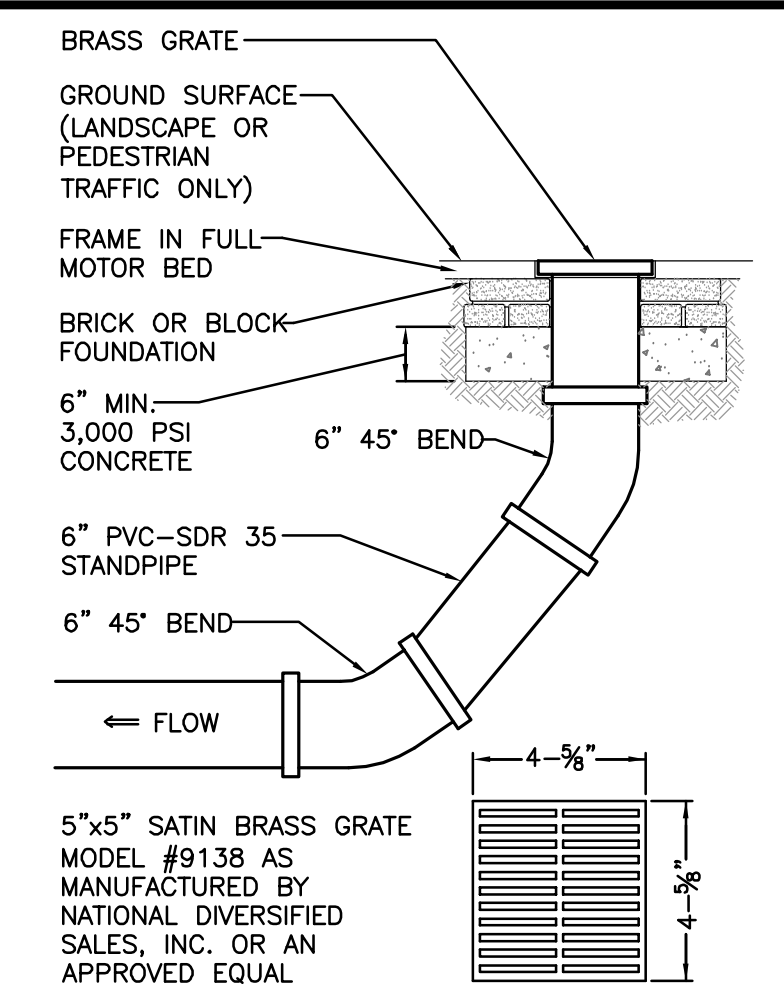
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DRAWING TITLE: **DETAILS** SHEET No. **D-1**



1. FILTER FABRIC TO BE MODEL MIRAFI 140N OR APPROVED ALTERNATE.
2. UNDERDRAIN TO BE LAID AT A MINIMUM SLOPE OF 0.5%.

UNDERDRAIN DETAIL
SCALE: N.T.S.



NOTE:
FRAME & GRATE ASSEMBLY SHALL NOT BEAR DIRECTLY ON STANDPIPE.

AREA DRAIN DETAIL
SCALE: N.T.S.

GENERAL EROSION CONTROL NOTES:

1. GRADING, AND PLANTING OF BIORETENTION SHALL BE COMPLETED IN EARLY PHASES OF CONSTRUCTION. PLANTS AND SEED ON SLOPES AND BOTTOM OF BASIN MUST BE ESTABLISHED PRIOR TO CONNECTING STORM DRAINAGE SYSTEM OUTLETS TO BIORETENTION AREA. PLANTS AND SEED MIX SHALL HAVE A MINIMUM OF 6 MONTHS GROWING, BE ESTABLISHED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONNECTING STORM DRAINAGE SYSTEM OUTLETS TO BIORETENTION AREA.
2. EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN, SHALL BE IN PLACE PRIOR TO ANY REGRADING ACTIVITY.
3. EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE BIOREMEDIATION AREA BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ANY DEWATERING METHODS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
4. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

PLANTING & SOIL NOTES:

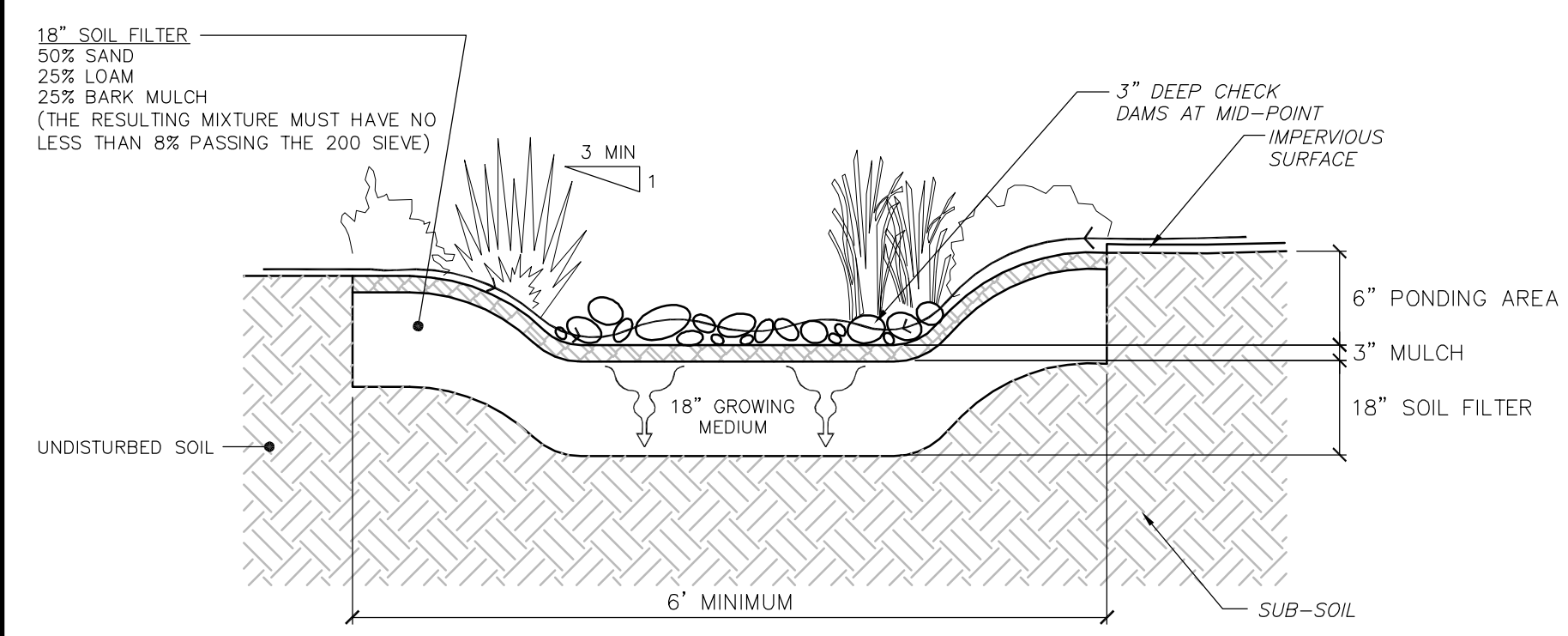
1. A NEW ENGLAND CONSERVATION / WILDLIFE MIX WILL BE DISPERSED IN AND ADJACENT TO THE BANK OF THE BIORETENTION AREA AT A RATIO OF 1 POUND PER 1,750 SQUARE FEET AS AVAILABLE FROM NEW ENGLAND WETLAND PLANTS OR APPROVED EQUAL, INC. 820 WEST ST., AMHERST, MA, 413-548-8000.
2. A NEW ENGLAND WETMIX WILL BE DISPERSED AT THE BOTTOM 6" OF THE BANK AND BELOW OF THE BIORETENTION AREA AT A RATIO OF 1 POUND PER 2,500 SQUARE FEET AS AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, INC. 820 WEST ST., AMHERST, MA, 413-548-8000.
3. LOAM AND SEED ALL NON-BIOREMEDIATION AREAS WITH UPLAND MIX TO PROVIDE VEGETATIVE COVER AND EROSION CONTROL.
4. ALL PLANTINGS SHALL BE MONITORED AND REPLACED AS NECESSARY DURING THE TWO-YEAR ESTABLISHMENT PERIOD.
5. PLANTING SOIL SHALL HAVE PH RANGE OF 5.5-6.5%, ORGANIC MATTER OF 1.5-3.0%. PLANTING SOIL SHALL HAVE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE. MAXIMUM CLAY CONTENT IS <5%, 60-70% SAND; 10% LEAF COMPOST; AND 25-30% TOPSOIL. THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN 2". LEAF COMPOST IS ESSENTIALLY COMPOSED OF AGED LEAF MULCH AND PROVIDES ADDED ORGANIC MATTER. A SIEVE ANALYSIS, PH, AND ORGANIC MATTER TEST SHALL BE SENT TO UMASS SOIL TESTING LAB OR APPROVED EQUAL FOR APPROVAL BY LANDSCAPE ARCHITECT. SOIL SHALL BE AMENDED TO MEET THESE SPECIFICATIONS FOR APPROVAL.

WETMIX
(BY NEW ENGLAND WETLAND PLANTS INC.):

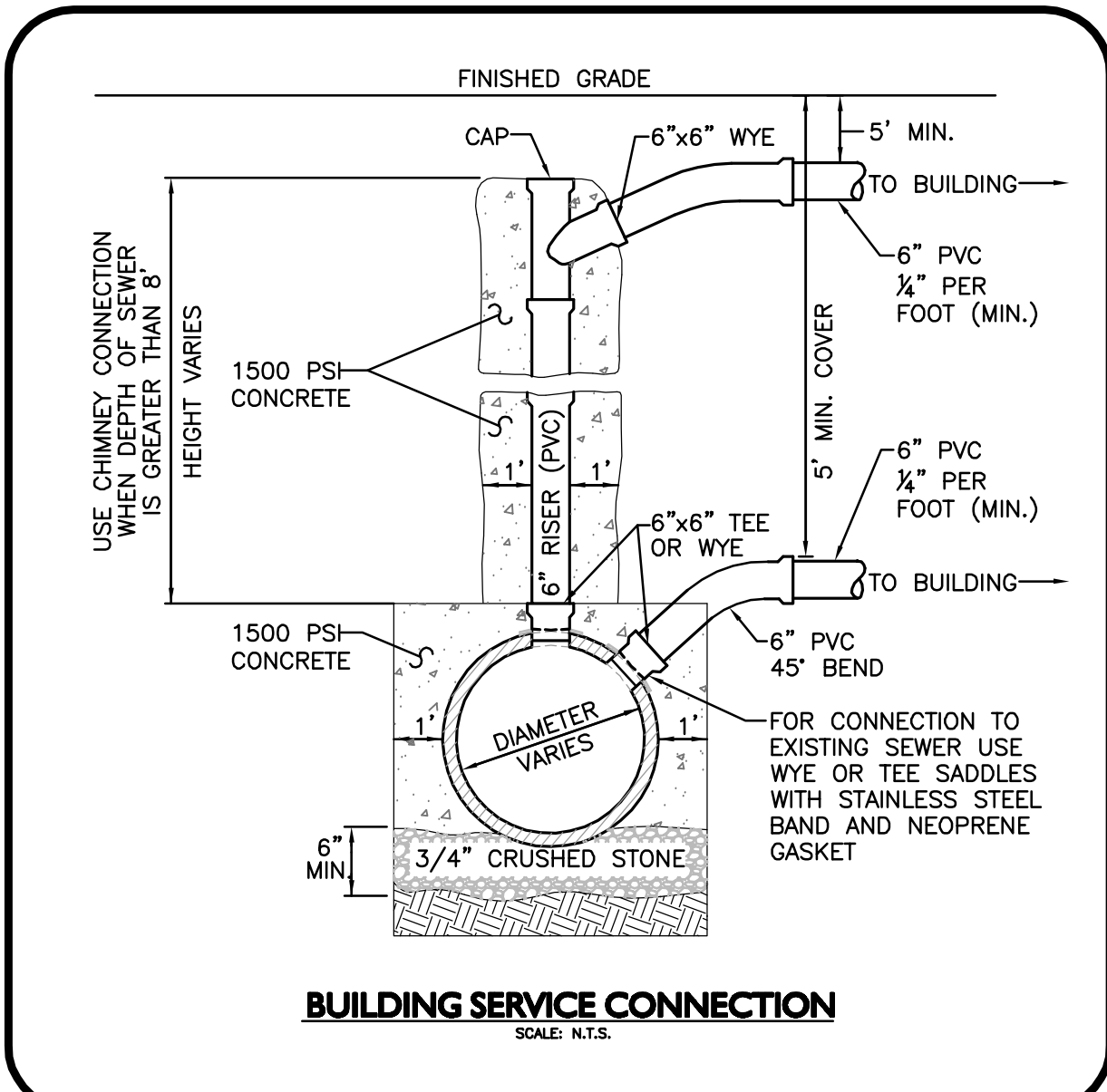
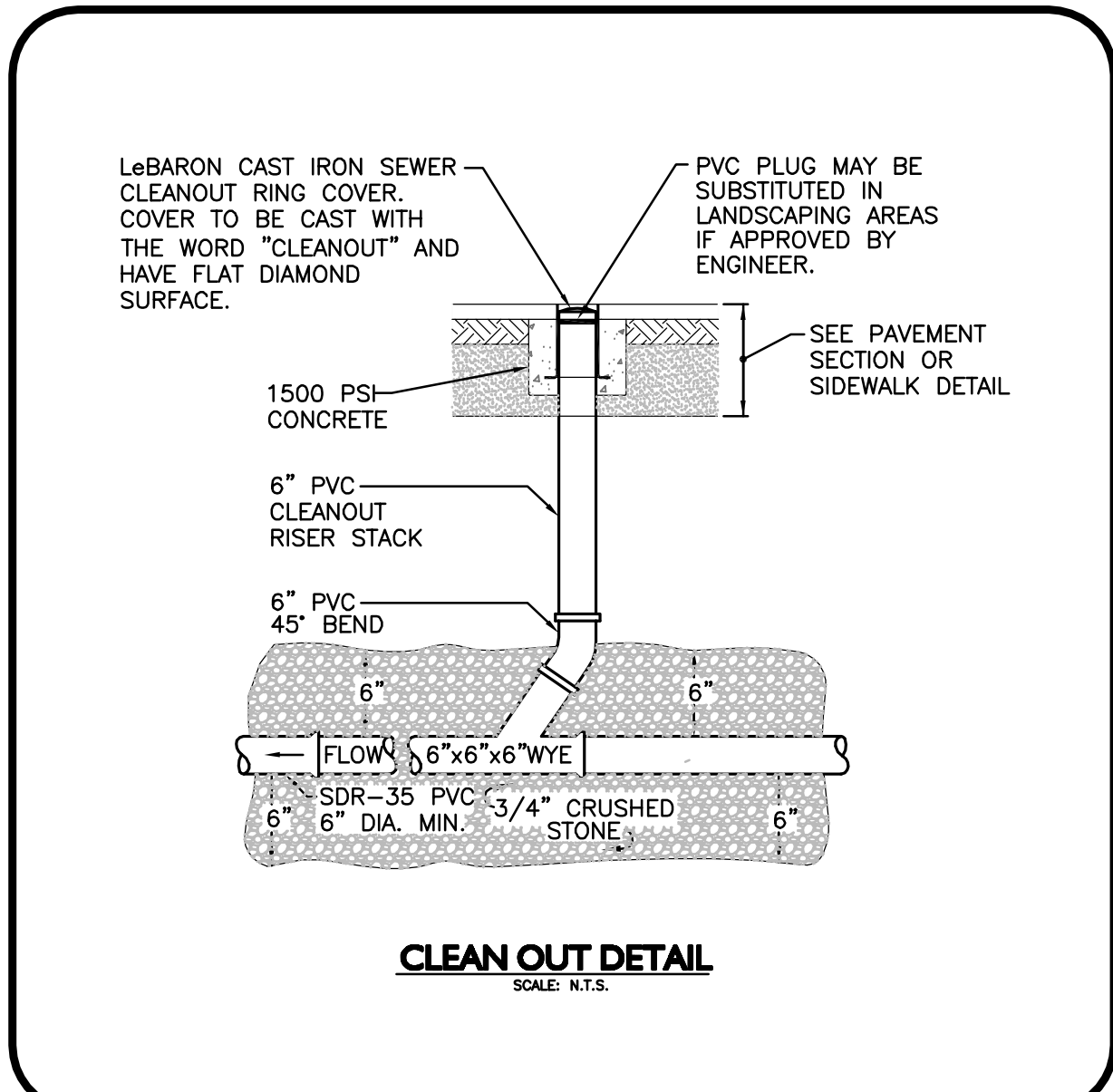
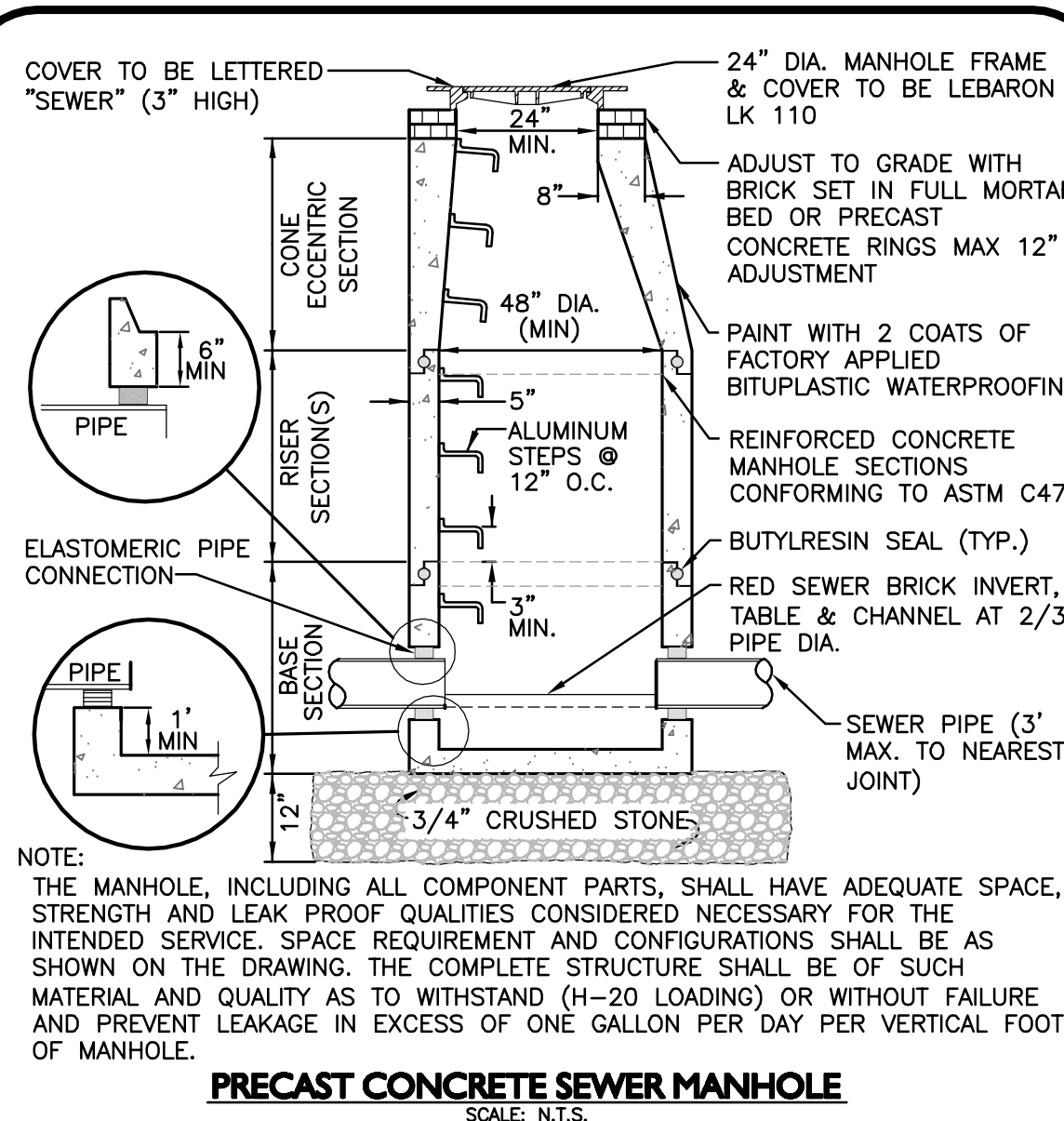
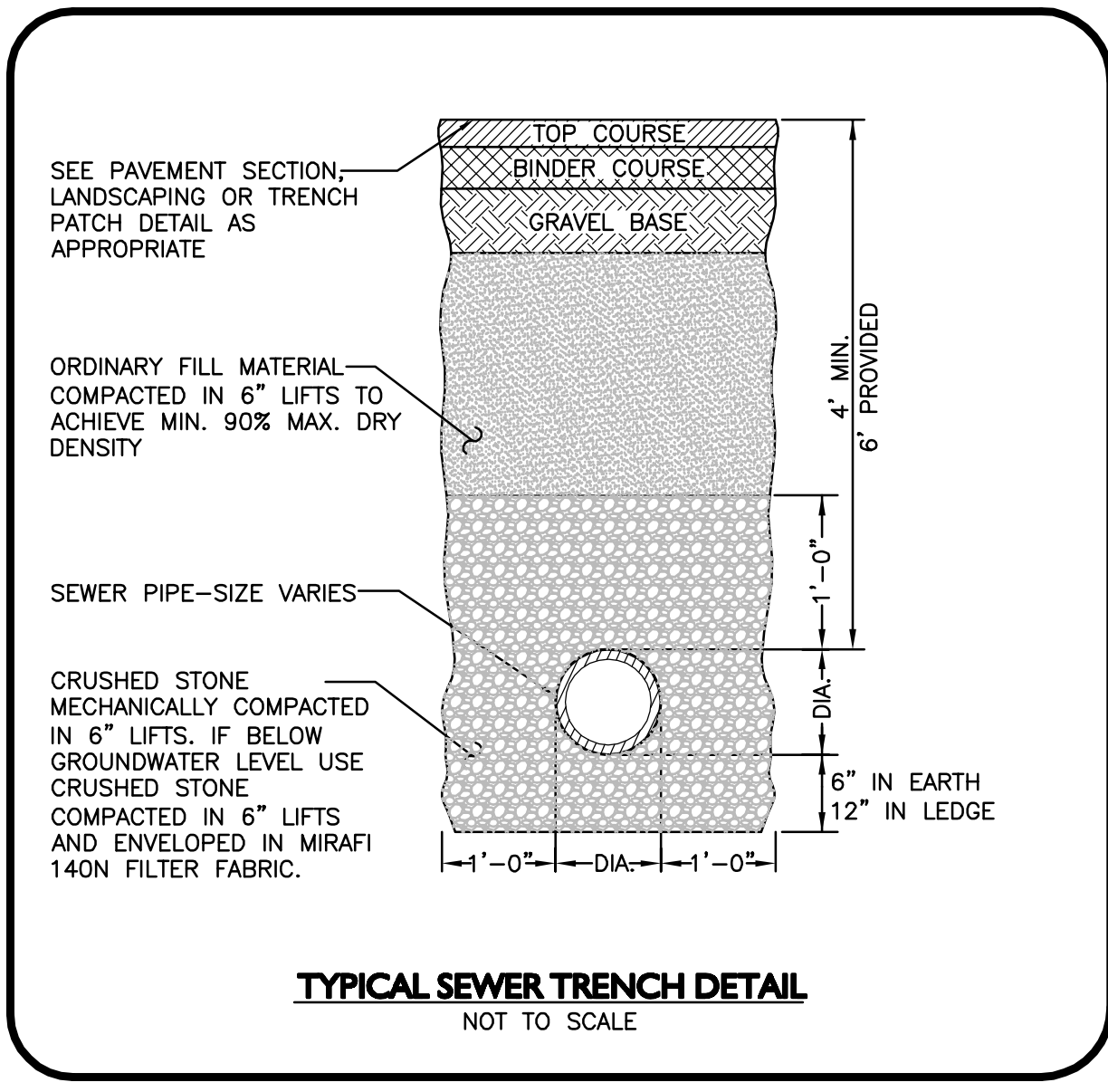
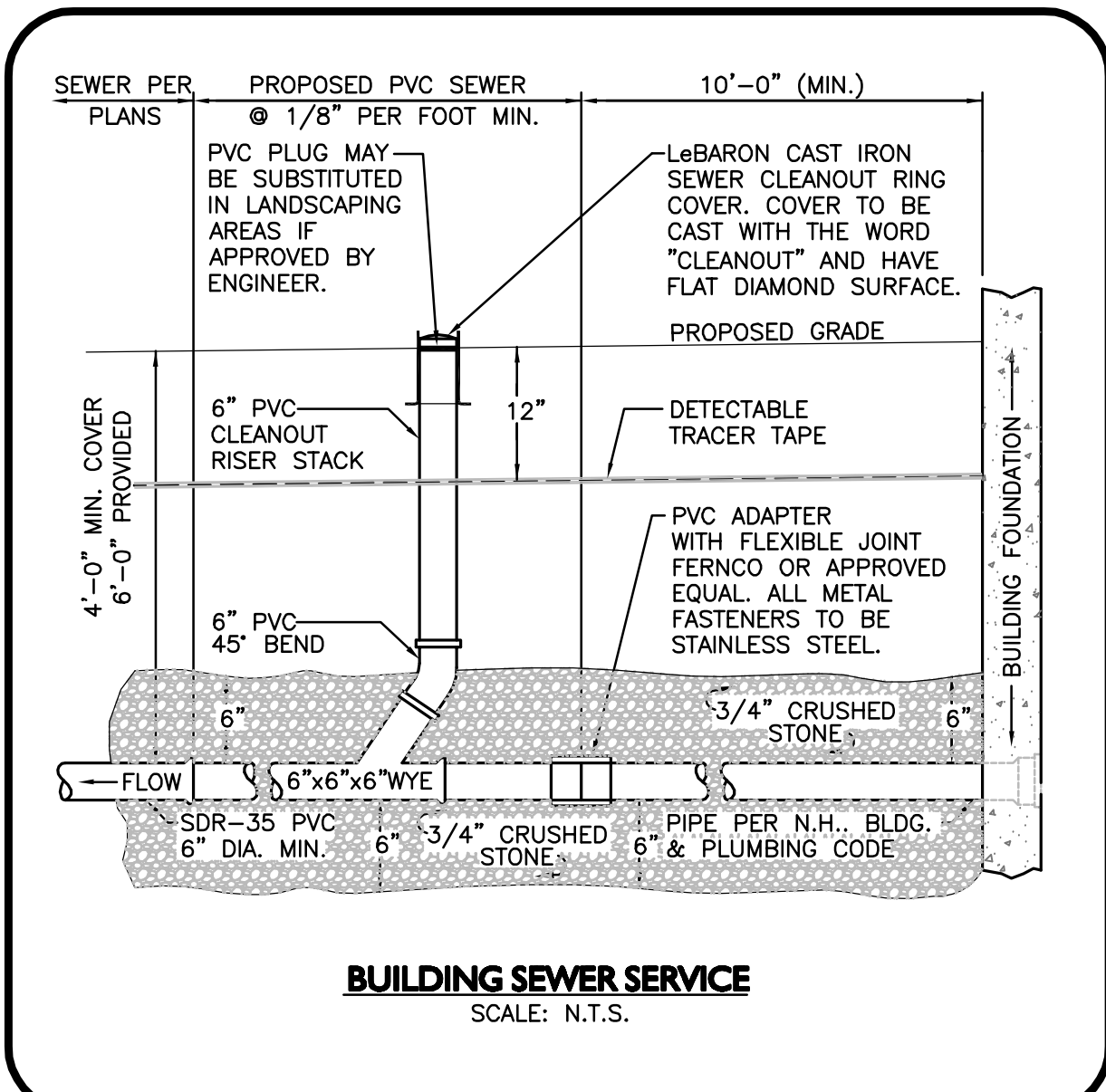
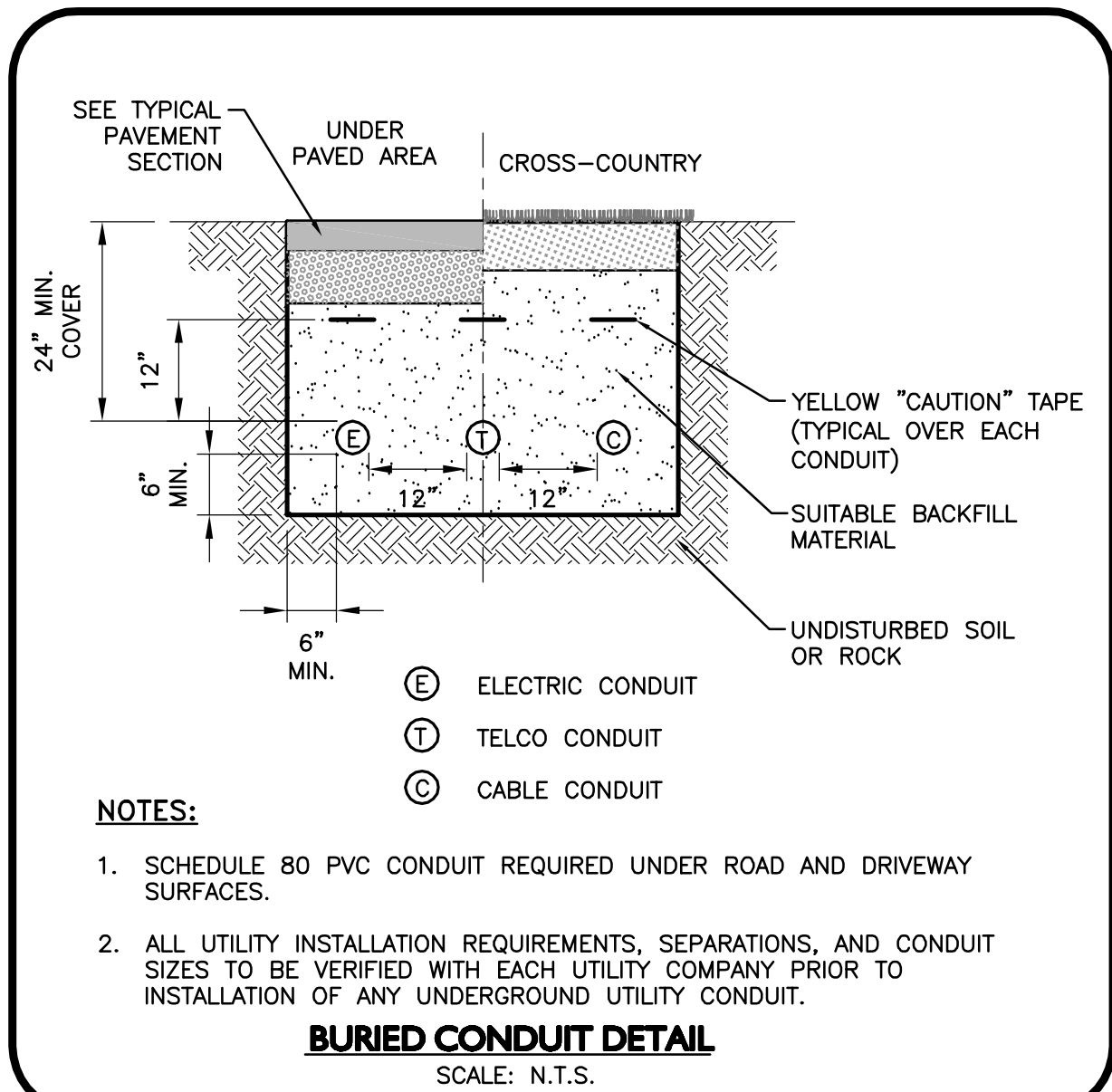
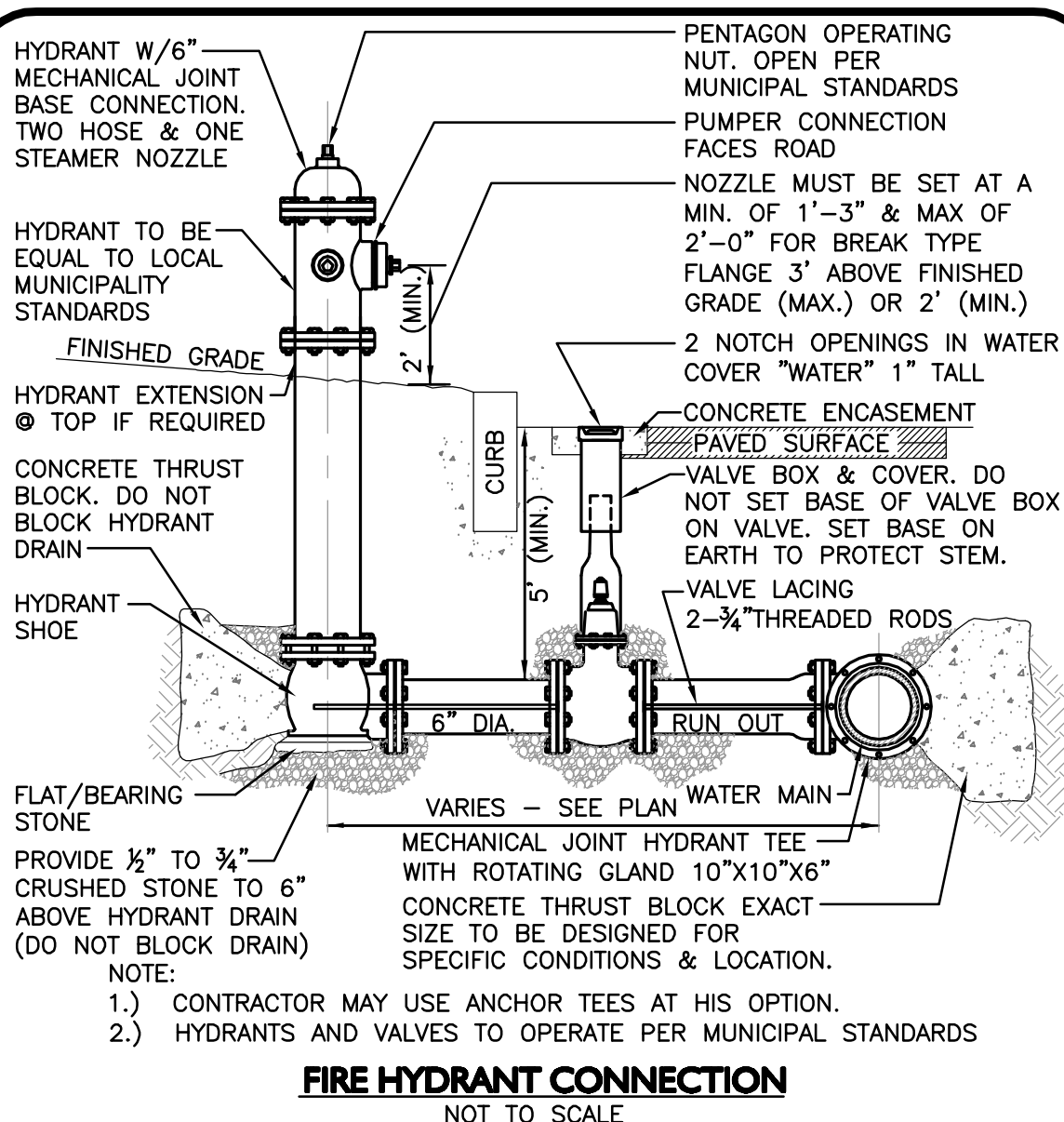
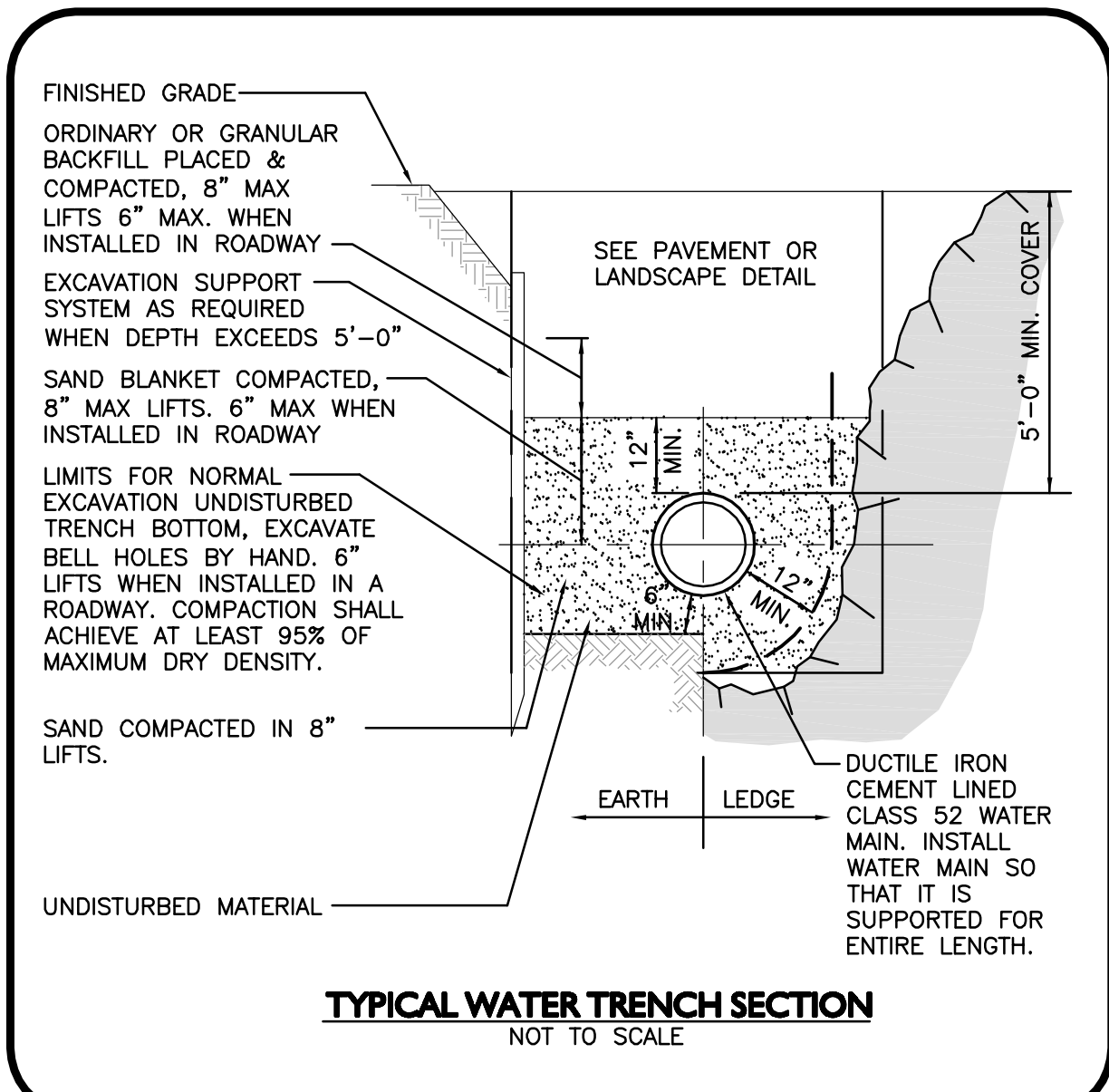
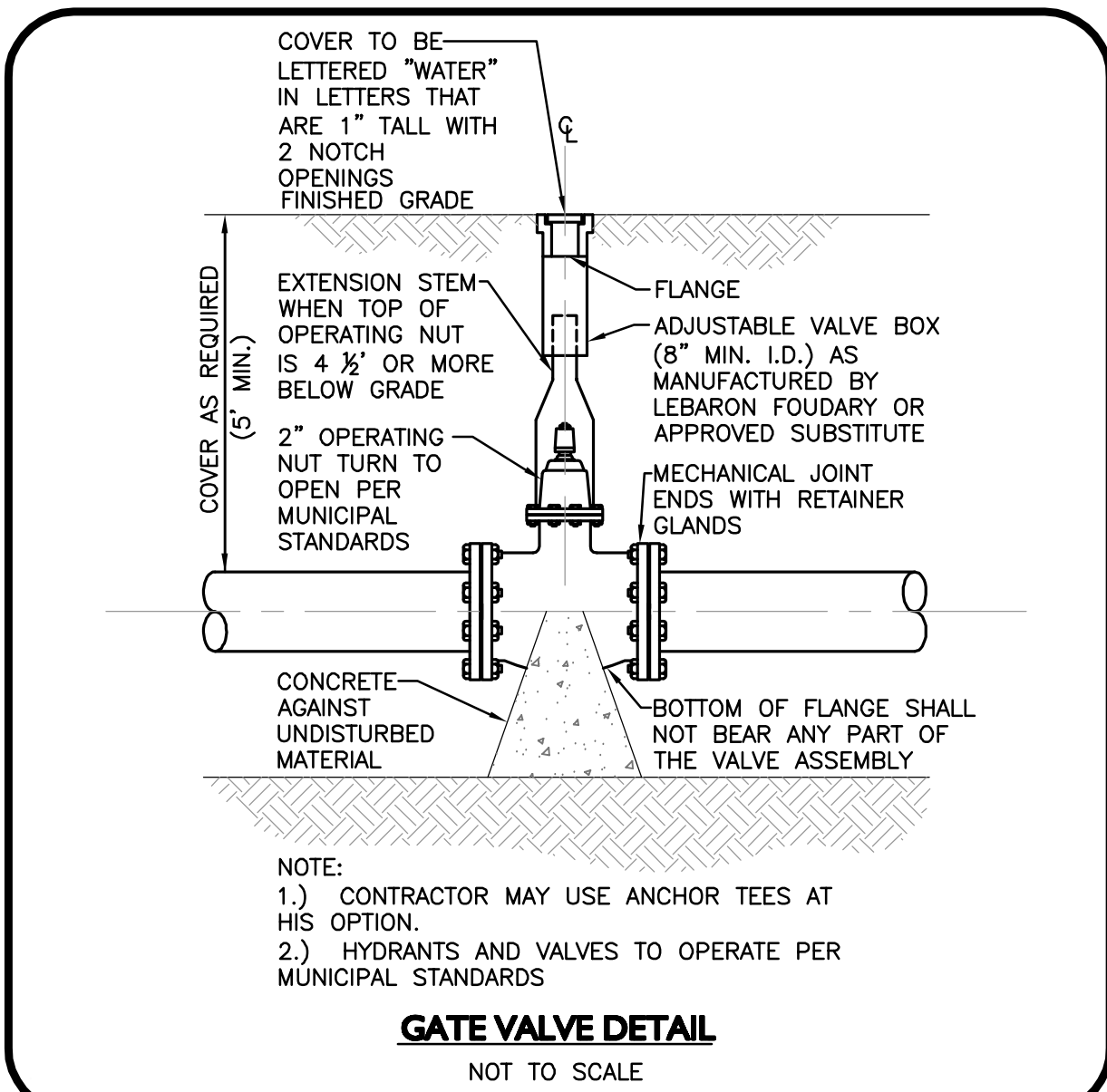
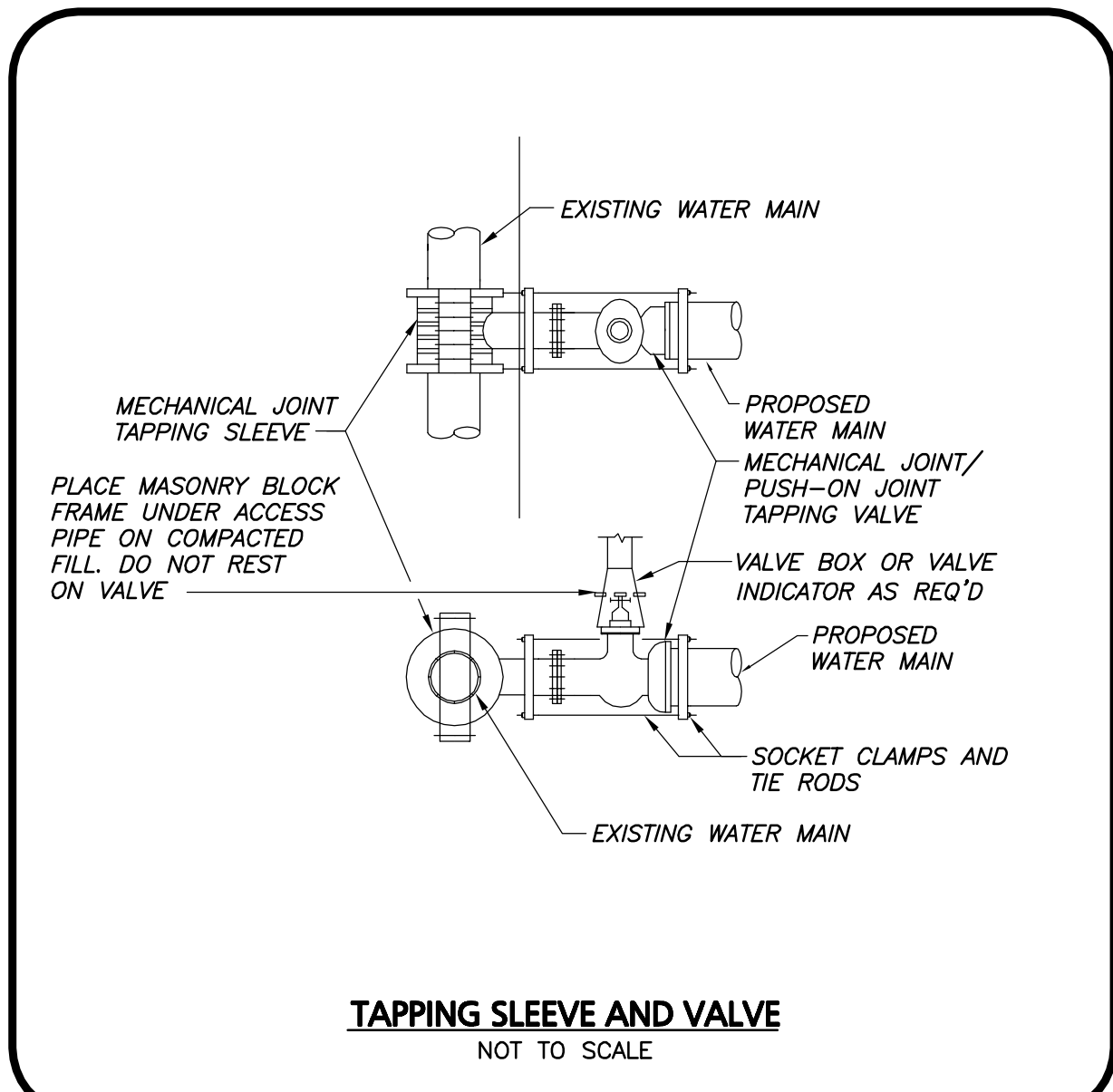
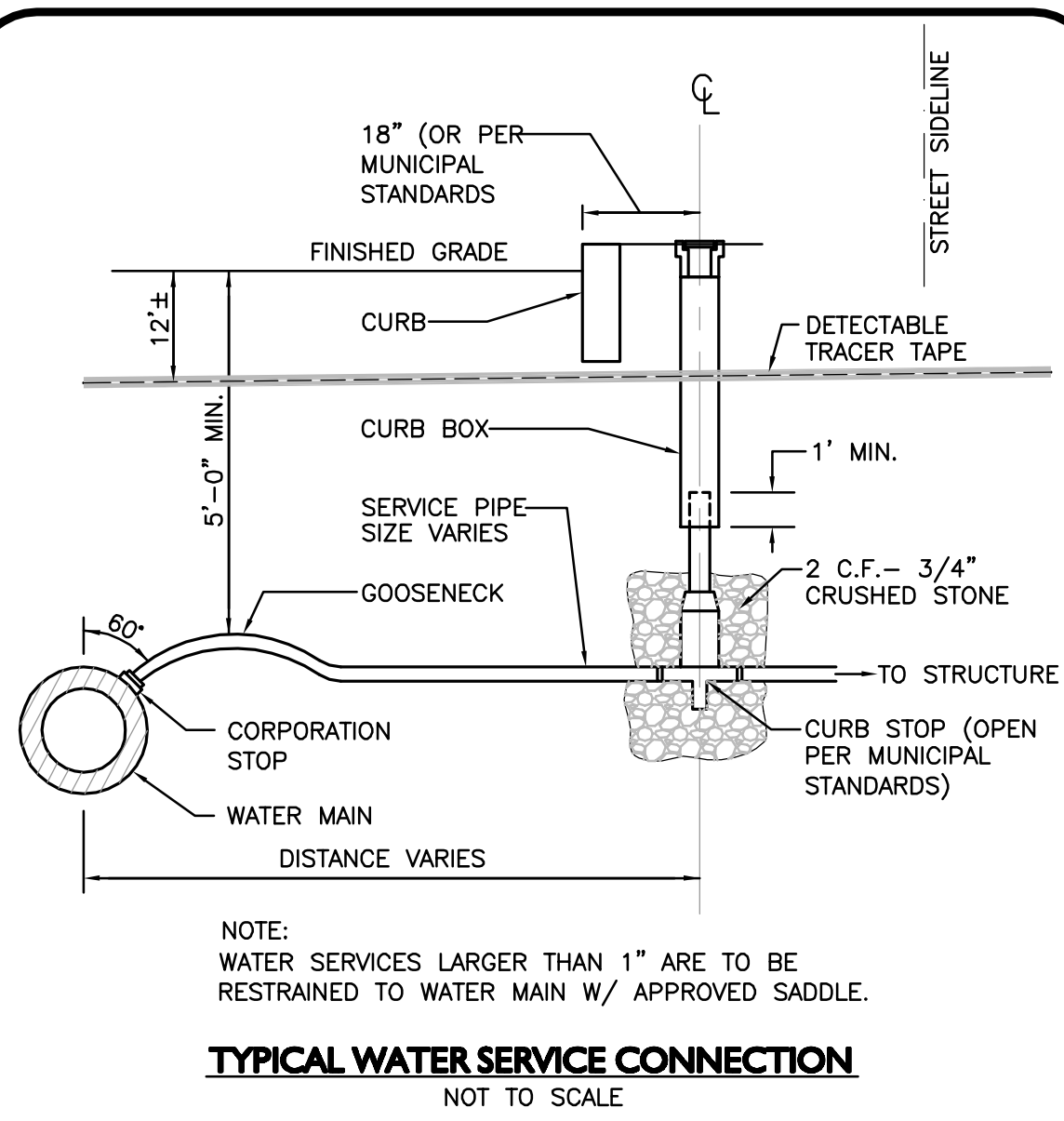
| COMMON NAME | LATIN NAME |
|----------------------|----------------------------|
| 1. LURID SEDGE | CAREX LURIDA |
| 2. FOWL MEADOW GRASS | GLYCERIA CANADENSIS |
| 3. FRINGED SEDGE | CAREX CRINITA |
| 4. JOE-PYE-WEED | EUPATORIADELPHUS MACULATUS |
| 5. BROOM SEDGE | CAREX SPP., OVALES GROUP |
| 6. SOFT RUSH | JUNCUS EFFUSUS |
| 7. WOOLGRASS | SCRIPUS CYPERINUS |
| 8. BONESET | EUPATORIUM PEFOLIATUM |
| 9. TUSsock | SEDGE CAREX STRICTIA |
| 10. BLUE VERVAIN | VERBENA HASTATA |

NEW ENGLAND CONSERVATION / WILDLIFE MIX
(BY NEW ENGLAND WETLAND PLANTS INC.):

| COMMON NAME | LATIN NAME |
|---------------------------|--------------------------|
| 1. BIG BLUESTEM | ANDROPOGON GERARDII |
| 2. SWITCHGRASS | PANICUM VIRGATUM |
| 3. LITTLE BLUESTEM | SCHIZACHYRIUM SCOPARIUM |
| 4. CANADA WILD RYE | ELYMUS CANANENSIS |
| 5. FOX SEDGE | CAREX VULPINOIDEA |
| 6. PARTRIDGE PEA | CHAMAECRISTA FASCICULATA |
| 7. FRINGED BROMEGRASS | BROMUS CILIATUS |
| 8. PENNSYLVANIA SMARTWEED | POLYGONUM PENNSYLVANICUM |
| 9. COMMON MILKWEED | ASCLEPIAS SYRIACA |
| 10. SHOWY TICK-TREFOIL | DESMODIUM CANADENSE |
| 11. NEW ENGLAND ASTER | ASTER NOVAE-ANGLIAE |
| 12. FLAT-TOP ASTER | ASTER UMBELLATUS |
| 13. NODDING BUR-MARIGOLD | BIDENS CERNUA |



TYPICAL BIORETENTION AREA CROSS SECTION
NOT TO SCALE



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| PROJECT NO. | DATE | SCALE | DWG. NAME | DATE | DWG. NAME |
|-------------|----------|----------|------------|------|-----------|
| 1925-01 | 09-04-13 | 1" = 20' | C - DETAIL | | |

DRAFTED BY: WBL CHECKED BY: RPC

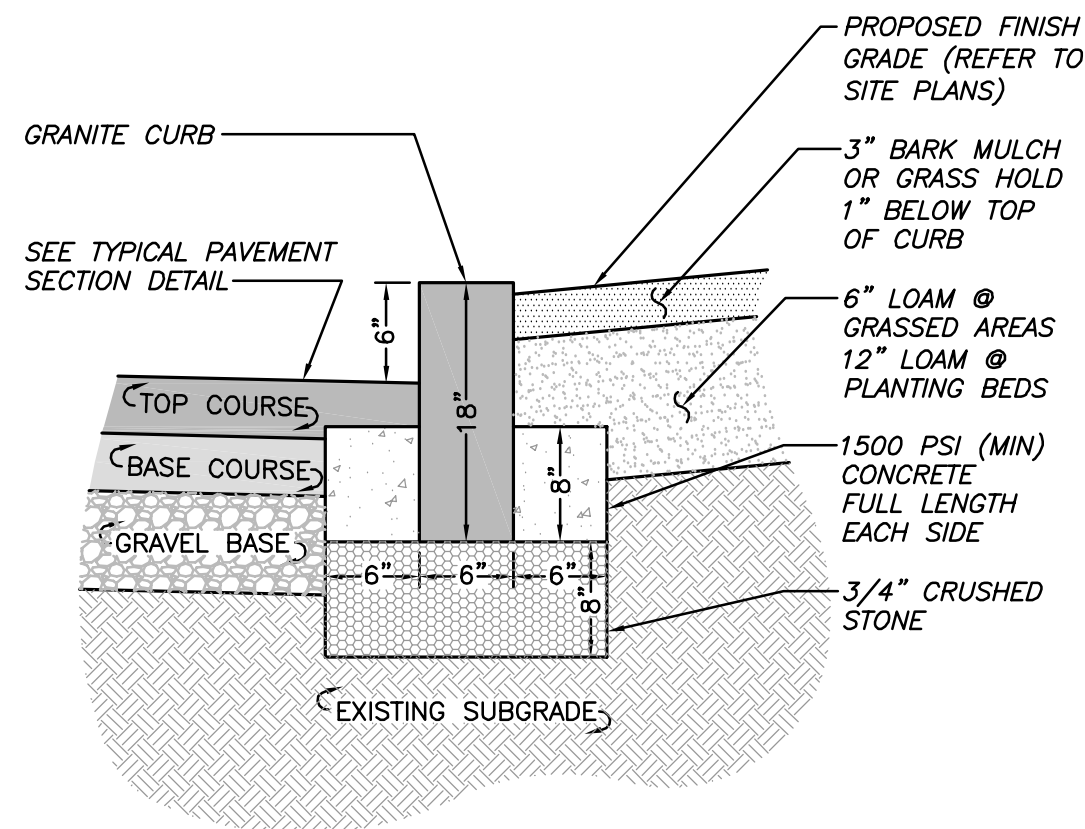
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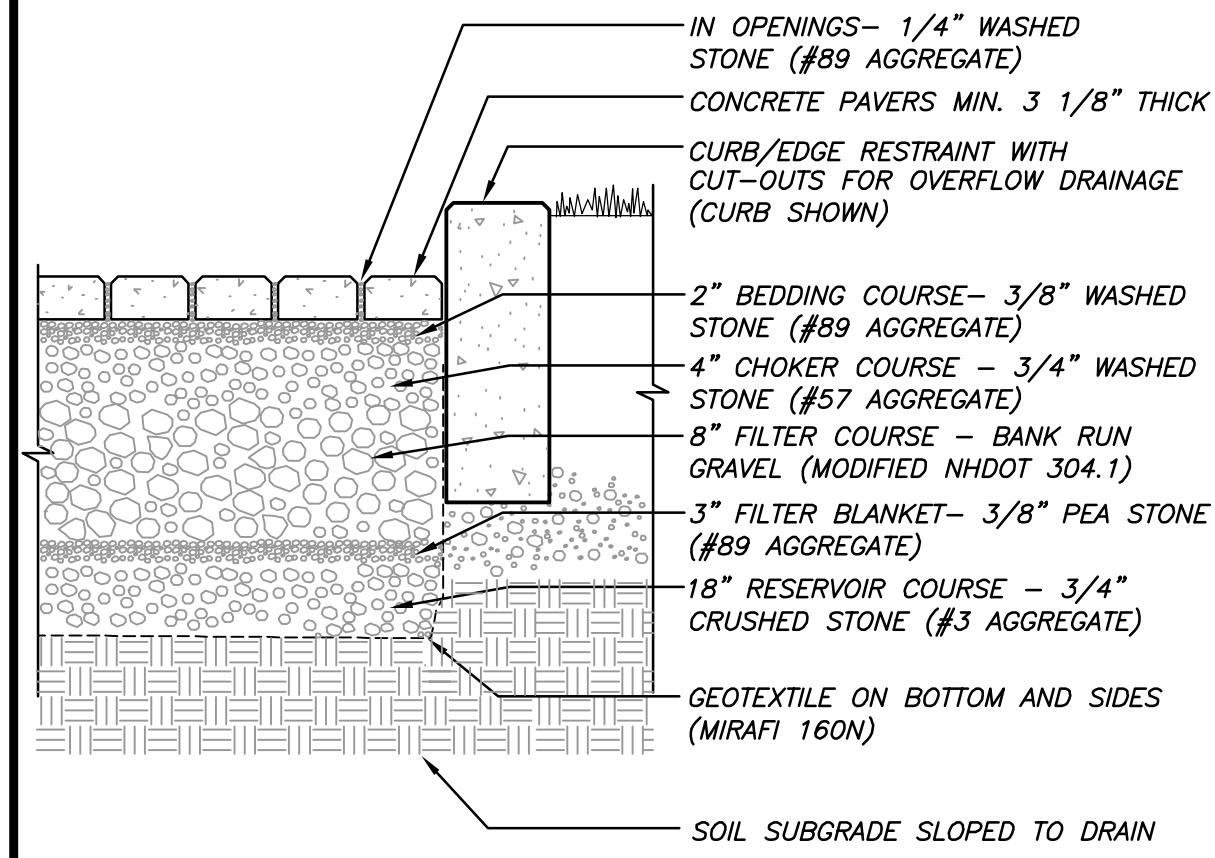
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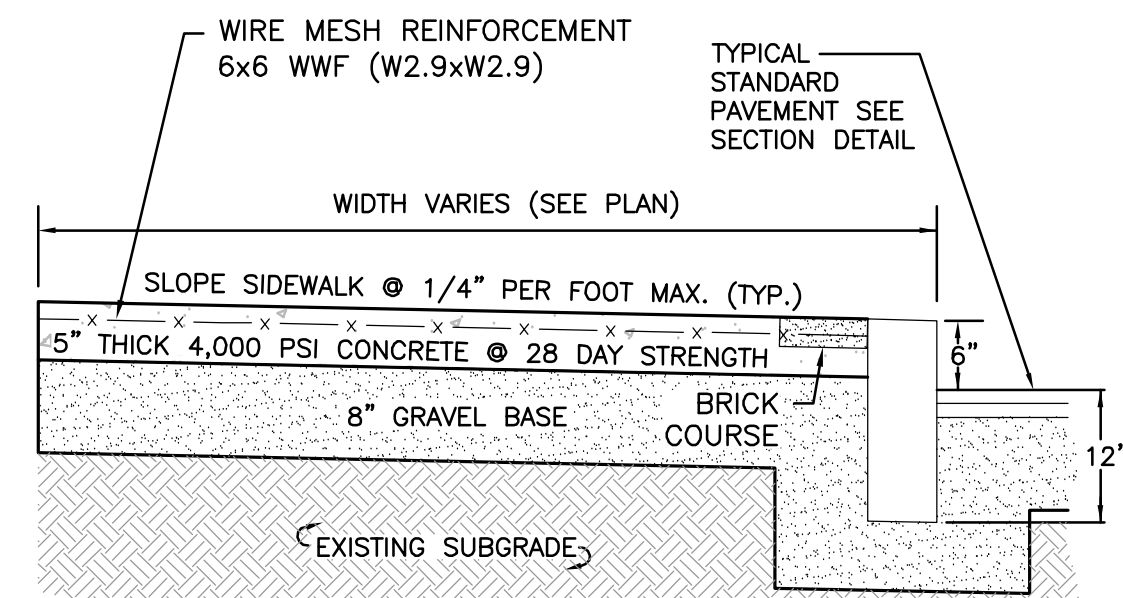
| DRAWING TITLE: | SHEET No. |
|----------------|-----------|
| DETAILS | D-2 |



VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

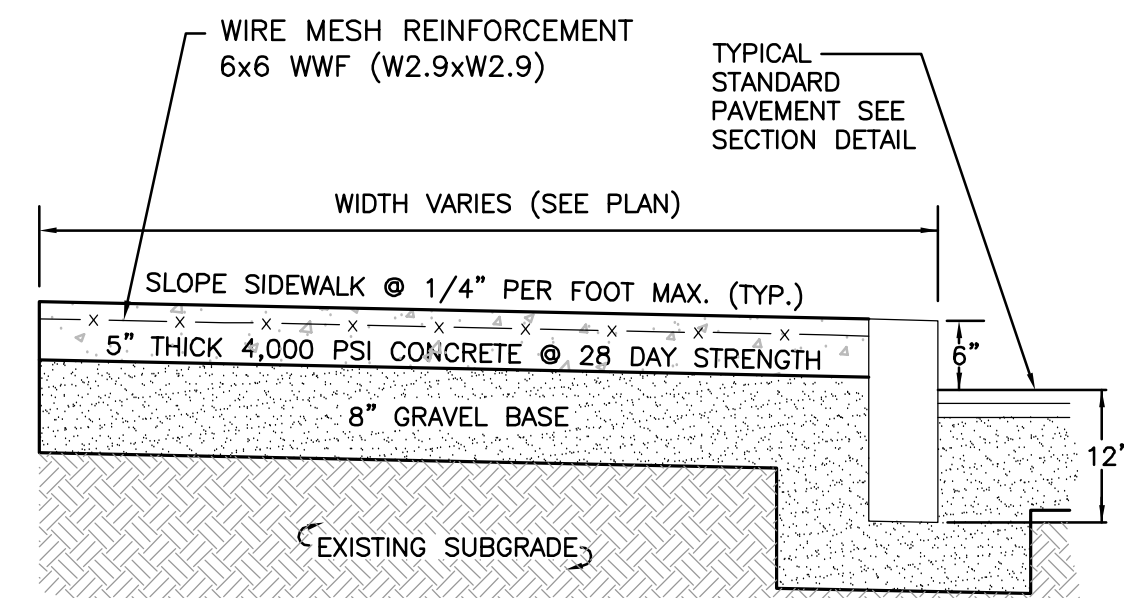


PERMEABLE PAVER DETAIL
NOT TO SCALE



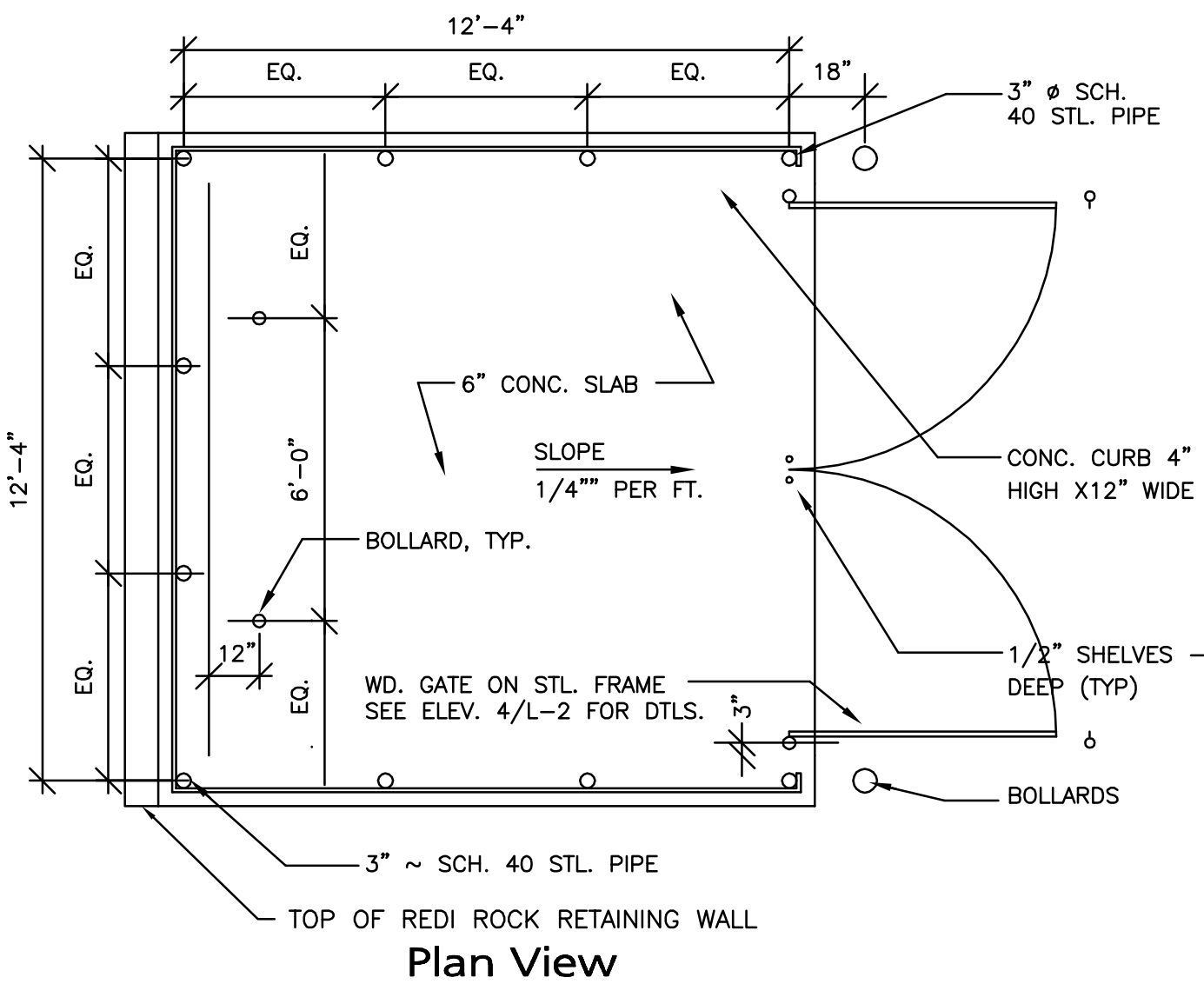
- NOTES:
- SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
 - TOOLED JOINT 6" FROM FACE OF CURB
 - SEE PLAN FOR ELEVATIONS AT CURB
 - BRICK COURSE TO MATCH PATTERN EXISTING ALONG MAIN STREET SIDEWALK.

CONCRETE SIDEWALK DETAIL WITHIN ROW
NOT TO SCALE

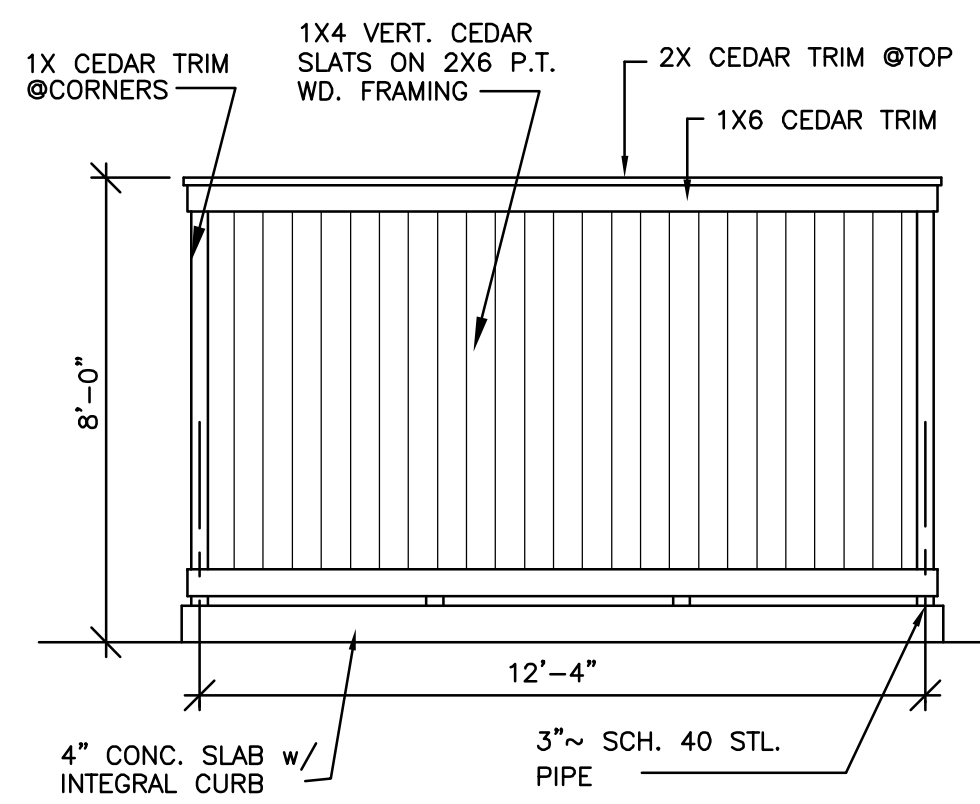


- NOTES:
- SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
 - TOOLED JOINT 6" FROM FACE OF CURB
 - SEE PLAN FOR ELEVATIONS AT CURB

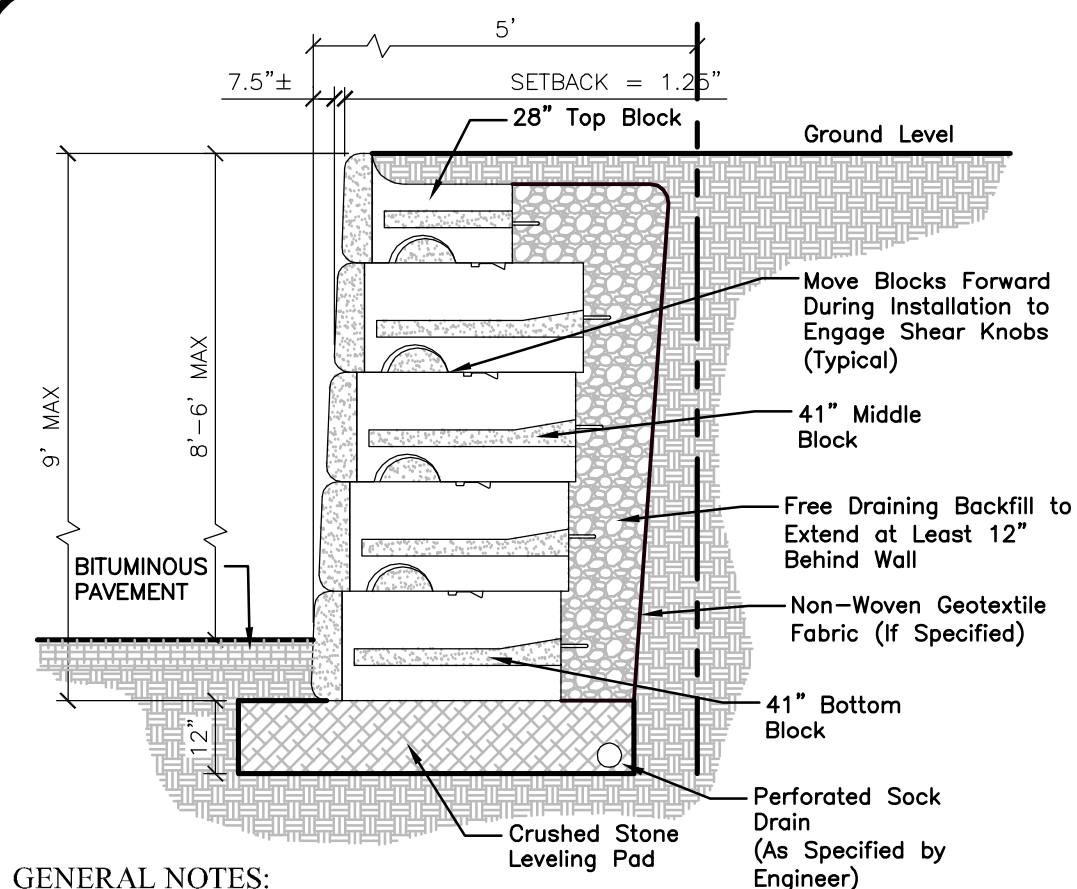
CONCRETE SIDEWALK DETAIL - ON SITE
NOT TO SCALE



Plan View

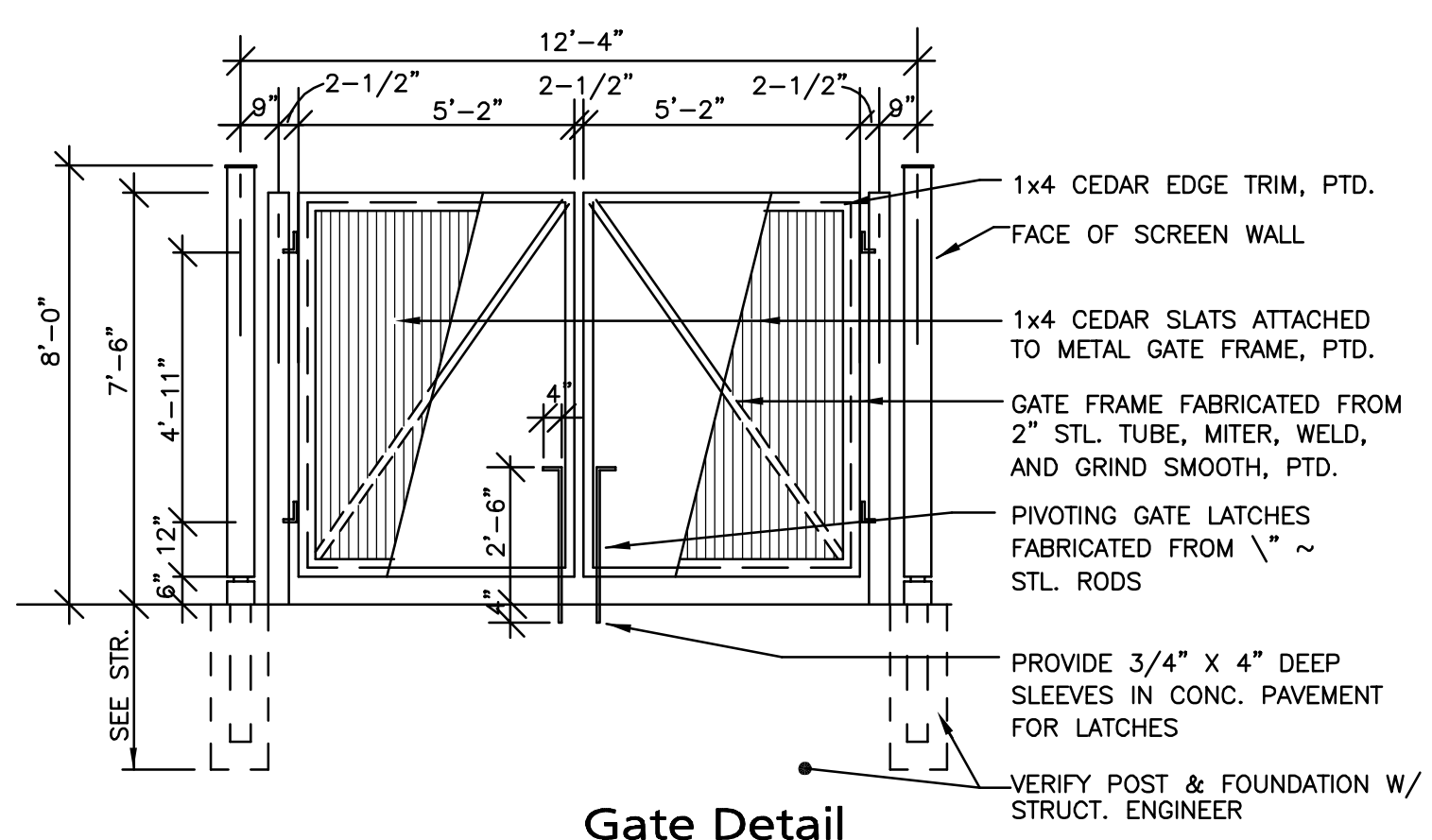


Elevation View



- GENERAL NOTES:
- WALL UNITS SHALL BE REDI-ROCK® AS PRODUCED BY A LICENSED MANUFACTURER.
 - REFER TO PLANS FOR LOCATION AND HEIGHT
- SYSTEMS & DETAILS SHOWN ON THESE PLANS ARE PROTOTYPICAL IN NATURE. FULL SHOP DRAWINGS STAMPED BY A NEW HAMPSHIRE PROFESSIONAL ENGINEER WILL BE REQUIRED FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.

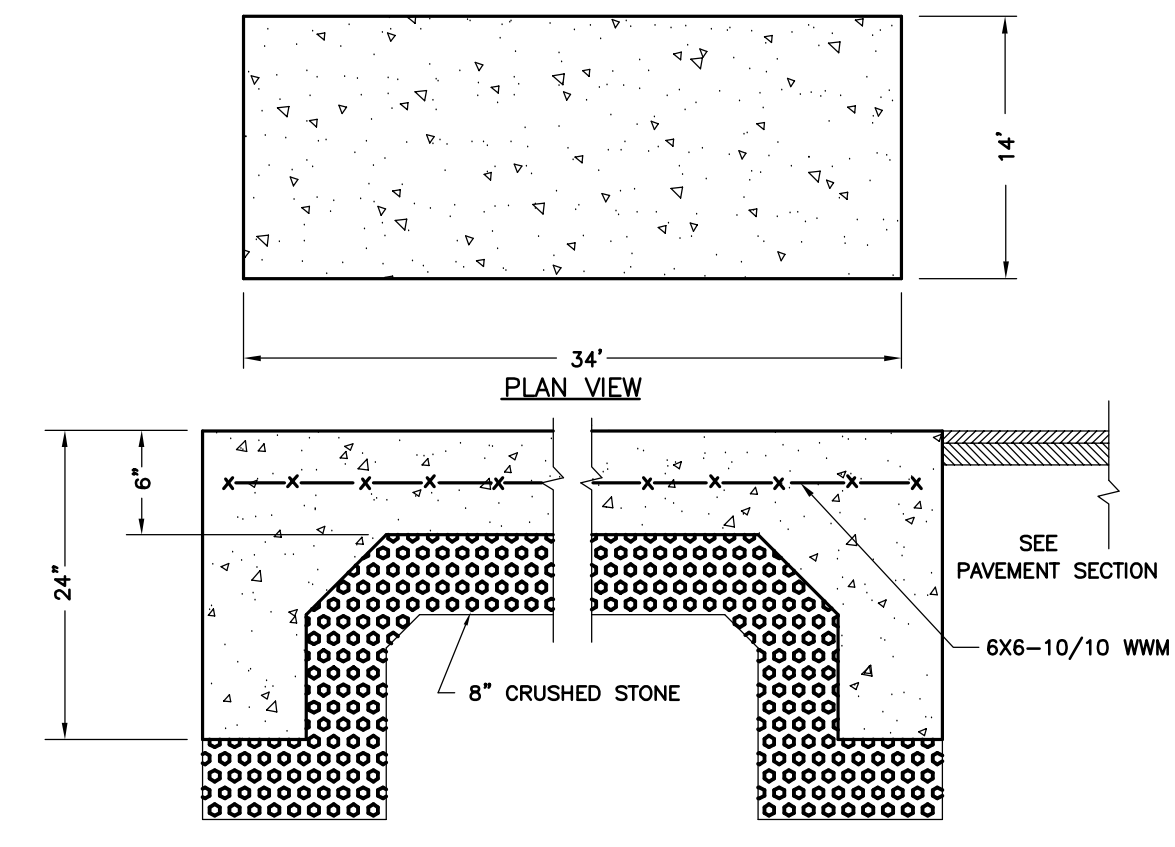
TYPICAL GRAVITY WALL WITH 41" BLOCKS
NOT TO SCALE



Gate Detail

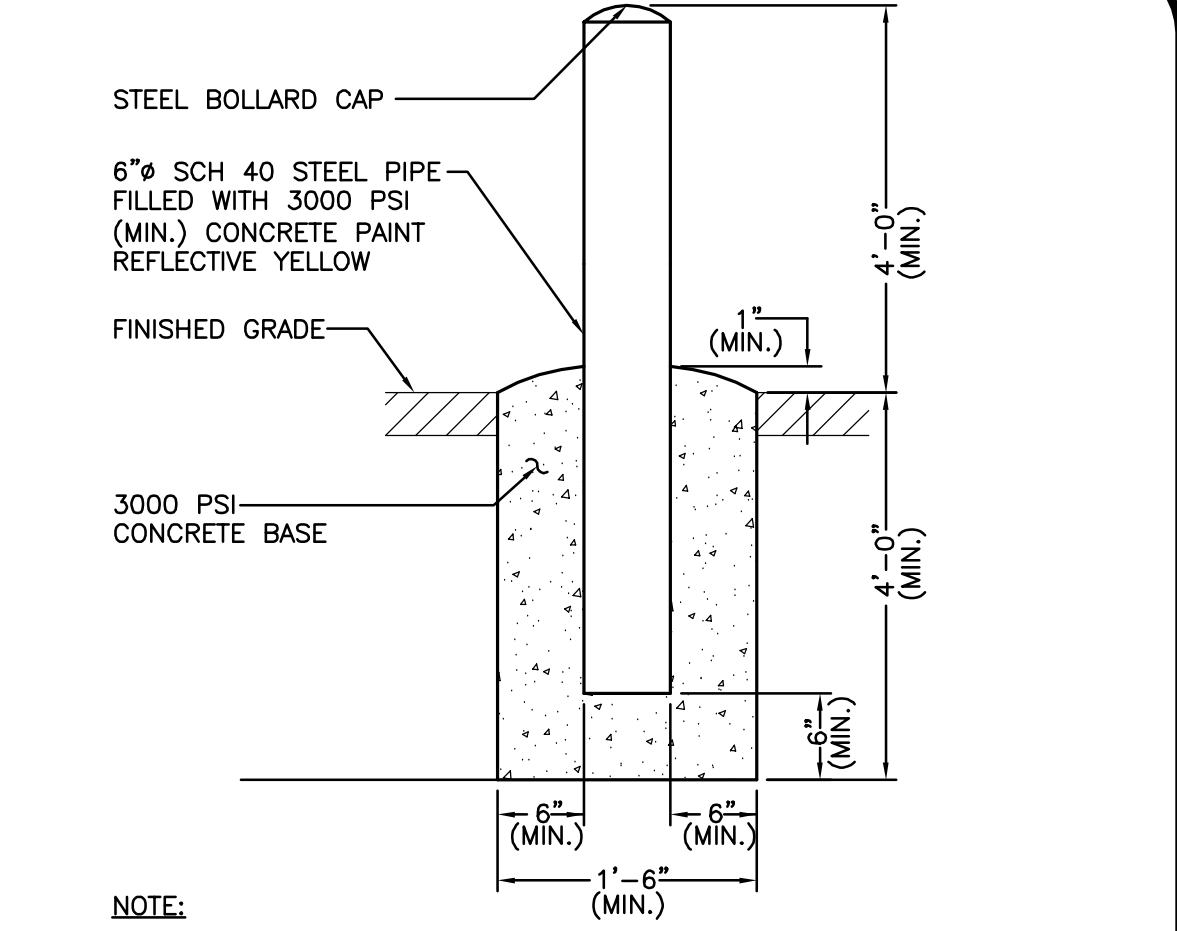
DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

NOTE: PAINT ALL TRIM AND WOOD FRAMING TO MATCH BUILDING



CONCRETE DUMPSTER PAD DETAIL
NOT TO SCALE

NOTE: EXISTING DUMPSTER ENCLOSURE FENCE SHALL BE RE-INSTALLED AROUND THE PROPOSED DUMPSTER. PROVIDE NEW FENCE SECTIONS TO MATCH EXISTING WHERE NECESSARY.



NOTE: ALL EXPOSED PIPE SHALL BE PAINTED WITH CATALYZED EPOXY PAINT. (COLOR AS DIRECTED BY ENGINEER) A BITUMASTIC COATING SHALL BE APPLIED TO ALL PIPE BELOW GRADE

FIXED BOLLARD DETAIL
NOT TO SCALE

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
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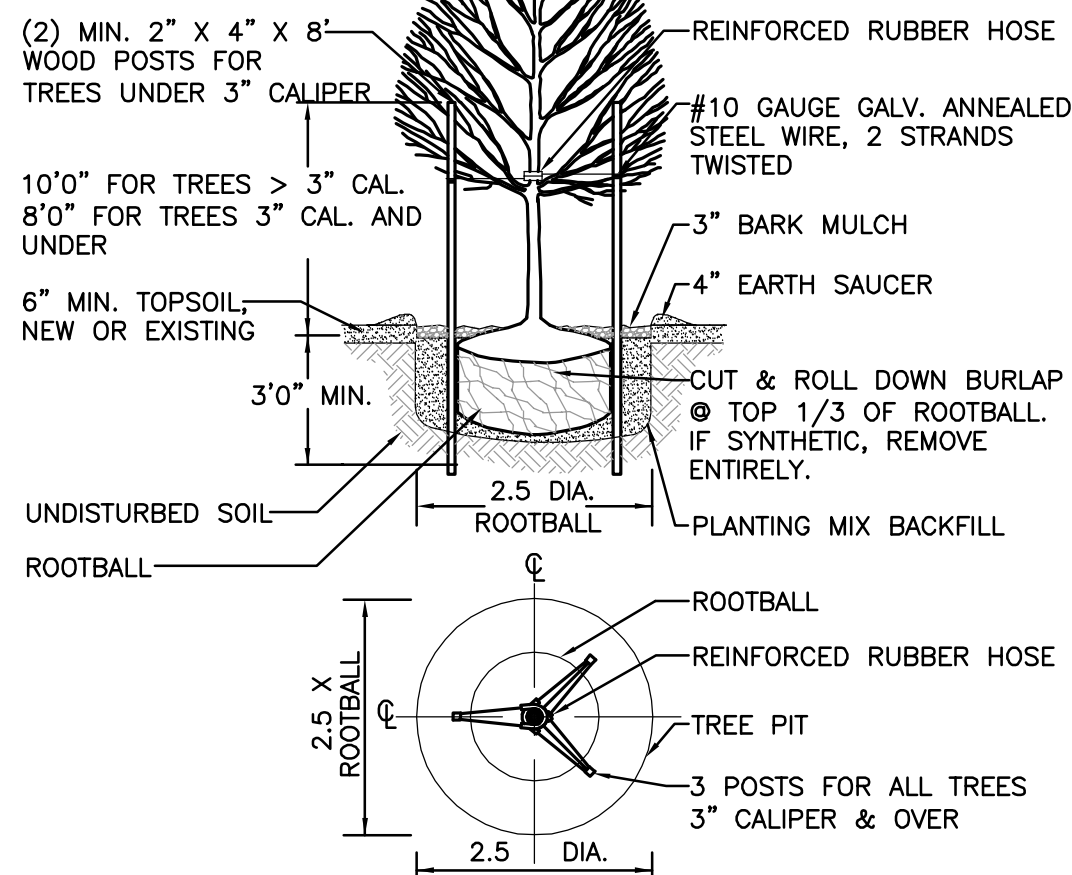
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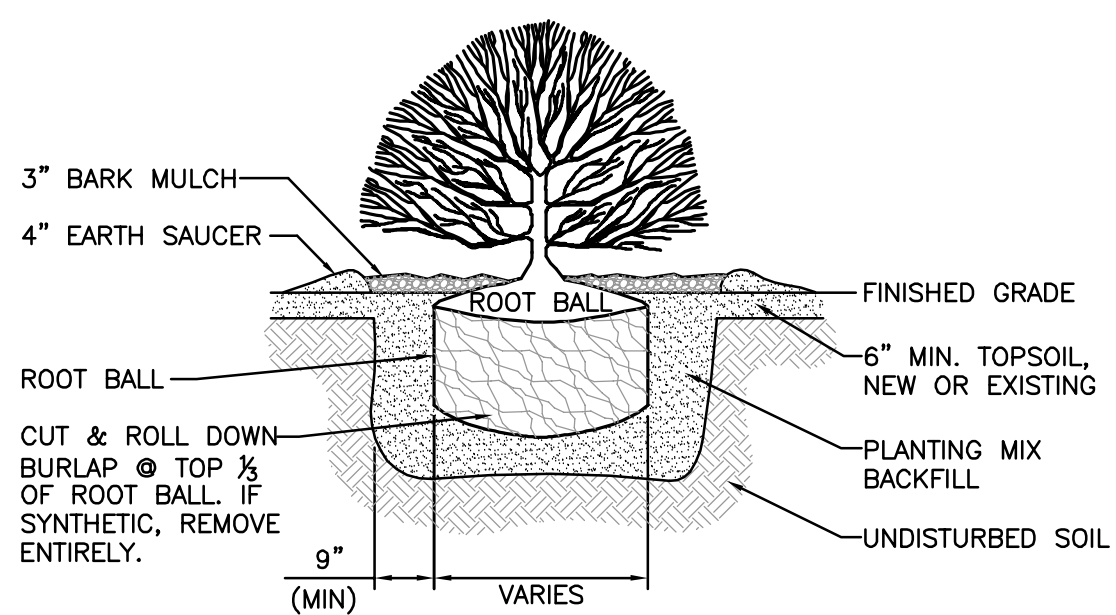
DRAWING TITLE: **DETAILS** SHEET No. **D-3**

NOTE:
ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE.



TREE PLANTING DETAIL
NOT TO SCALE

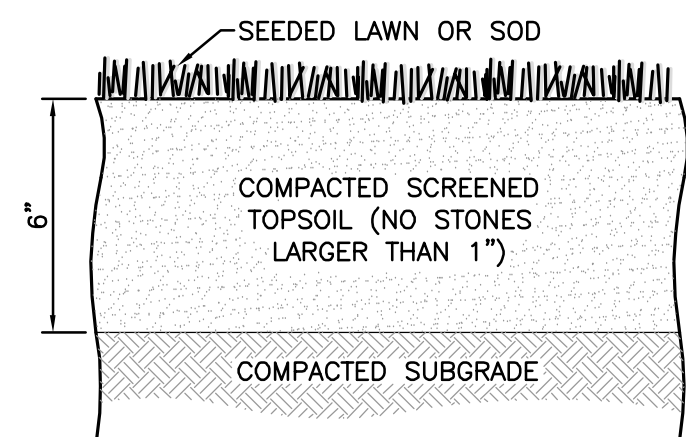
NOTE:
1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING.
2. ALL SHRUBS ARE TO BE PLANTED AT 3'-0" O.C. OR AS SPECIFIED ON THE PLANS.



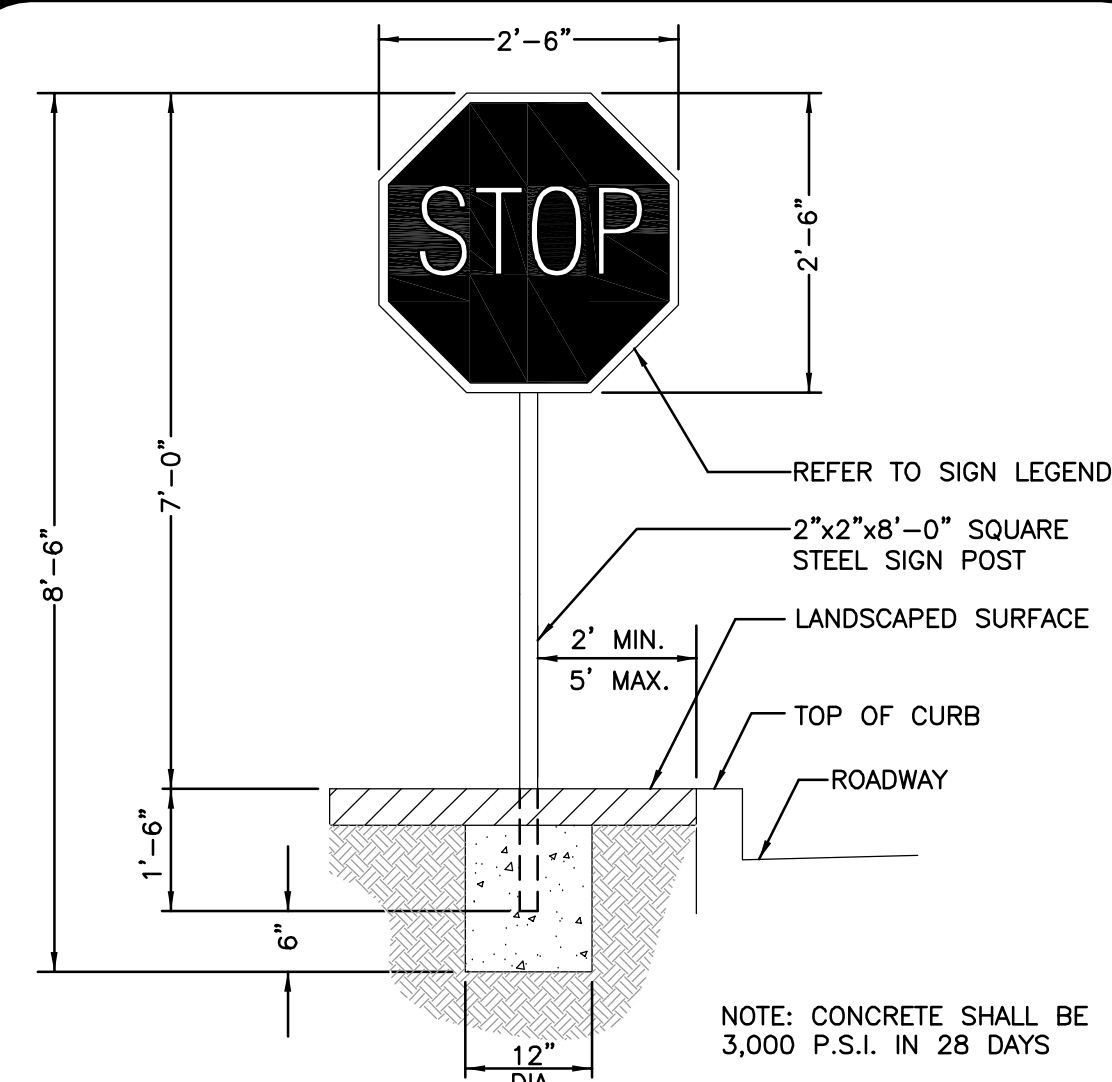
SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:
1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
2. TOPSOIL SHALL BE FERTILE, FRABLE SOIL, TYPICAL OF PRODUCT SOILS IN THE SURROUNDING AREA AND SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1" AND SHALL CONFORM TO THE FOLLOWING GRADATION:

| SIEVE | % PASSING |
|---------|-----------|
| 1" | 100 |
| NO. 4 | 85-100 |
| NO. 40 | 60-85 |
| NO. 100 | 38-60 |
| NO. 200 | 28-40 |



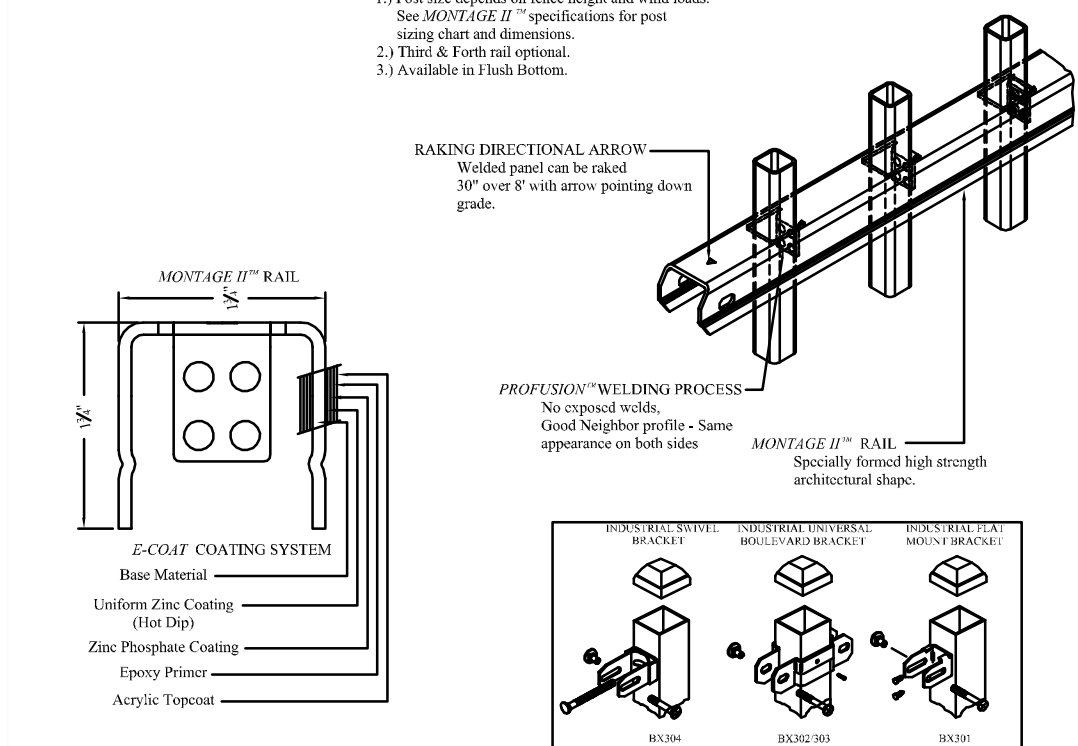
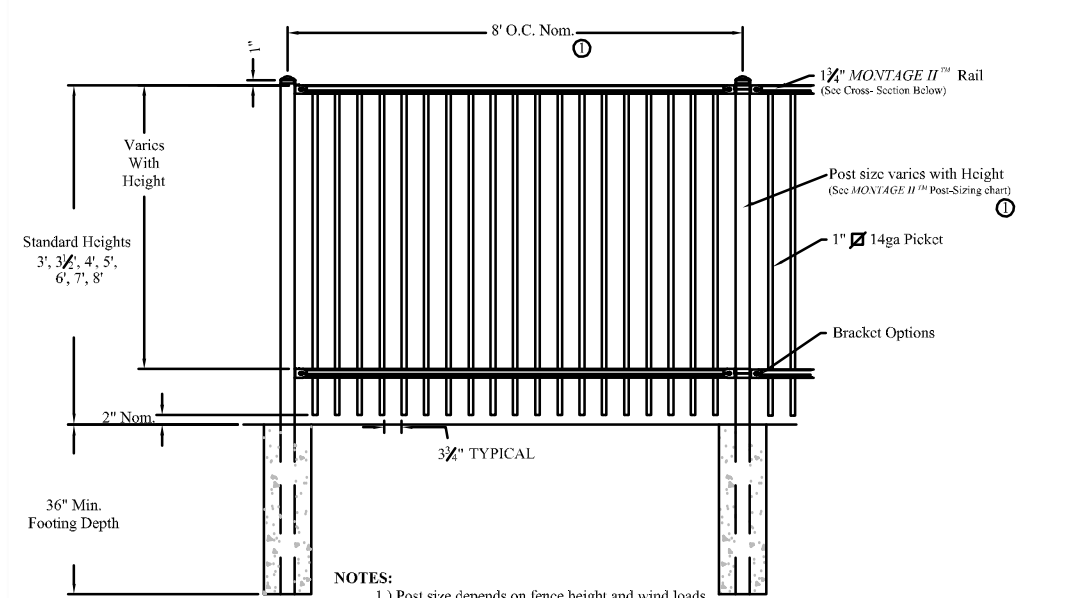
SEEDED OR SODDED LAWN DETAIL
NOT TO SCALE



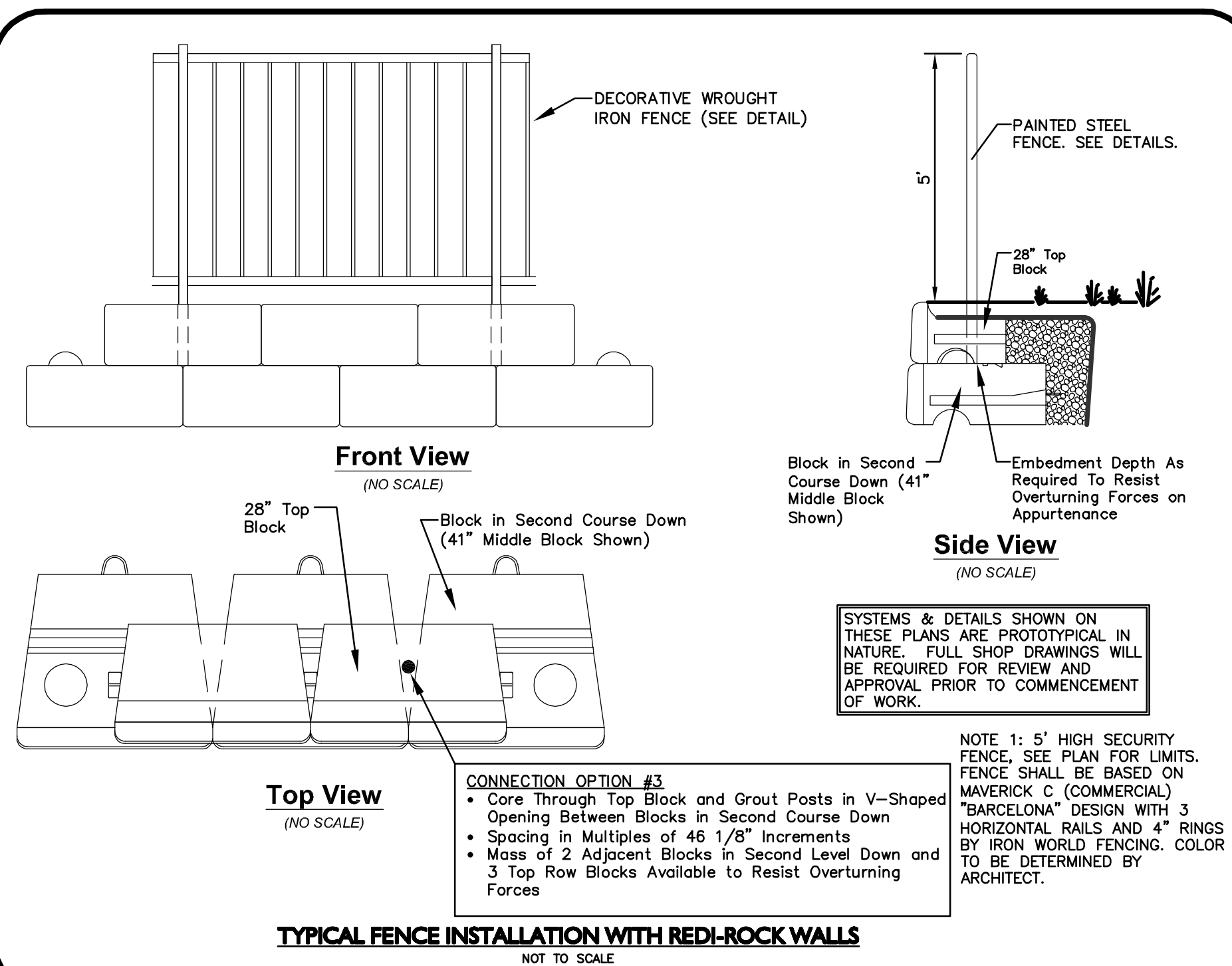
STOP SIGN DETAIL
NOT TO SCALE

| DESC. | SIGN | SIZE | MOUNTING HEIGHT | DESCRIPTION | REFLECTORIZED |
|-----------------|------|-----------|-----------------|----------------|---------------|
| R1-1 | | 30" x 30" | 7' - 0" | WHITE ON RED | YES |
| R5-1 | | 30" x 30" | 7' - 0" | RED ON WHITE | YES |
| R6-1 | | 36" x 12" | 7' - 0" | BLACK ON WHITE | YES |
| D9-6 | | 24" x 24" | 7' - 0" | WHITE ON BLUE | YES |
| D9-6P | | 18" x 9" | BELOW D9-6 | WHITE ON BLUE | YES |
| R8-1 (MODIFIED) | | 12" x 18" | 7' - 0" | RED ON WHITE | NO |

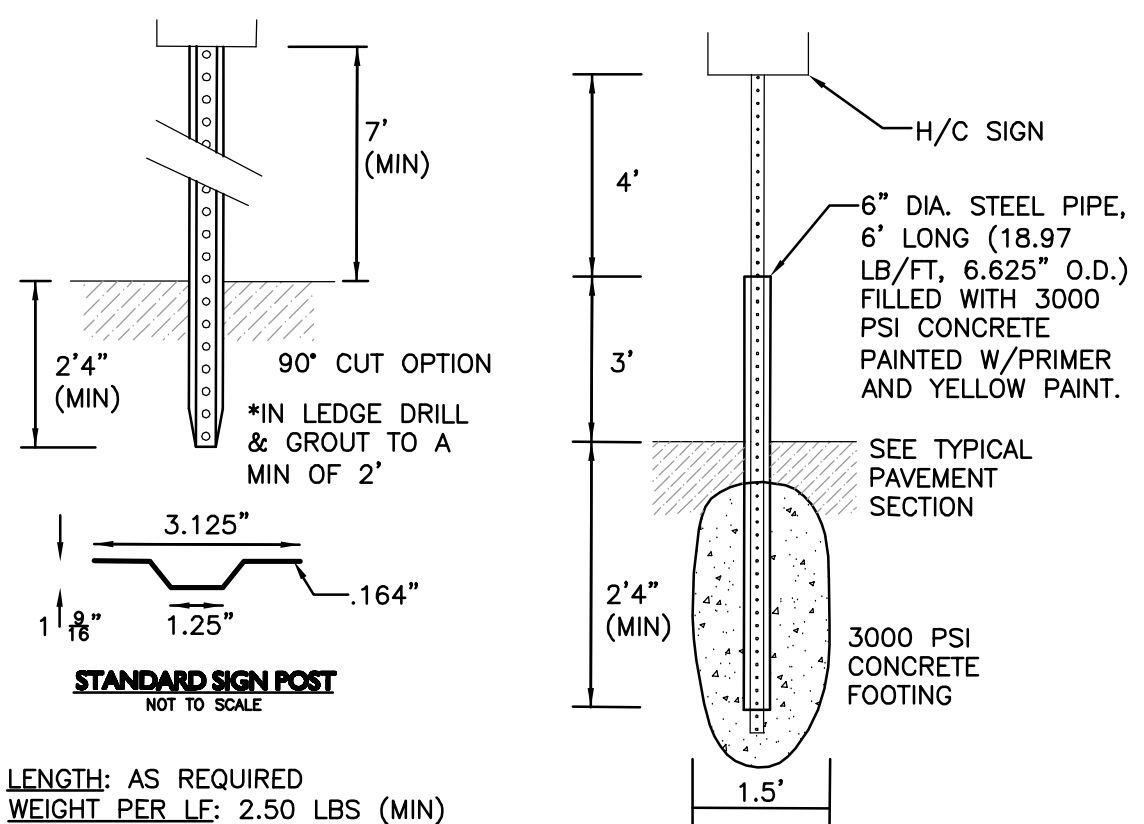
SIGN TABLE
NOT TO SCALE



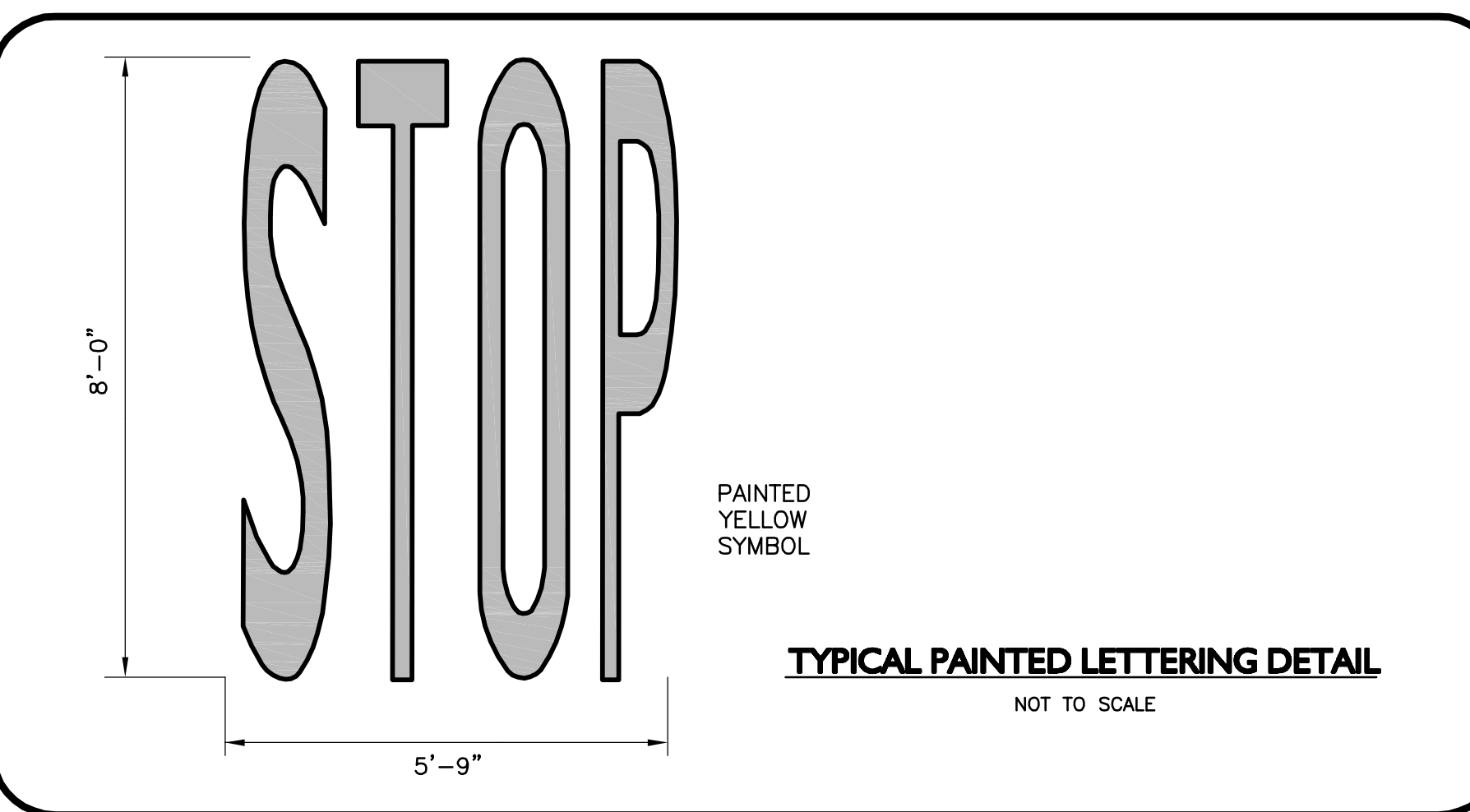
AMERISTAR WROUGHT IRON FENCE OR APPROVED EQUAL
NOT TO SCALE



TYPICAL FENCE INSTALLATION WITH REDI-ROCK WALLS
NOT TO SCALE



SIGN POSTS
NOT TO SCALE



TYPICAL PAINTED LETTERING DETAIL
NOT TO SCALE

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

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ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

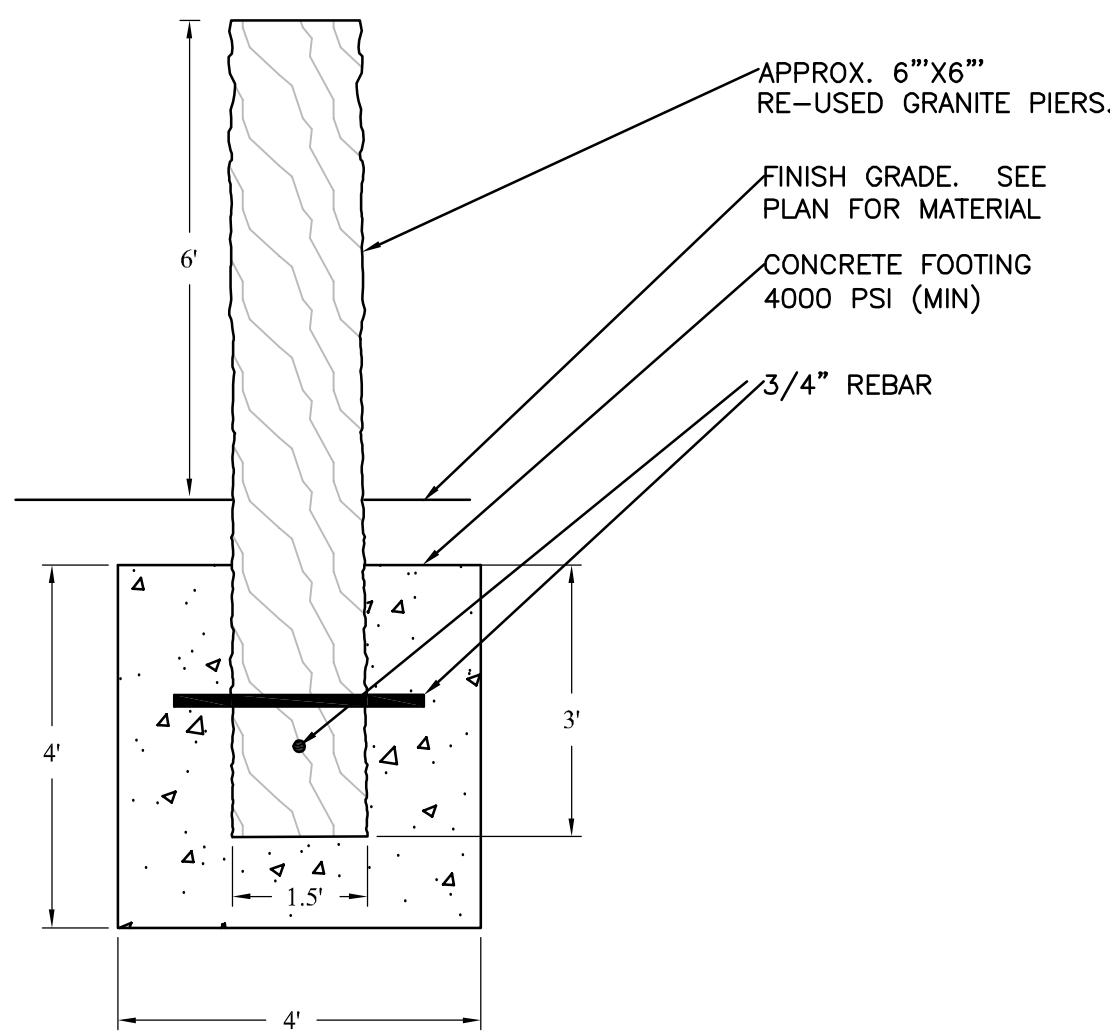
PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
|-------------|----------|-------------|------------|
| SCALE: | 1" = 20' | DWG. NAME: | C - DETAIL |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

PREPARED BY:
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| DETAILS | D-4 |

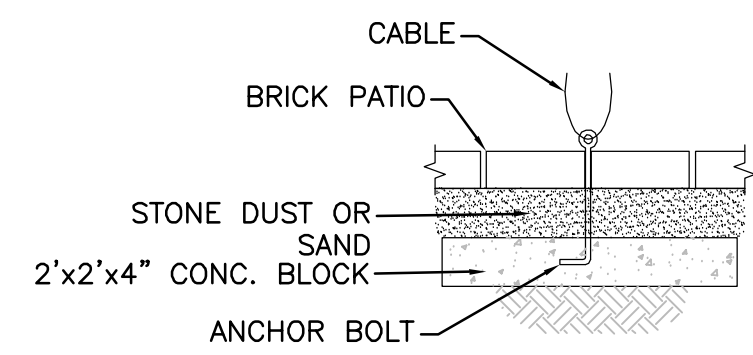


NOTES:
 1. LANDSCAPE ARCHITECT TO APPROVE GRANITE IN FIELD.
 2. PIERS TO BE RE-USED FROM EXISTING FOUNDATION OF OFF-SITE QUARRY SOURCE. SUBMIT SOURCE FOR APPROVAL.

GRANITE PIER
 NOT TO SCALE

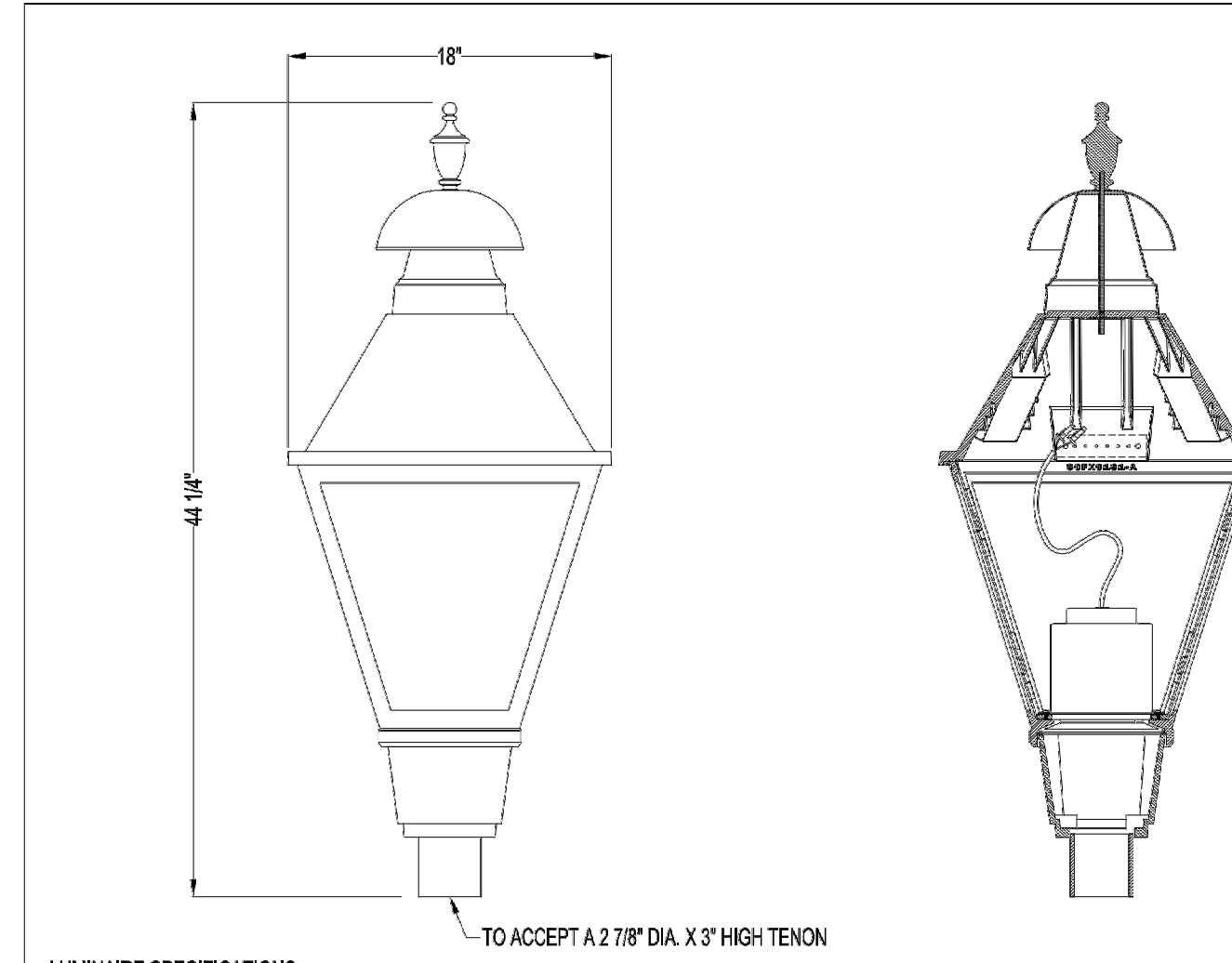


48 Inch Teak Bench
 Quantity = 4



Teak Furniture Anchor Detail
 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL BY ENGINEER PRIOR TO INSTALLATION

TEAK BENCH DETAIL
 NOT TO SCALE



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PROJECTED AREAS AND WEIGHT

| SECTION | PROJ. AREA | Cd | E.P.A. |
|------------------------------|--------------|------|----------------|
| FIXTURE | 2.15 Sq. Ft. | 1.20 | 2.58 Sq. Ft. |
| TOTAL ASSEMBLY WEIGHT | | | 30 LBS. |

LUMINAIRE SPECIFICATIONS

STYLE: CLEARWATER WITH COOLCAST™ HEAT DISSIPATING ROOF AND CLEARWATER FINIAL - LED SYSTEM

HEIGHT: 44 1/4"

WIDTH: 18"

MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95

LAMPING: CREE MCE AND XPE LED - PLEASE ADVISE WATTAGE (LED...) @ WATT MAX

VOLTAGE: ELECTRONIC WIRE AT (EV1) 120 (EV6) 208 (EV2) 240 (EV7) 277

NUMBER OF BOARDS: (X2) 2-BOARDS (X4) 4-BOARDS

PANELS: (Y) ACRYLIC (PLO) CLEAR (SDP) SEEDED (PLF) FROSTED (PRM) PRISMATIC

(P) POLYCARBONATE (PLO) CLEAR (PLF) FROSTED (PBP) PEBBLED

DISTRIBUTION: (HC2) TYPE II - SILVER REFLECTOR (HC3) TYPE III - WHITE REFLECTOR (HC5) TYPE V - NO REFLECTOR

FINISH: PRIME PAINT THEN FINISH SHERWIN WILLIAMS ACROLON - PLEASE ADVISE COLOR

COLOR TEMPERATURE: (WARM) 3000K (NEUTRAL) 4500K (COOL) 6000K

PHOTO CONTROL: OPTIONAL - BUTTON TYPE

Spring City Electrical Mfg. Co.

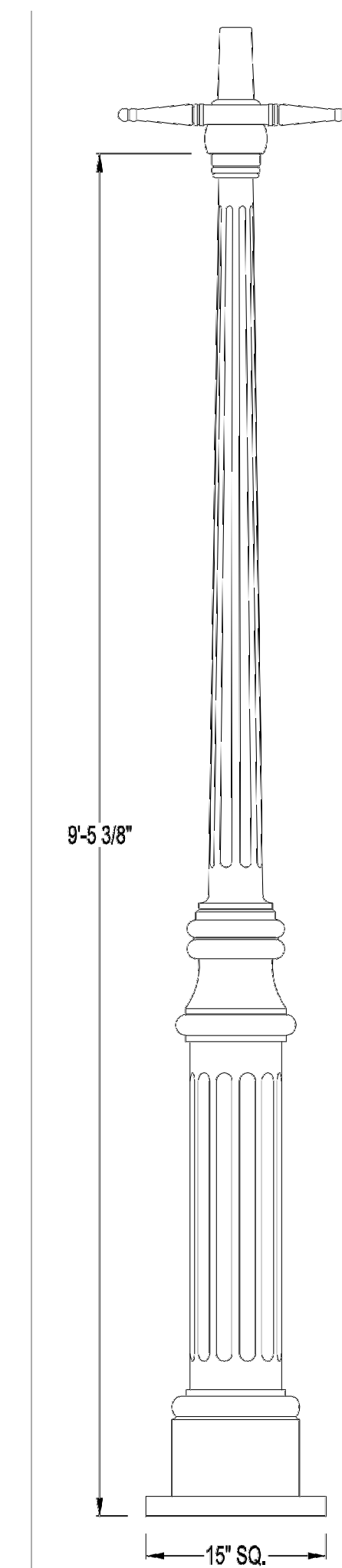
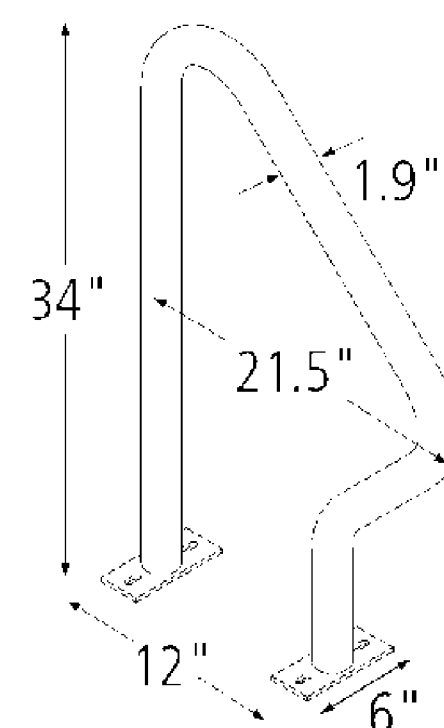
HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475
 PHONE (610) 948-4000 FAX (610) 948-5577
 E-mail ADDRESS: sales@springcity.com

| DESCRIPTION | ALUMINUM_LED_EV_X_..._HC_FCW | PDF |
|-------------|------------------------------|-----|
| | | |



NOTE:
 1. SWERVE RACK BY AMERICAN BICYCLE SECURITY COMPANY.
 WWW.AMERIBIKE.COM (800)245-3723

BICYCLE RACK DETAIL
 NOT TO SCALE



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LAMP POST SPECIFICATIONS

STYLE: HANCOCK/OOB WITH LADDER REST

HEIGHT: 9'-5 3/8"

BASE: 15" SQUARE

MATERIAL: (A) 1 PIECE, CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95

(I) 1 PIECE, CAST IRON PER A.S.T.M. A48-83 CLASS 30

(D) 1 PIECE, CAST DUCTILE IRON PER A536-84 GRADE 65-46-12

FINISH: PRIME PAINT THEN FINISH SHERWIN WILLIAMS ACROLON - PLEASE ADVISE COLOR

ACCESS DOOR: LOCATED IN BASE SECURED WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS

GROUND STUD PROVISIONS: DRILL AND TAP INSIDE WALL OF BASE OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)

ANCHOR BOLTS: (4) 3/4" DIA. X 24" LONG + 3" HOOK, FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT

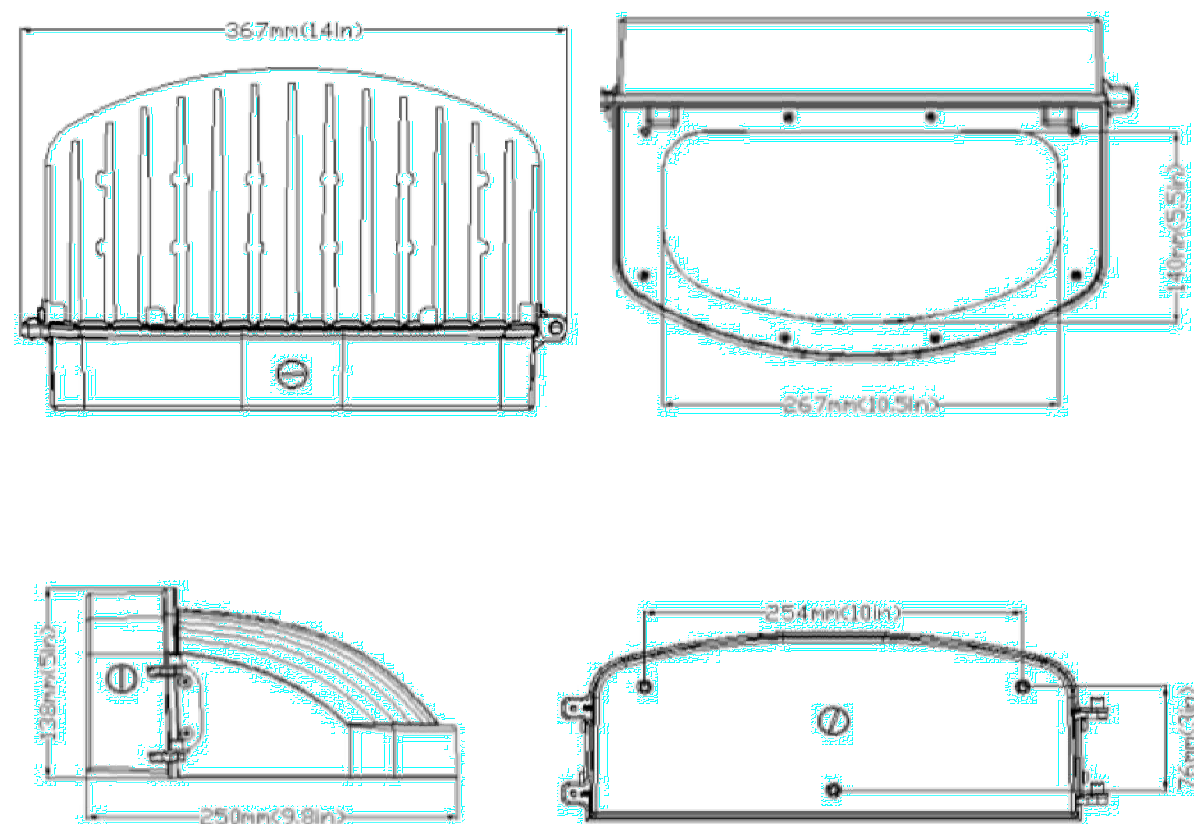
BOLT PROJECTION: 3" REQUIRED

TENON: * DIA. X * HIGH

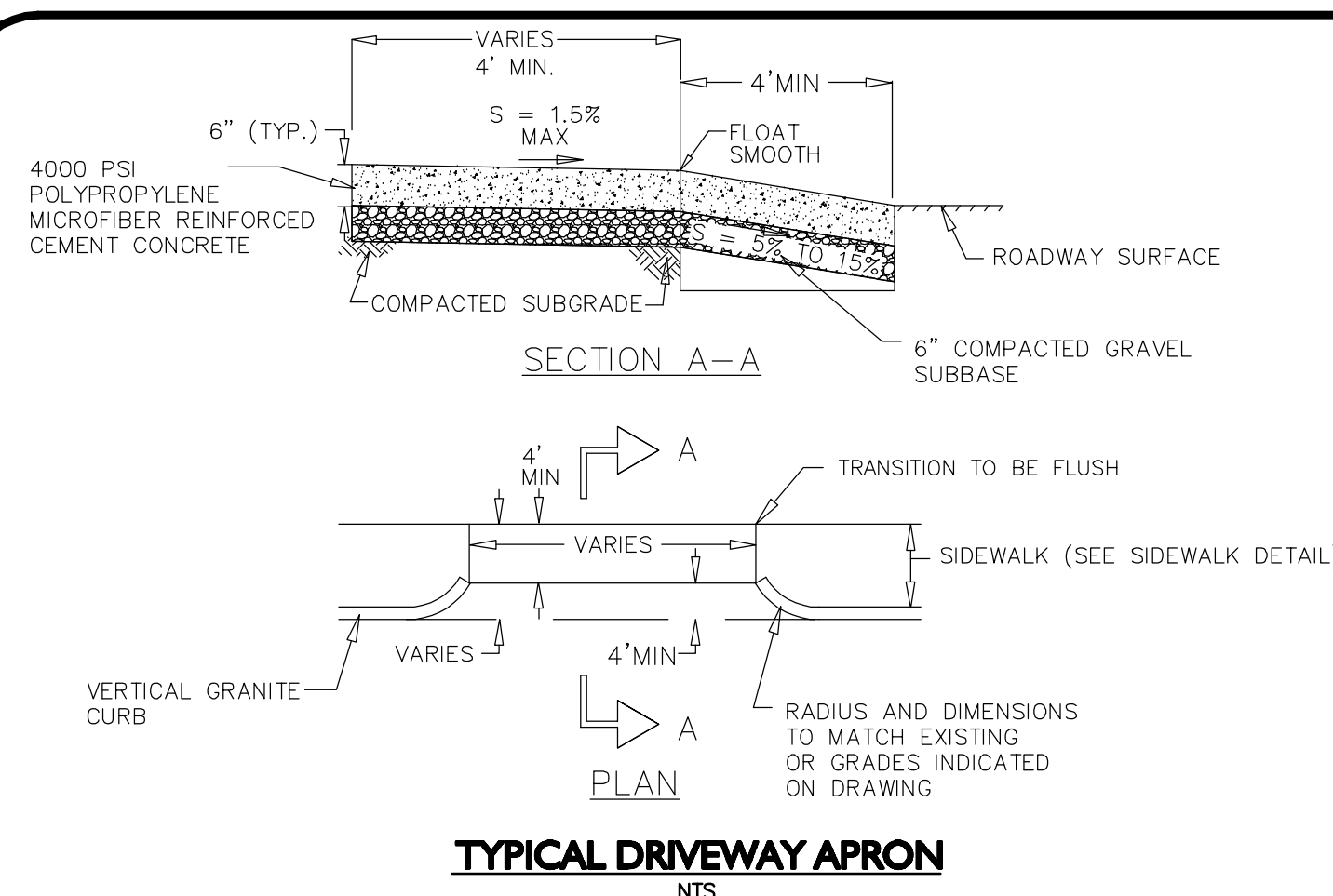
Spring City Electrical Mfg. Co.

HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475
 PHONE (610) 948-4000 FAX (610) 948-5577
 E-mail ADDRESS: sales@springcity.com

| DESCRIPTION | _PSHNB-15-08.45-LR | PDF |
|-------------|--------------------|-----|
| | | |



WALL SCONCE DETAIL
 NOT TO SCALE



DIA
 DeStefano ARCHITECTS

23 High Street
 Portsmouth, NH 03801

P: 603.431.8701
 F: 603.422.8707

FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
 JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 3 | 01-15-14 | REVS PER PEER REVIEW |
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:
ORION UNH LLC
 225 FRANKLIN STREET, 26TH FLOOR
 BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
 25/35 MAIN STREET
 DURHAM, NEW HAMPSHIRE

| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
|-------------|----------|-------------|------------|
| SCALE: | 1" = 20' | DWG. NAME: | C - DETAIL |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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| DRAWING TITLE: | DETAILS | SHEET No. | D-5 |
|----------------|---------|-----------|-----|
| | | | |

PRE-DEVELOPMENT

LEGEND:

- EX. PROPERTY LINE
- PRE-DEV. WATERSHED AREA

D|A
DeStefano Architects

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Portsmouth, NH 03801

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F: 603.422.8707

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CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

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BOSTON, MA 02110

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25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: WATERSHED EX.

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



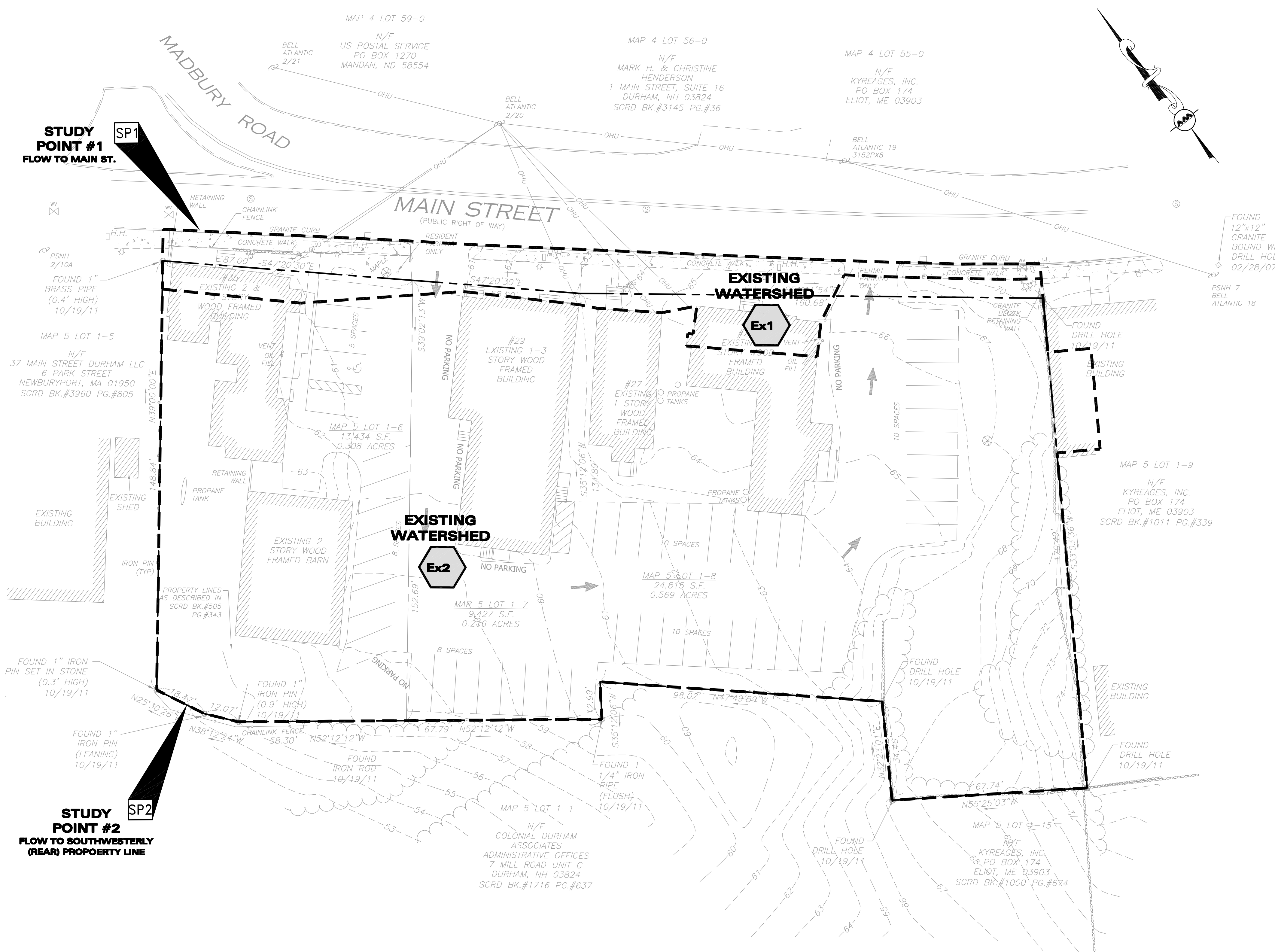
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DRAWING TITLE: **EXISTING WATERSHED PLAN** SHEET No. **EWP**

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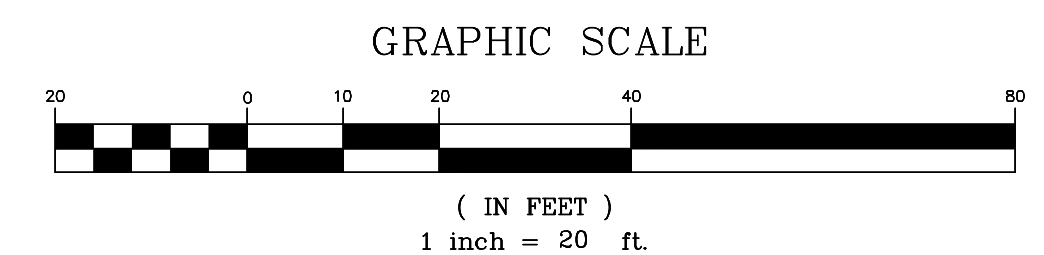


STUDY POINT #1
FLOW TO MAIN ST.

SP1

STUDY POINT #2
FLOW TO SOUTHWESTERLY
(REAR) PROPERTY LINE

SP2



POST DEVELOPMENT

LEGEND:

- PROP. PROPERTY LINE
- POST-DEV. WATERSHED AREA

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FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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| 3 | 01-15-14 | REVS PER PEER REVIEW |
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| | | | |
|-------------|----------|-------------|---------------|
| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
| SCALE: | 1" = 20' | DWG. NAME: | WATERSHED PR. |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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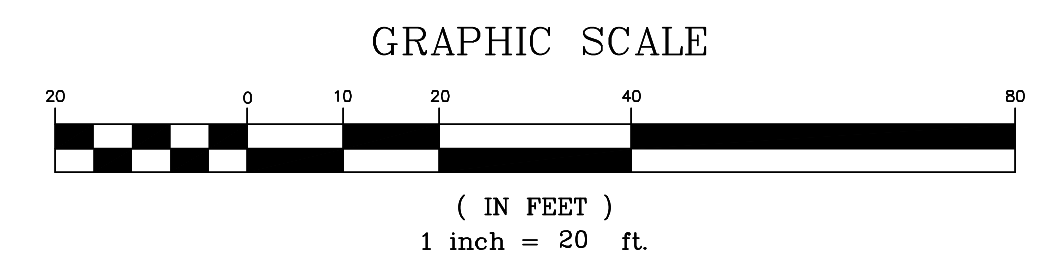
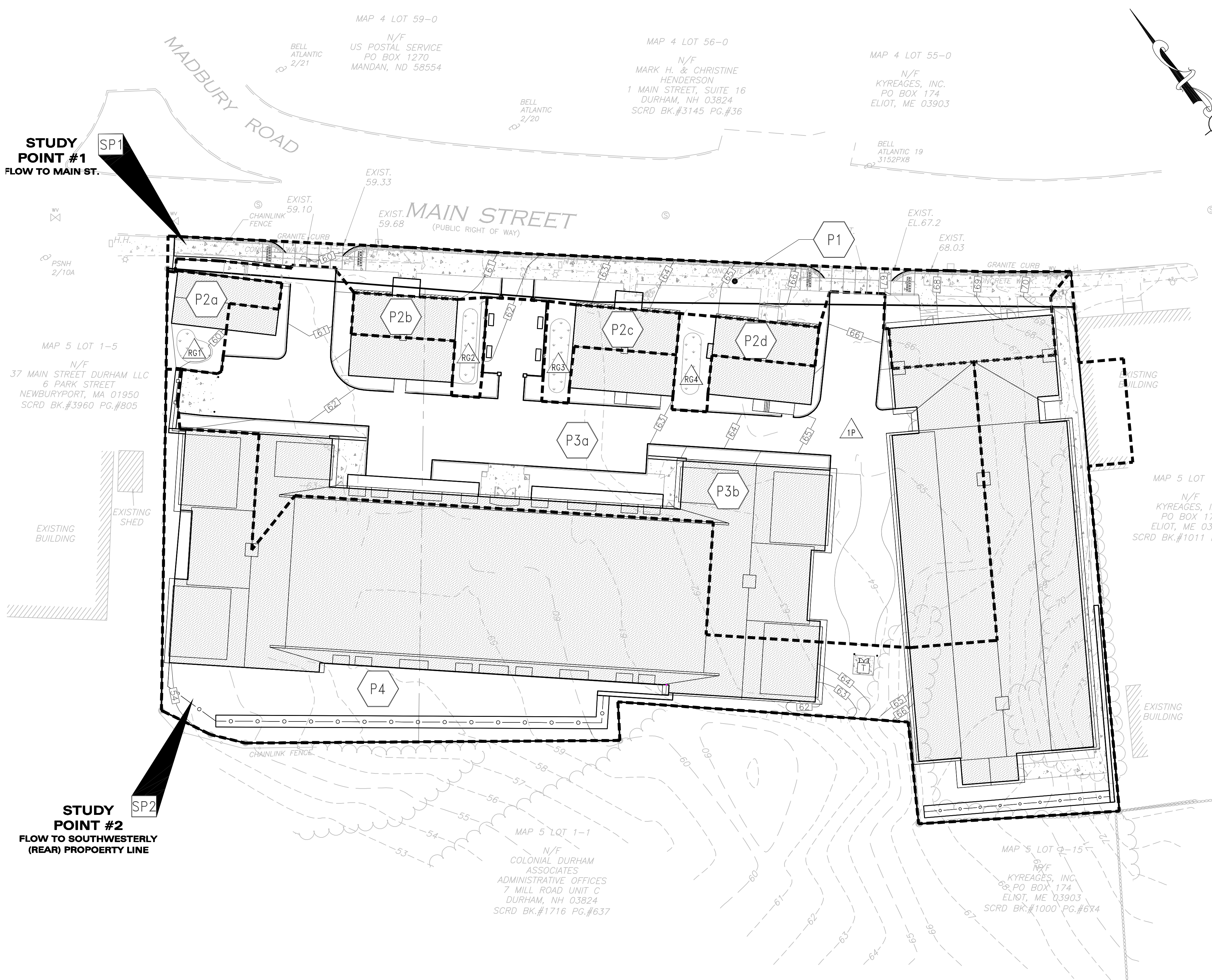


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DRAWING TITLE: **PROPOSED WATERSHED PLAN** SHEET No. **PWP**

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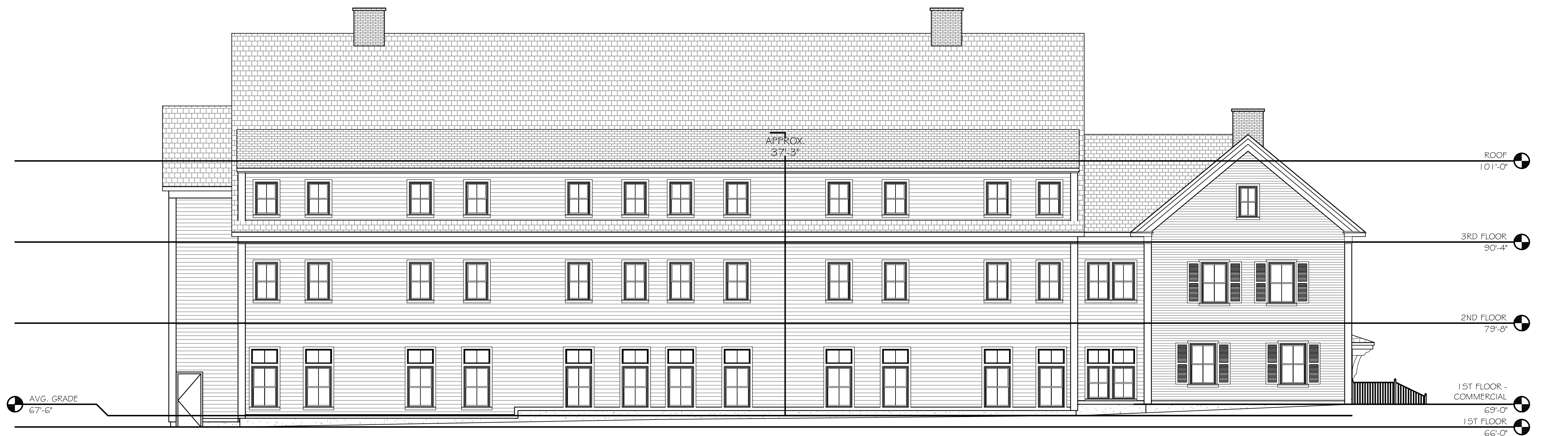




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Building A East Elevation
1/8" = 1'-0" 2



Building A West Elevation
1/8" = 1'-0" 1

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

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225 FRANKLIN STREET, 26TH FLOOR
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PROJECT:
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25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

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| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
| SCALE: | AS SHOWN | DWG. NAME: | ELEVATIONS |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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| DRAWING TITLE: | SHEET No. |
| Building A Elevations | A-2.1 |



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| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
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APPLICANT/OWNER:
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BOSTON, MA 02110

PROJECT:
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25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

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| DRAWING TITLE: | SHEET No. |
| Building A&B Elevations | A-2.2 |

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Building B East Elevation
1/8" = 1'-0" 4



Building A South Elevation
1/8" = 1'-0" 2



Building B West Elevation
1/8" = 1'-0" 3



Building A North Elevation
1/8" = 1'-0" 1



Building B North Elevation 2
1/8" = 1'-0" 2



Building B North Elevation 1
1/8" = 1'-0" 1



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PROJECT NO. 1925-01 DATE: 09-04-13
SCALE: AS SHOWN DWG. NAME: ELEVATIONS
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DRAWING TITLE: **Building B Elevations** SHEET No. **A-2.3**



Building B South Elevation 2
1/8" = 1'-0" 2



Building B South Elevation 1
1/8" = 1'-0" 1

DIA
DeStefano Architects

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Portsmouth, NH 03801

P: 603.431.8701
F: 603.422.8707

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JANUARY 15, 2014

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DURHAM, NEW HAMPSHIRE

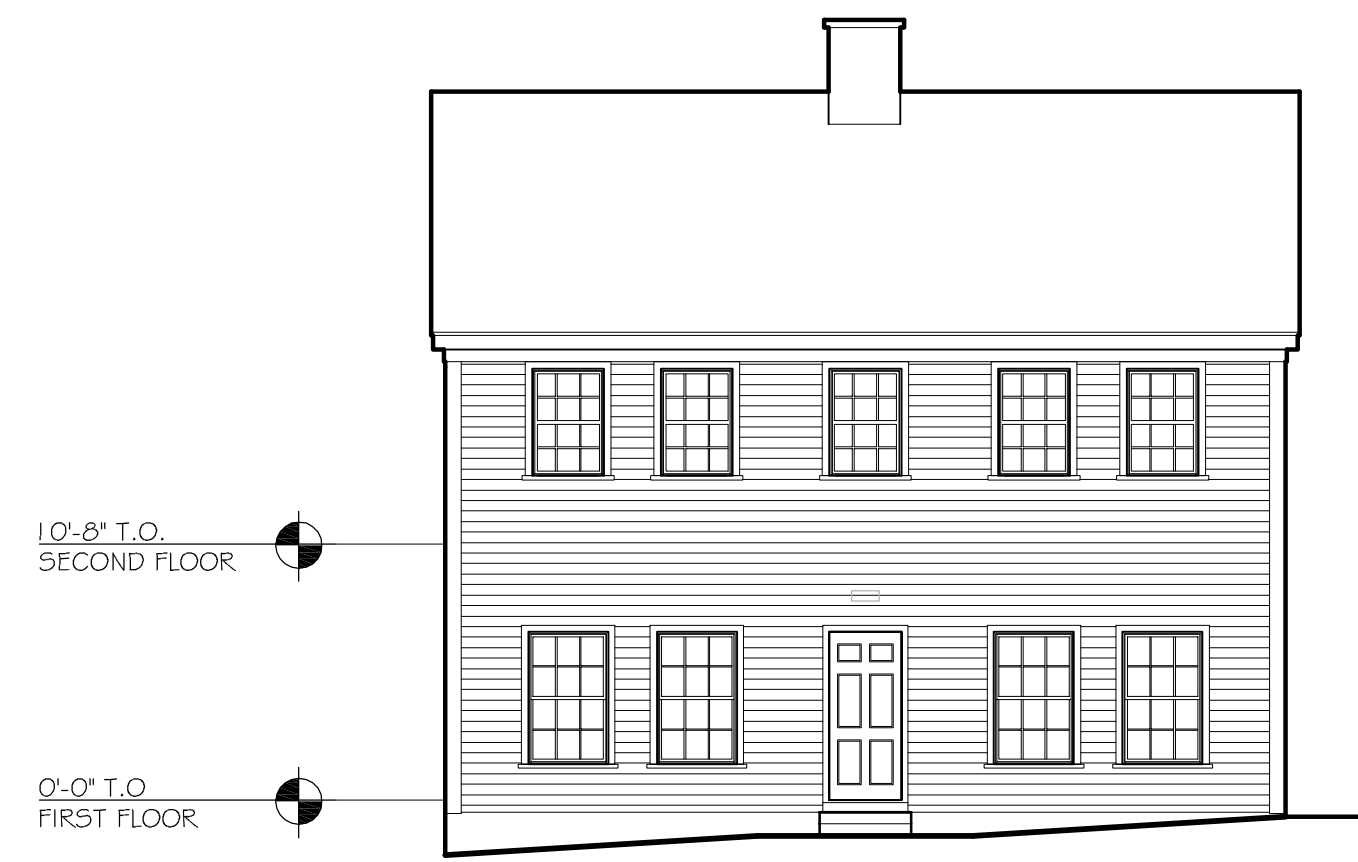
| | | | |
|-------------|----------|-------------|------------|
| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
| SCALE: | AS SHOWN | DWG. NAME: | ELEVATIONS |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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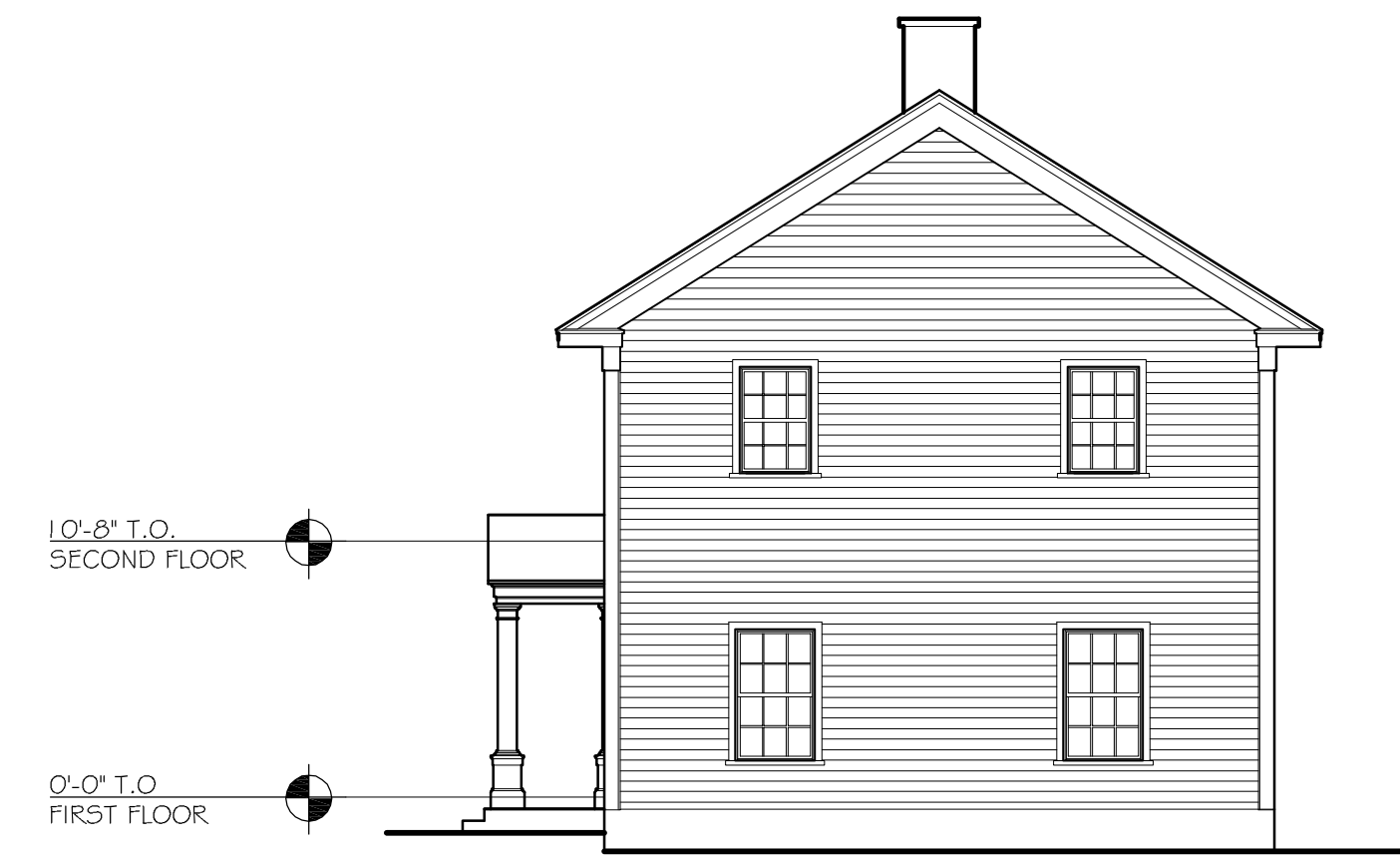
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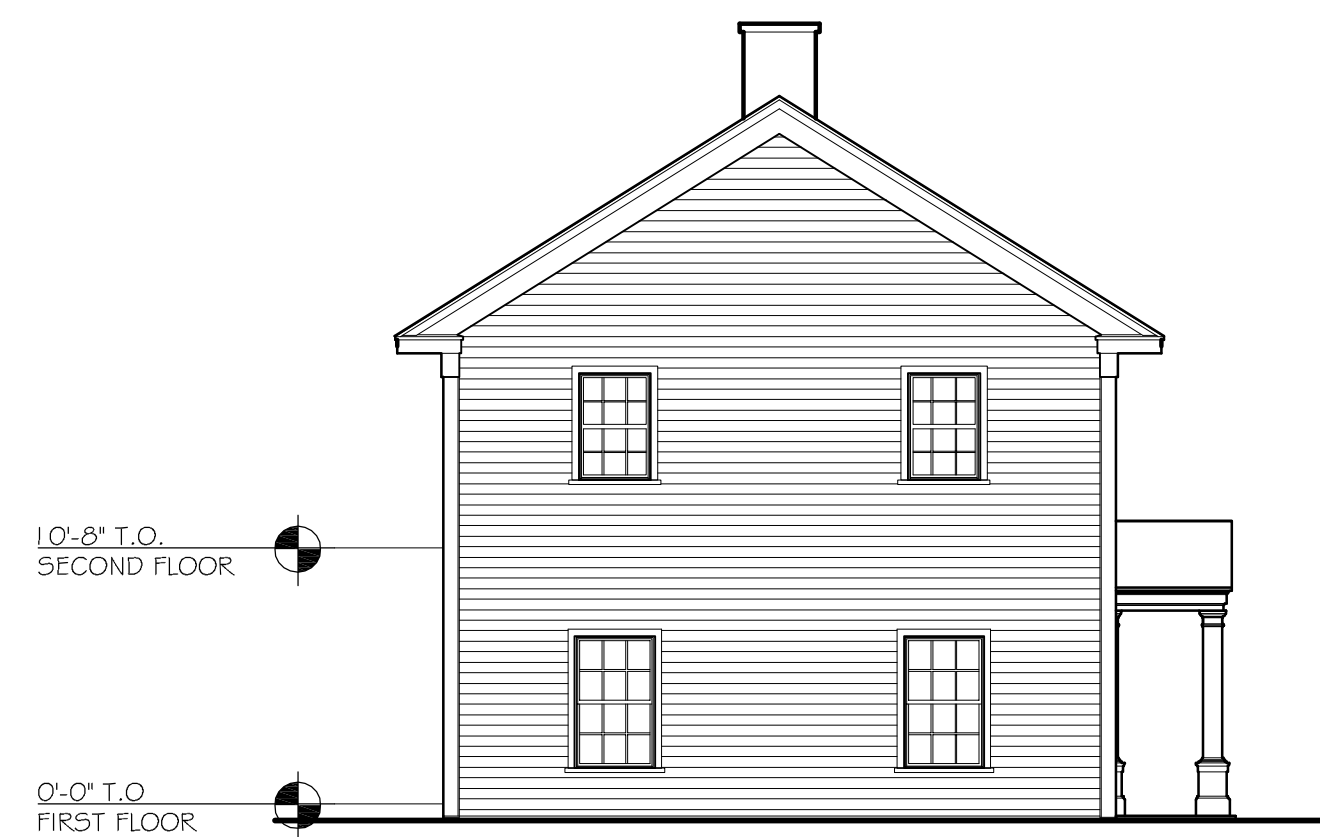
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|------------------------------|--------------|
| DRAWING TITLE: | SHEET No. |
| Building B Elevations | A-2.4 |



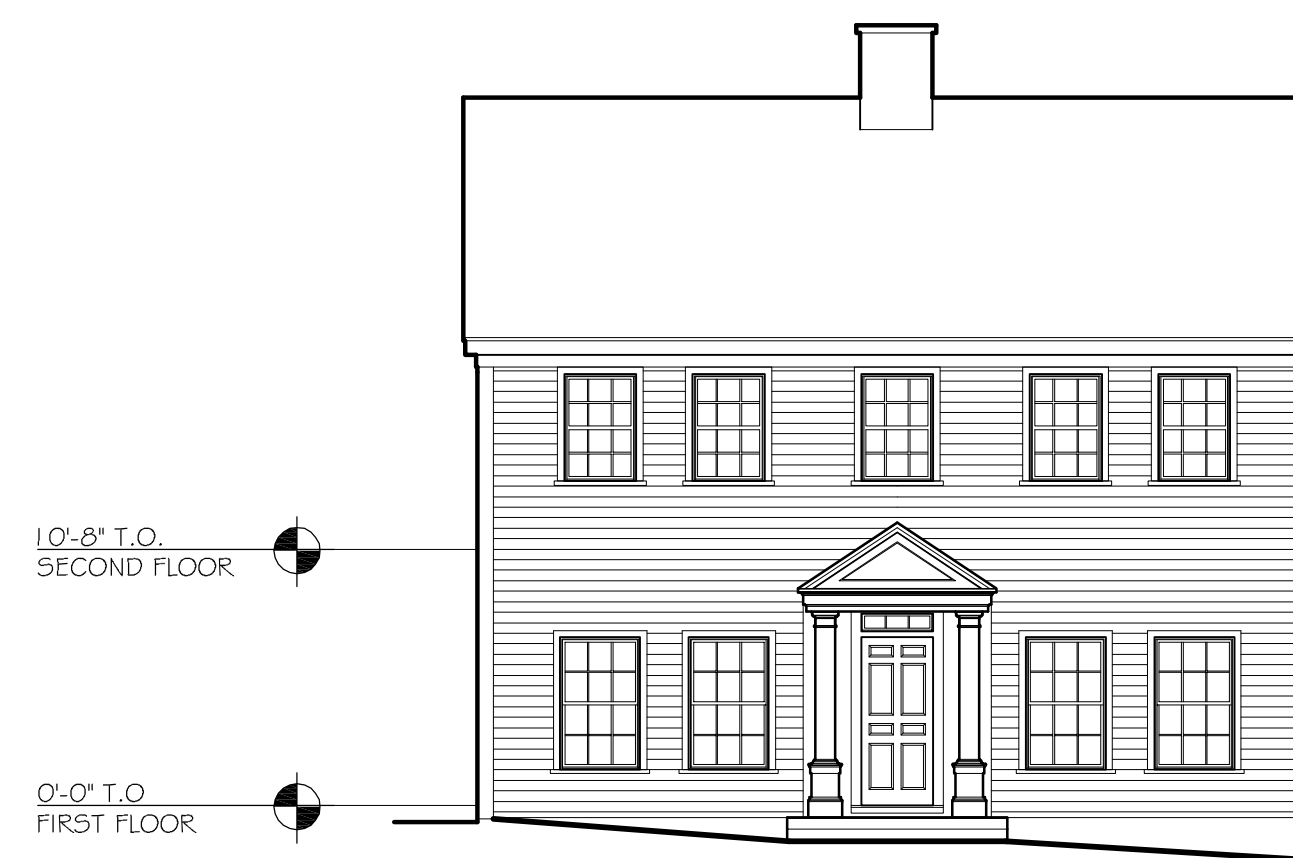
Building C/D Typical South Elevation
1/8" = 1'-0" 4



Building C/D Typical West Elevation
1/8" = 1'-0" 2



Building C/D Typical East Elevation
1/8" = 1'-0" 3



Building C/D Typical North Elevation
1/8" = 1'-0" 1

ISSUED FOR REVIEW
JANUARY 16, 2014

| REV | DATE | DESCRIPTION |
|-----|----------|------------------------|
| 2 | 12-20-13 | REVS PER TOWN COMMENTS |
| 1 | 10-25-13 | LIGHT WELLS / SIDEWALK |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

| | | | |
|-------------|----------|-------------|------------|
| PROJECT NO. | 1925-01 | DATE: | 09-04-13 |
| SCALE: | 1" = 20' | DWG. NAME: | ELEVATIONS |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

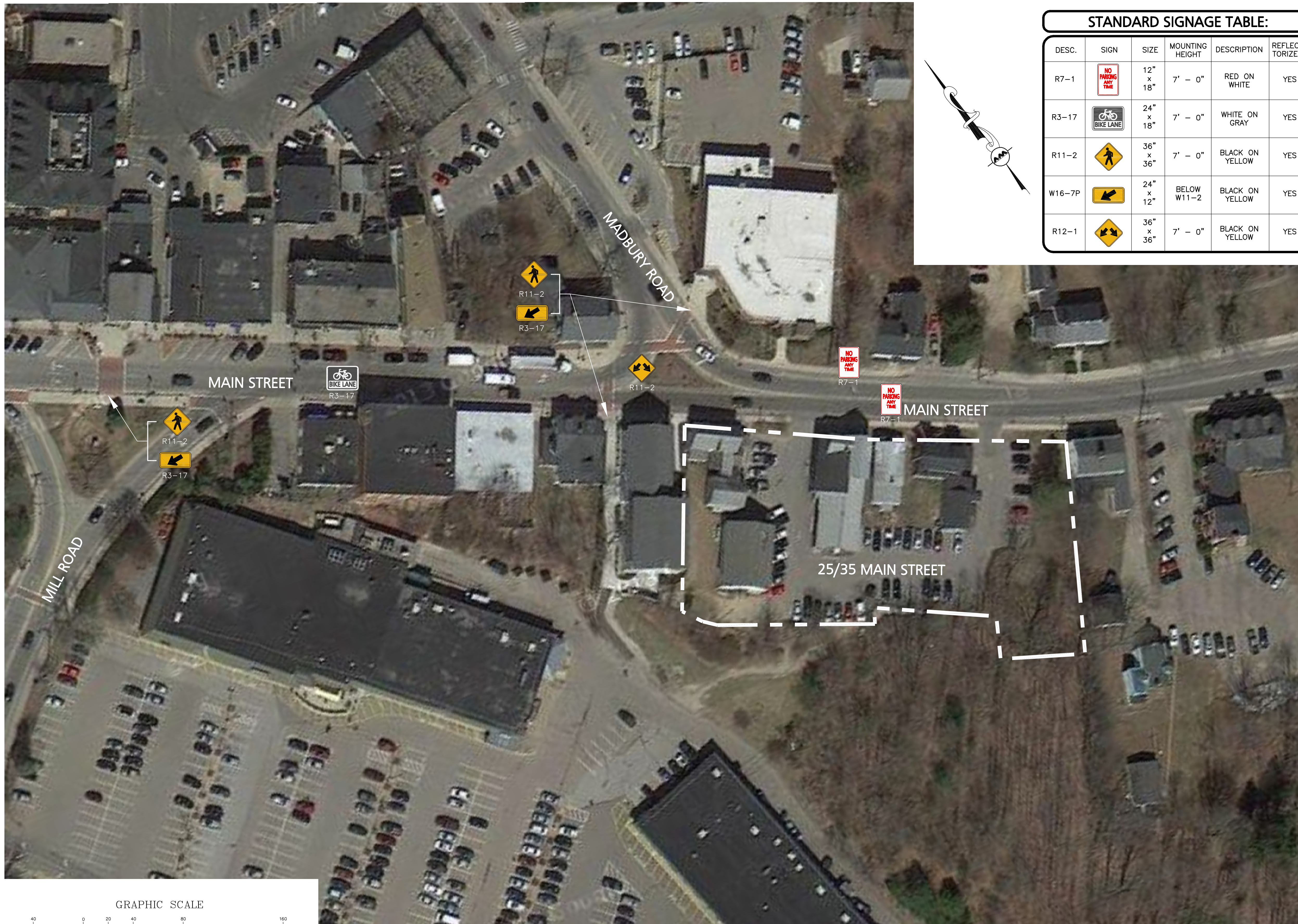
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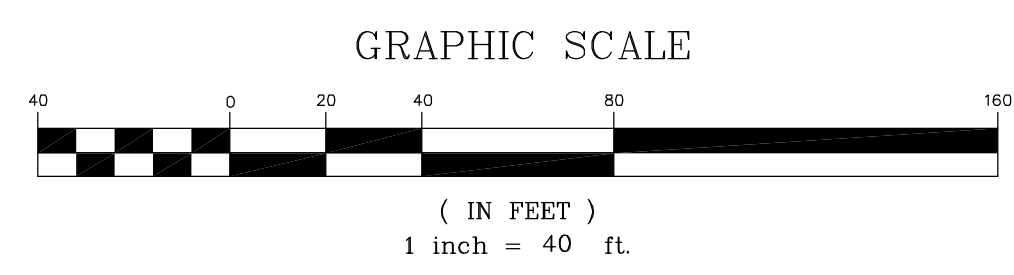
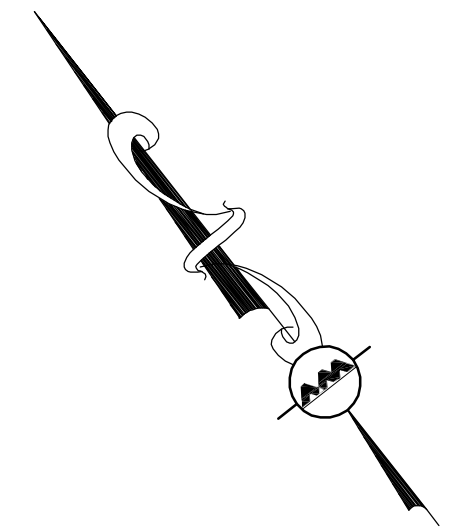
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MANCHESTER, NH 03101
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| | |
|------------------------------------|--------------|
| DRAWING TITLE: | SHEET No. |
| BUILDING C&D ELEVATIONS | A-2.5 |



| STANDARD SIGNAGE TABLE: | | | | | |
|-------------------------|------|-----------|-----------------|-----------------|---------------|
| DESC. | SIGN | SIZE | MOUNTING HEIGHT | DESCRIPTION | REFLECTORIZED |
| R7-1 | | 12" x 18" | 7' - 0" | RED ON WHITE | YES |
| R3-17 | | 24" x 18" | 7' - 0" | WHITE ON GRAY | YES |
| R11-2 | | 36" x 36" | 7' - 0" | BLACK ON YELLOW | YES |
| W16-7P | | 24" x 12" | BELOW W11-2 | BLACK ON YELLOW | YES |
| R12-1 | | 36" x 36" | 7' - 0" | BLACK ON YELLOW | YES |



NOTE:
SIGNAGE RECOMMENDATIONS FROM ACCESS AND CIRCULATION ASSESSMENT BY VANASSE & ASSOCIATES, DATED OCTOBER 31, 2013.

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
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APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION
STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 01-15-14

SCALE: 1" = 40' DWG. NAME: TRAFFIC

DRAFTED BY: WBL CHECKED BY: RPC

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DRAWING TITLE: TRAFFIC RECOMMENDATIONS SHEET No. TR-1

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CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE



| REV | DATE | DESCRIPTION |
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| | | |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
ORION STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 10-25-13

SCALE: 1" = 20' DWG. NAME: LIGHTING

DRAFTED BY: PB CHECKED BY: RPC

PREPARED BY:

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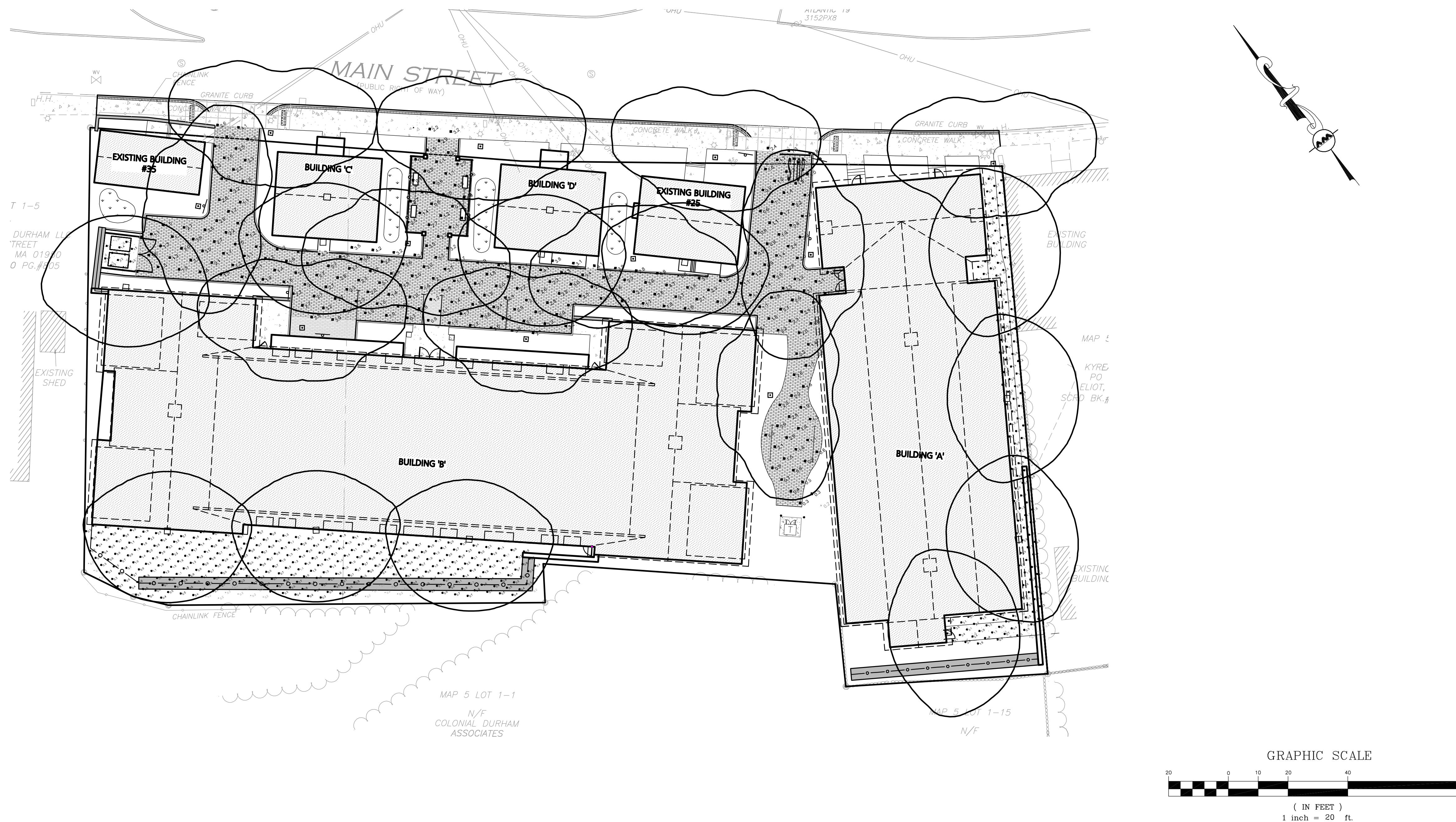
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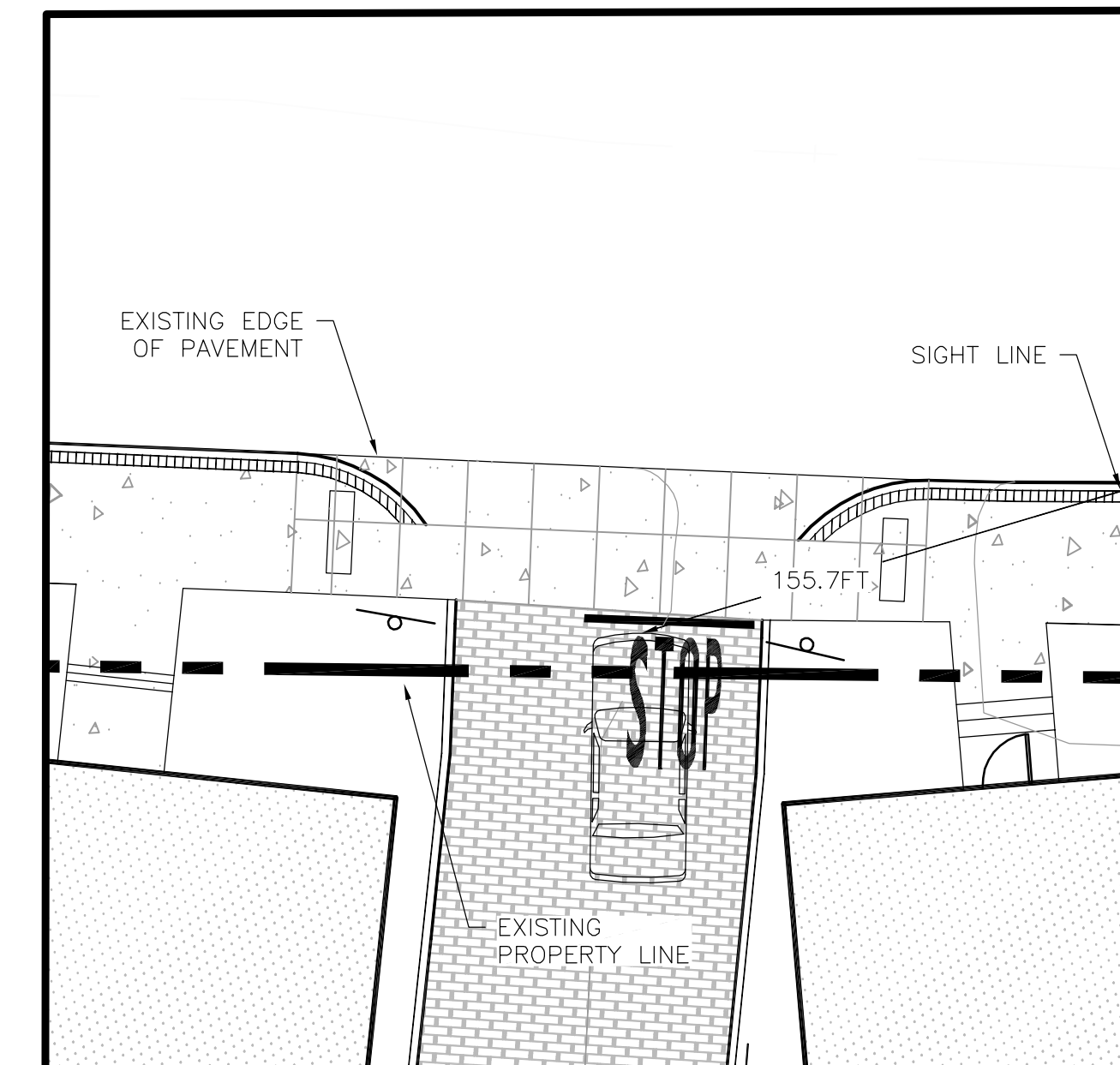
DRAWING TITLE: SHEET No.

LIGHTING PLAN L-1

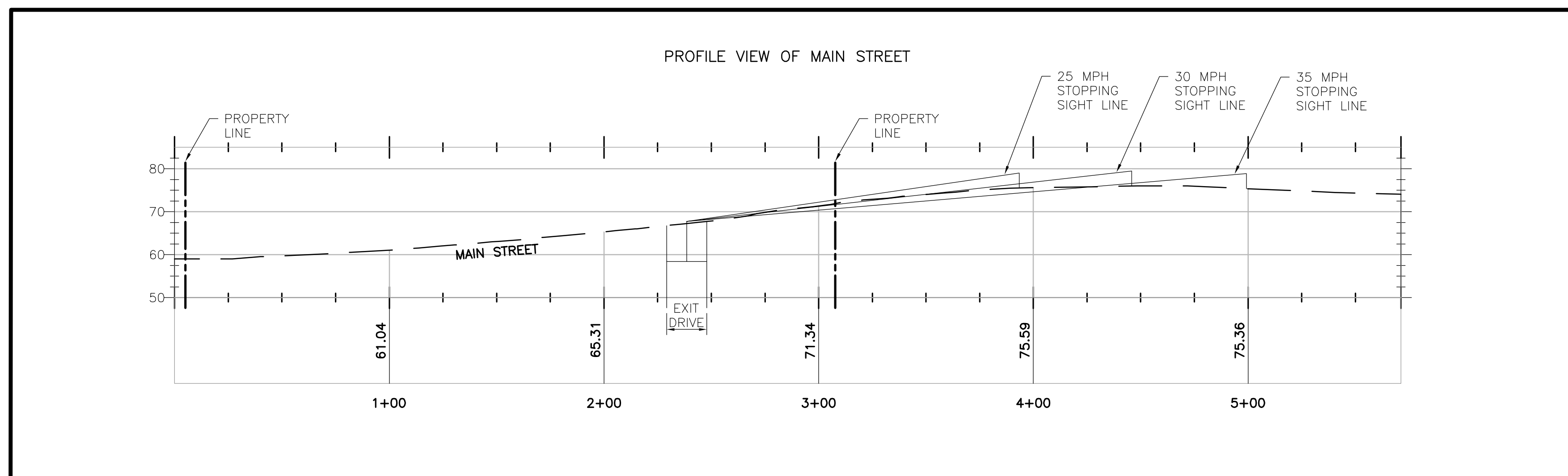
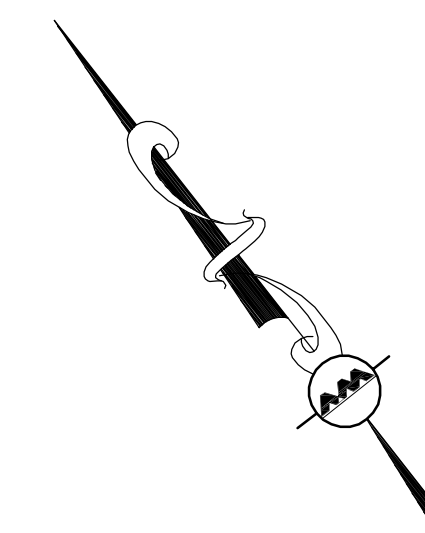
| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF | Watts |
|--------|-------|-----|--------------------------------------|--|---|---|----------|------|-------|
| □ | A | 11 | Spring City "Clearwater" 55 watt LED | CLW-LE55-X2-45-CR3-YSDP | LED 1W Cool White (350mA) (core only) | CLW-LE100-X2-45-CR3-YSDP.ies | Absolute | 0.45 | 1 |
| □ | B | 11 | LeoTek "Wall Sconce" 36 watt LED | CAST ALUMINUM HEATSINK HOUSING, CLEAR PLASTIC ENCLOSURE. | (36) WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW | LWS1-036-MV-CW-3M-XX_LTL_16606_10-06-2009.IES | Absolute | 0.81 | 36.6 |

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|------------------------|--------|--------|--------|--------|---------|---------|
| Area Behind Building A | + | 1.5 fc | 3.6 fc | 0.2 fc | 18.0:1 | 7.5:1 |
| Area Behind Building B | + | 1.0 fc | 3.5 fc | 0.2 fc | 17.5:1 | 5.0:1 |
| Dumpster Area | + | 1.8 fc | 3.0 fc | 1.0 fc | 3.0:1 | 1.8:1 |
| Site Lighting | + | 2.1 fc | 5.8 fc | 0.2 fc | 29.0:1 | 10.5:1 |

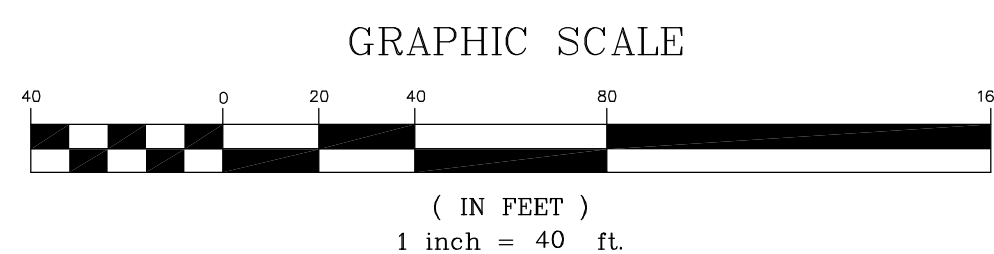




EXIT DRIVE ENLARGED PLAN
SCALE: 1"=10'



MAIN STREET - PROFILE VIEW
SCALE: H - 1"=40' / V - 1"=20'



- NOTES:
1. TOPOGRAPHY DATA WITHIN THE ROADWAY OBTAINED FROM GOOGLE EARTH.
 2. STOPPING SIGHT LINE IS MEASURED FROM 3.5 FEET ABOVE GRADE TO A 0.5 FEET HIGH OBJECT IN THE ROADWAY.

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
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| | | |

APPLICANT/OWNER:
ORION UNH LLC
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
**ORION
STUDENT HOUSING
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE**

| | | | |
|-------------|----------|-------------|----------|
| PROJECT NO. | 1925-01 | DATE: | 01-15-14 |
| SCALE: | 1" = 40' | DWG. NAME: | TRAFFIC |
| DRAFTED BY: | WBL | CHECKED BY: | RPC |

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|--|--------------------------|
| DRAWING TITLE: STOPPING SIGHT DISTANCE | SHEET No. TR-2 |
|--|--------------------------|

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CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER.

MICHAEL BEHRENDT DATE

ISSUED FOR REVIEW
JANUARY 15, 2014

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110

PROJECT:
**ORION
STUDENT HOUSING**
25/35 MAIN STREET
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: TRUCK TURN

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



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DRAWING TITLE: SHEET No.

**GARBAGE TRUCK
TURN PATH** TP-1

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