

**LOCUS MAP**  
NOT TO SCALE

# SITE DEVELOPMENT PLANS FOR ORION STUDENT HOUSING

## 25, 27, 29 & 35 MAIN STREET DURHAM, NH

**OWNER/APPLICANT:**  
ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

**SITE ENGINEERS:**  
ALLEN & MAJOR ASSOCIATES, INC.  
250 COMMERCIAL STREET  
SUITE 1001  
MANCHESTER, NH 03101

**ARCHITECT:**  
DESTEFANO ARCHITECTS  
23 HIGH STREET  
PORTSMOUTH, NH 03801

**ABUTTERS:**  
TAX MAP 5 LOT 1-5  
37 MAIN STREET DURHAM LLC  
6 PARK STREET  
NEWBURYPORT, MA 01950

TAX MAP 5 LOT 1-9  
KYREAGES INC  
P O BOX 174  
ELIOT, ME 03903

TAX MAP 5 LOT 1-15  
KYREAGES INC  
P O BOX 174  
ELIOT, ME 03903

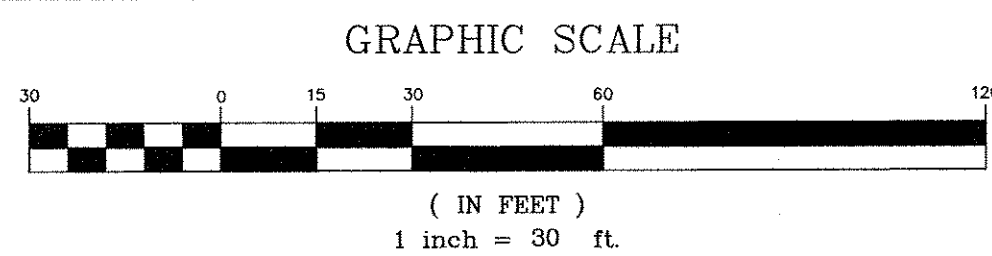
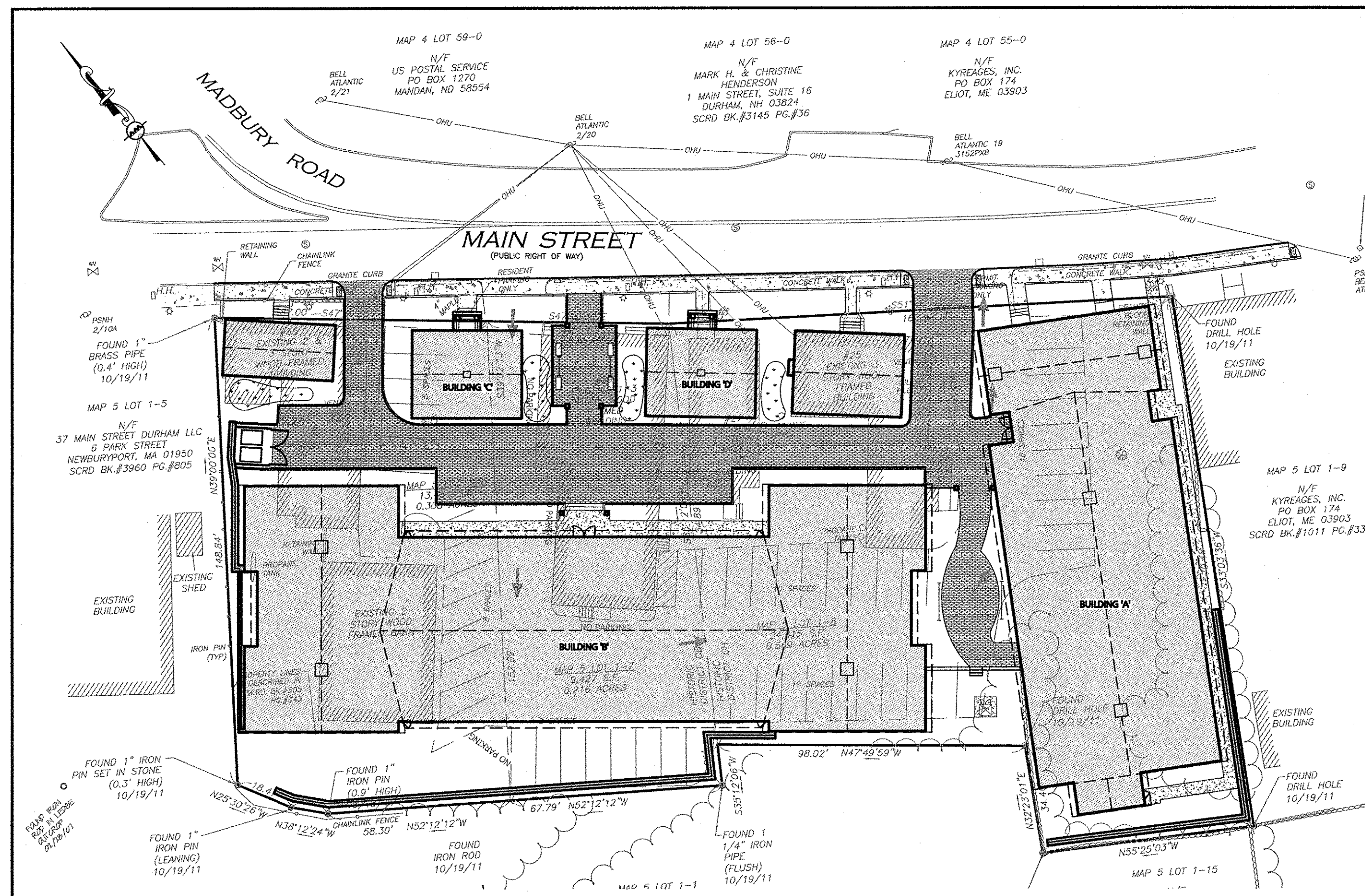
TAX MAP 5 LOT 1-1A/1B  
COLONIAL DURHAM ASSOCIATES  
ADMINISTRATIVE OFFICES  
7 MILL ROAD UNIT C  
DURHAM, NH 03824

TAX MAP 4 LOT 55-0  
KYREAGES INC  
P O BOX 174  
ELIOT, ME 03903

TAX MAP 4 LOT 56-0  
HENDERSON, CHRISTINE &  
HENDERSON, MARK H  
1 MAIN STREET, SUITE 16  
DURHAM, NH 03824

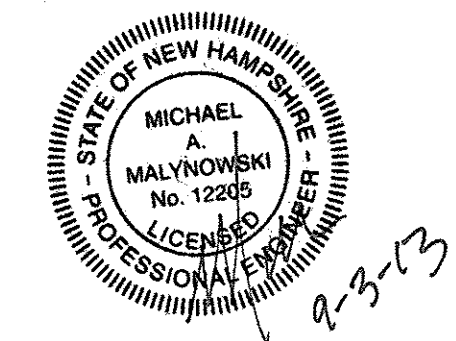
TAX MAP 4 LOT 59-0  
US POSTAL SERVICE  
P.O. BOX 1270  
MANDAN, ND 58554

TAX MAP 4 LOT 1-0  
HENDERSON, EARLE H & MARK H  
1 MAIN STREET, SUITE 16  
DURHAM, NH 03824



PREPARED BY:  
**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
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LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS PLAN	EX-1	Feb. 2, 2012	-
LAYOUT & MATERIALS PLAN	C-1	Sept. 4, 2013	-
GRADING & DRAINAGE PLAN	C-2	Sept. 4, 2013	-
UTILITY PLAN	C-3	Sept. 4, 2013	-
LANDSCAPE PLAN	C-4	Sept. 4, 2013	-
STORMWATER POLLUTION PREVENTION PLAN	SWPPP1	Sept. 4, 2013	-
STORMWATER POLLUTION PREVENTION PLAN	SWPPP2	Sept. 4, 2013	-
STORMWATER POLLUTION PREVENTION DETAILS	SWPPP3	Sept. 4, 2013	-
DETAILS	D-1	Sept. 4, 2013	-
DETAILS	D-2	Sept. 4, 2013	-
DETAILS	D-3	Sept. 4, 2013	-
DETAILS	D-4	Sept. 4, 2013	-
DETAILS	D-5	Sept. 4, 2013	-
EXIST. WATERSHED PLAN	EWP	Sept. 4, 2013	-
PROP. WATERSHED PLAN	PWP	Sept. 4, 2013	-
BUILDING A ELEVATIONS	A-2.1	Sept. 4, 2013	-
BUILDING A&B ELEVATIONS	A-2.2	Sept. 4, 2013	-
BUILDING B ELEVATIONS	A-2.3	Sept. 4, 2013	-
BUILDING B ELEVATIONS	A-2.4	Sept. 4, 2013	-
BUILDING C&D ELEVATIONS	A-2.5	Sept. 4, 2013	-



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

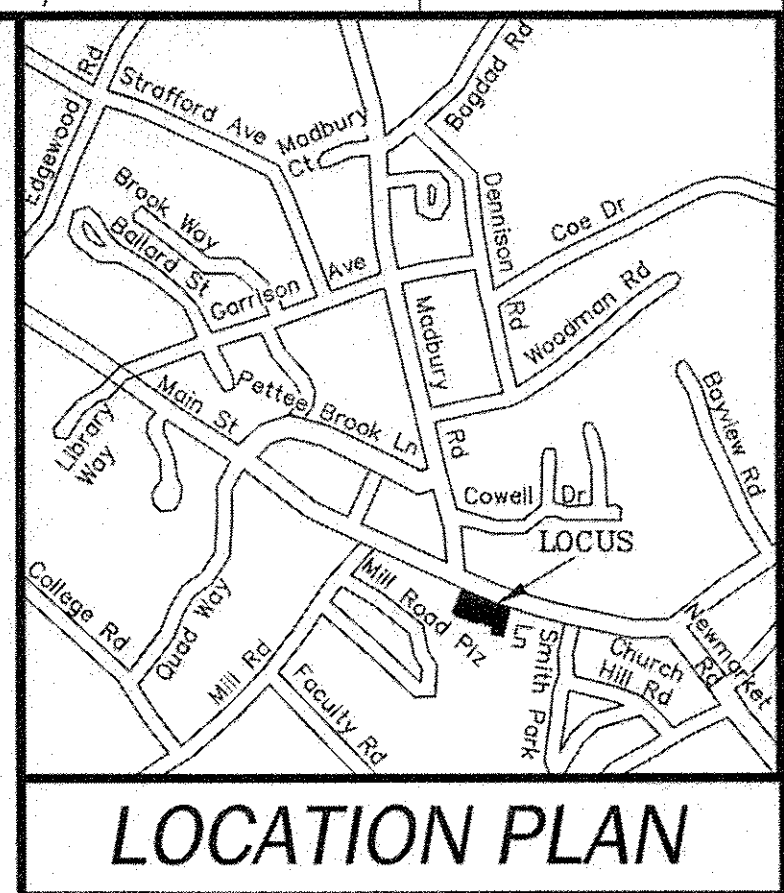
ISSUED FOR PLANNING BOARD REVIEW:  
SEPTEMBER 4, 2013

LEGEND

- BK.2562/PG.2783 BOOK NO./PAGE NO.
N/F NOW OR FORMERLY
POB POINT OF BEGINNING
PSNH PUBLIC SERVICE COMPANY OF NEW ENGLAND
SCRD STRAFFORD COUNTY REGISTRY OF DEEDS
S.F. SQUARE FEET
OHU OVERHEAD UTILITIES
FREE STANDING SIGN
WATER VALVE
ASSESSORS MAP & PARCEL NUMBER
PROPERTY LINE
STONE WALL
UTILITY POLE
CATCH BASIN
HYDRANT
LIGHT
WATER SHUTOFF
HANDICAPPED

PLAN REFERENCES:

- 1. "RIGHT-OF-WAY PLANS, STATE OF NH, NHDOT ROW PLANS, TOWN OF DURHAM, COUNTY OF STRAFFORD". SCRD PLAN #018177.
2. "RIGHT-OF-WAY PLANS OF PROPOSED FEDERAL AID PROJECT, OSO-STP-14-X-5133(003), N.H. PROJECT NO. C-2424-C, MAIN STREET/NEWMARKET ROAD/N.H. ROUTE 108" BY NHDOT, DATED 10-19-00. SCRD PLAN #018173.
3. "MILL ROAD, LAND SAMUEL A. TAMPOSI AND EDWARD N. LEHOULLIER, DURHAM, N.H." BY G.L. DAVIS & ASSOCIATES, CIVIL ENGINEERS, DATED APRIL 1975, REVISED 5/30/75. SCRD POCKET #15-FOLDER #1-PLAN #38.



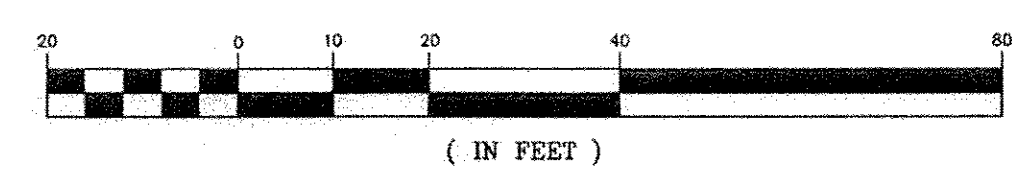
NOTES:

- 1. THE PARCELS ARE LOCATED IN THE CENTRAL BUSINESS (CB) ZONE AND THE HISTORIC OVERLAY DISTRICT (HOD).
2. THE PARCELS ARE AS SHOWN ON THE TOWN OF DURHAM ASSESSOR'S MAP 5 AS LOTS 1-6, 1-7 & 1-8.
3. THE PARCEL IS LOCATED IN FLOOD ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON INSURANCE RATE MAP COMMUNITY - PANEL NUMBER 33017C0318D WITH EFFECTIVE DATE MAY 17, 2005.
4. OWNER OF RECORD: VARSITY DURHAM, LLC
24 PARK COURT
DURHAM, NH 03824
SCRD BK.3510 PG.416
5. ZONING REQUIREMENTS:
MINIMUM LOT SIZE: 5,000 S.F./900 S.F. PER DWELLING UNIT
MINIMUM FRONTAGE: 50'
MINIMUM SETBACKS:
FRONT YARD: N/A
SIDE YARD: N/A
REAR YARD: N/A
MAXIMUM BUILDING HEIGHT: 30'
6. MAP 5 LOT 1-6 IS SUBJECT TO THE RIGHTS OF THE STATE ON NEW HAMPSHIRE TO EXTEND AND MAINTAIN SLOPES AND EMBANKMENTS AS DESCRIBED IN SCRD BK.#862 PG.#489.
7. MAP 5 LOT 1-7 IS SUBJECT TO COVENANTS CONTAINED IN A SEWERAGE ENTRY APPLICATION AS DESCRIBED IN SCRD BK.#853 PG.#317.
8. MAP 5 LOT 1-7 IS SUBJECT TO AN EASEMENT TO NEW HAMPSHIRE ELECTRIC COMPANY & NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS DESCRIBED IN SCRD BK.#817 PG.#396.
9. FIELD SURVEY COMPLETED IN JANUARY 2012 UNDER SNOW COVER. EXISTING FEATURES SHOWN ON THIS PLAN WERE LOCATED AS ACCURATE AS POSSIBLE UNDER THOSE CONDITIONS. MSC, INC. RESERVES THE RIGHT TO FIELD INSPECT THESE PREMISES IN THE SPRING AND MODIFY THIS PLAN AS NECESSARY.

SURVEYOR'S CERTIFICATION

THE UNDERSIGNED HEREBY CERTIFIES TO ORION, UNH, LLC, ROCKLAND TRUST COMPANY AND STEWART TITLE GUARANTY COMPANY THAT THIS MAP OR PLAT OF SURVEY AND THE SURVEY ON WHICH IT WAS BASED WAS PREPARED BY ME AND WAS ACTUALLY MADE UPON THE GROUND. IN ADDITION, THE UNDERSIGNED HEREBY CERTIFIES THAT (1) THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY ARE CORRECT, (2) THE SIZE, LOCATION AND TYPE OF IMPROVEMENTS ARE SHOWN HEREON AND ALL ARE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTIES AND SET BACK FROM THE PROPERTIES LINES THE DISTANCES INDICATED, UNLESS SHOWN OTHERWISE, (3) THE PROPERTIES ARE CONTIGUOUS TO AND HAVE ACCESS TO AND FROM MAIN STREET, A PUBLIC ROADWAY, (4) THERE ARE NO EASEMENTS OR ENCUMBRANCES (INCLUDING UTILITY LINES) AFFECTING THE PROPERTIES OTHER THAN AS SHOWN OR NOTED ON THIS SURVEY, (5) THERE ARE NO ENCROACHMENTS OF ANY IMPROVEMENTS ON THESE PROPERTIES OVER ANY EASEMENTS OR ENCUMBRANCES, OR ONTO ADJOINING PROPERTY OTHER THAN AS SHOWN ON THIS SURVEY, (6) THERE ARE NO ENCROACHMENTS OF ANY IMPROVEMENTS ON ADJOINING PROPERTY ONTO THE PROPERTIES OTHER THAN AS SHOWN AND NOTED HEREON, (7) ALL RECORDED EASEMENTS AND OTHER EXCEPTIONS, AS NOTED IN THE STEWART TITLE GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE, DATED 01/18/2011 HAVE BEEN CORRECTLY PLATTED AND/OR NOTED HEREON; (8) ALL ZONING, USE AND DENSITY CLASSIFICATIONS ARE SHOWN HEREON, (9) THE PROPERTIES CONSTITUTE THREE SEPARATE CONTIGUOUS PARCELS WITHOUT GAPS OR GORES, AND (10) THE PROPERTIES ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN OR IN AN IDENTIFIED "FLOOD PRONE AREA", AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, PURSUANT TO THE FLOOD DISASTER PROTECTION ACT OF 1973, AS AMENDED, AS REFLECTED BY FLOOD INSURANCE RATE MAP PANEL #33017C0318D, DATED MAY 17, 2005, WHICH SUCH MAP PANELS COVERS THE AREA IN WHICH PROPERTIES ARE SITUATED AND (11) THERE ARE NO MOBILE HOME PADS LOCATED ON THE PROPERTIES.

Signature of J. Corey Colwell, Licensed Land Surveyor, dated FEB 02 2012.



ENCROACHMENTS:

- 1 STEPS AND WALKWAY ENCOACH ONTO MAIN STREET - PUBLIC RIGHT OF WAY.
2 PAVED AREA ENCOACHES ONTO MAIN STREET - PUBLIC RIGHT OF WAY.
3 STEPS AND WALKWAY ENCOACH ONTO MAIN STREET - PUBLIC RIGHT OF WAY.
4 DUMPSTER ENCOACHES ONTO ADJOINING PROPERTY.

LEGAL DESCRIPTIONS

MAP 5 LOT 1-6 BEGINNING AT A FOUND BRASS PIPE IN THE SOUTHERLY SIDELINE OF MAIN STREET AT LAND NOW OR FORMERLY OF 37 MAIN STREET DURHAM, LLC, THENCE PROCEEDING ALONG SAID SOUTHERLY SIDELINE OF MAIN STREET S 47°20'30" E A DISTANCE OF 87.00 FEET TO A POINT AT LAND NOW OR FORMERLY OF VARSITY DURHAM, LLC; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID VARSITY DURHAM, LLC S 39°02'13" W A DISTANCE OF 152.69 FEET TO A SET IRON ROD AT LAND NOW OR FORMERLY OF COLONIAL DURHAM ASSOCIATES; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID COLONIAL DURHAM ASSOCIATES N 52°12'12" W A DISTANCE OF 58.30 FEET TO A FOUND IRON PIN; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID COLONIAL DURHAM ASSOCIATES N 38°12'24" W A DISTANCE OF 12.07 FEET TO A FOUND IRON PIN; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID COLONIAL DURHAM ASSOCIATES N 25°30'26" W A DISTANCE OF 18.47 FEET TO A FOUND IRON PIN AT LAND OF SAID 37 MAIN STREET DURHAM, LLC; THENCE TURNING AND PROCEEDING ALONG LAND OF SAID 37 MAIN STREET DURHAM, LLC N 39°00'00" E A DISTANCE OF 148.84 FEET TO THE POINT OF BEGINNING. CONTAINING: 13,434 SQUARE FEET (0.308 ACRES), MORE OR LESS.

EXISTING FEATURES PLAN FOR ORION UNH, LLC

Table with columns: REV, DATE, DESCRIPTION. Includes revision history for the plan.

TAX MAP 5 LOTS 1-6, 1-7 & 1-8 PROPERTY OF VARSITY DURHAM, LLC

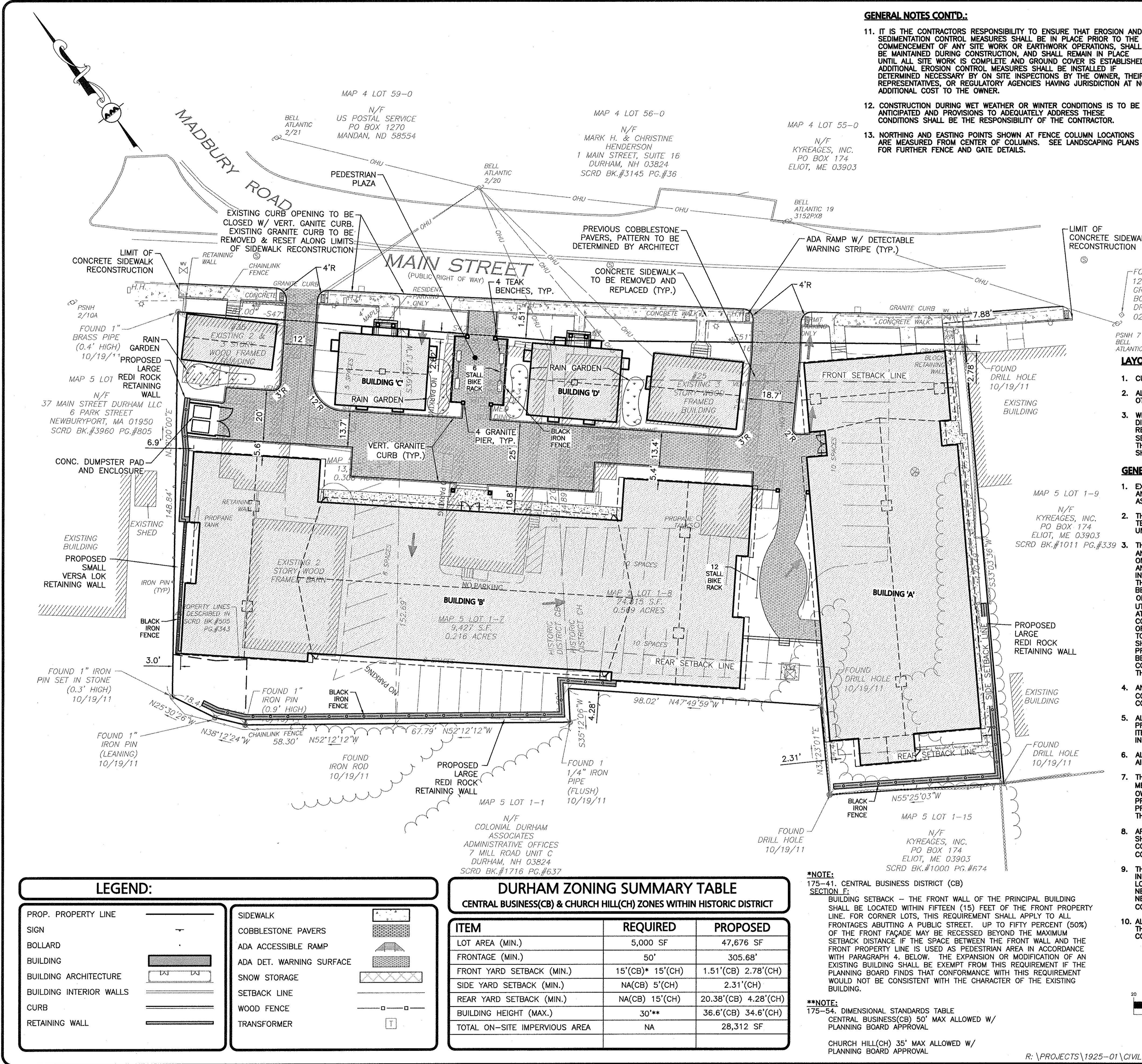
35, 29 & 25-27 MAIN STREET COUNTY OF STRAFFORD NEW HAMPSHIRE

DATE: JANUARY 20, 2012

PROJECT NO. 11082 SCALE: 1" = 20'

MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. 170 COMMERCE WAY SUITE 102 PORTSMOUTH, NH 03801

Feb 02 2012 - 11:08am P:\11082\02.dwg(11082-02.dwg) dte.dwg

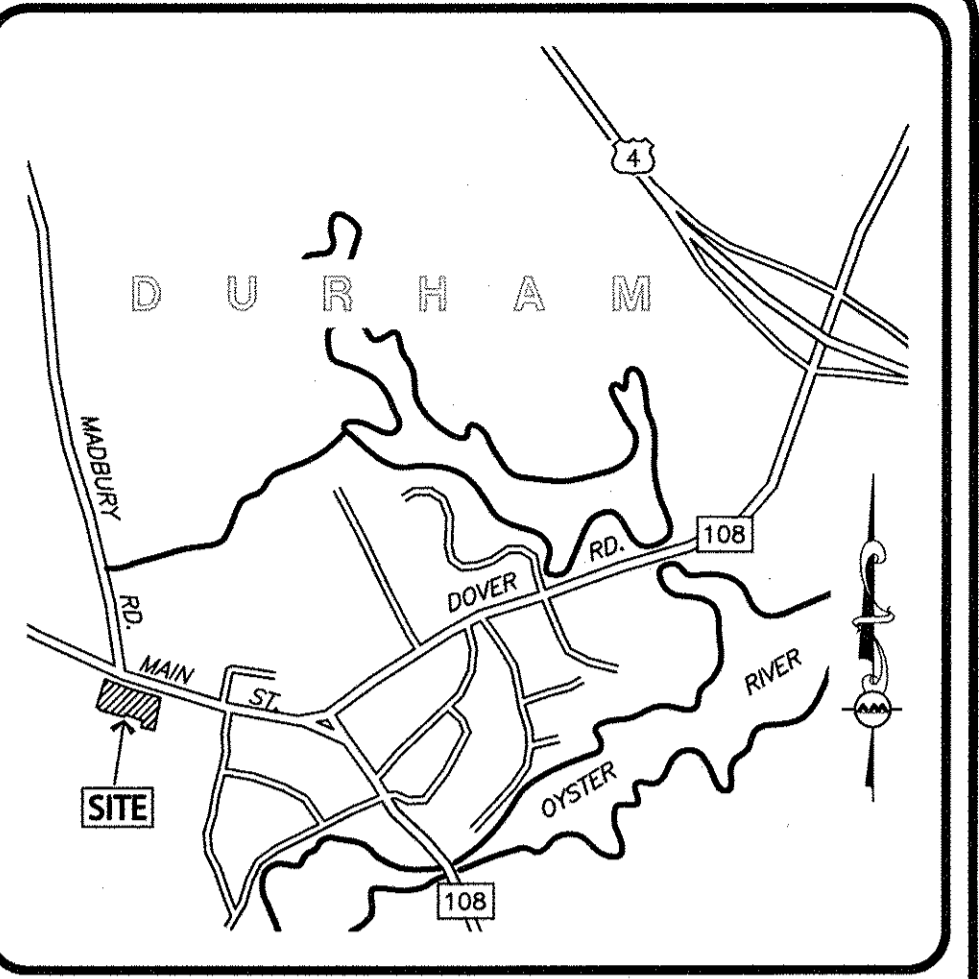


**GENERAL NOTES CONT'D:**

11. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.

12. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

13. NORTHING AND EASTING POINTS SHOWN AT FENCE COLUMN LOCATIONS ARE MEASURED FROM CENTER OF COLUMNS. SEE LANDSCAPING PLANS FOR FURTHER FENCE AND GATE DETAILS.



**LAYOUT NOTES:**

- CURB RADII SHALL BE AS SHOWN ON THE PLAN.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR

**GENERAL NOTES:**

- EXISTING CONDITIONS BY MSG, DATED 2-2-2012, WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, 2013.
- THIS PROJECT WILL BE SERVED BY PUBLIC SEWER, WATER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE TOWN OF DURHAM DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF NEW HAMPSHIRE AT THE CONTRACTORS EXPENSE.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE TOWN/CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.

23 High Street  
Portsmouth, NH 03801  
P: 603.431.8701  
F: 603.422.8707

**PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.**

MICHAEL A. MALYNOWSKI  
No. 12200  
LICENSED PROFESSIONAL ENGINEER  
9-3-13

**APPLICANT/OWNER:**

ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

**PROJECT:**

ORION STUDENT HOUSING  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13  
SCALE: 1" = 20' DWG. NAME: C- LAYOUT  
DRAFTED BY: WBL CHECKED BY: RPC

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DRAWING TITLE: **LAYOUT & MATERIALS PLAN** SHEET No. **C-1**

**LEGEND:**

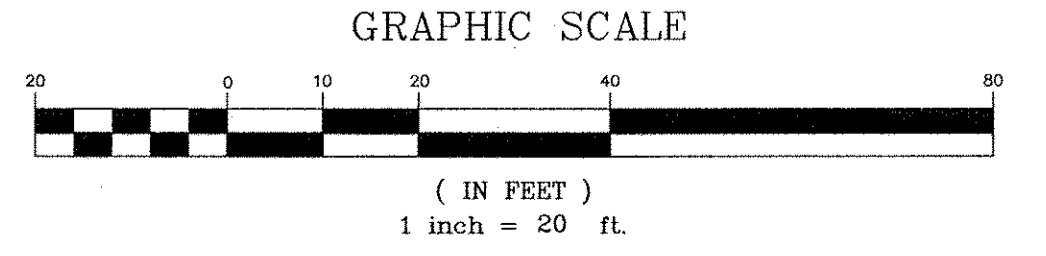
PROP. PROPERTY LINE		SIDEWALK	
SIGN		COBBLESTONE PAVERS	
BOLLARD		ADA ACCESSIBLE RAMP	
BUILDING		ADA DET. WARNING SURFACE	
BUILDING ARCHITECTURE		SNOW STORAGE	
BUILDING INTERIOR WALLS		SETBACK LINE	
CURB		WOOD FENCE	
RETAINING WALL		TRANSFORMER	

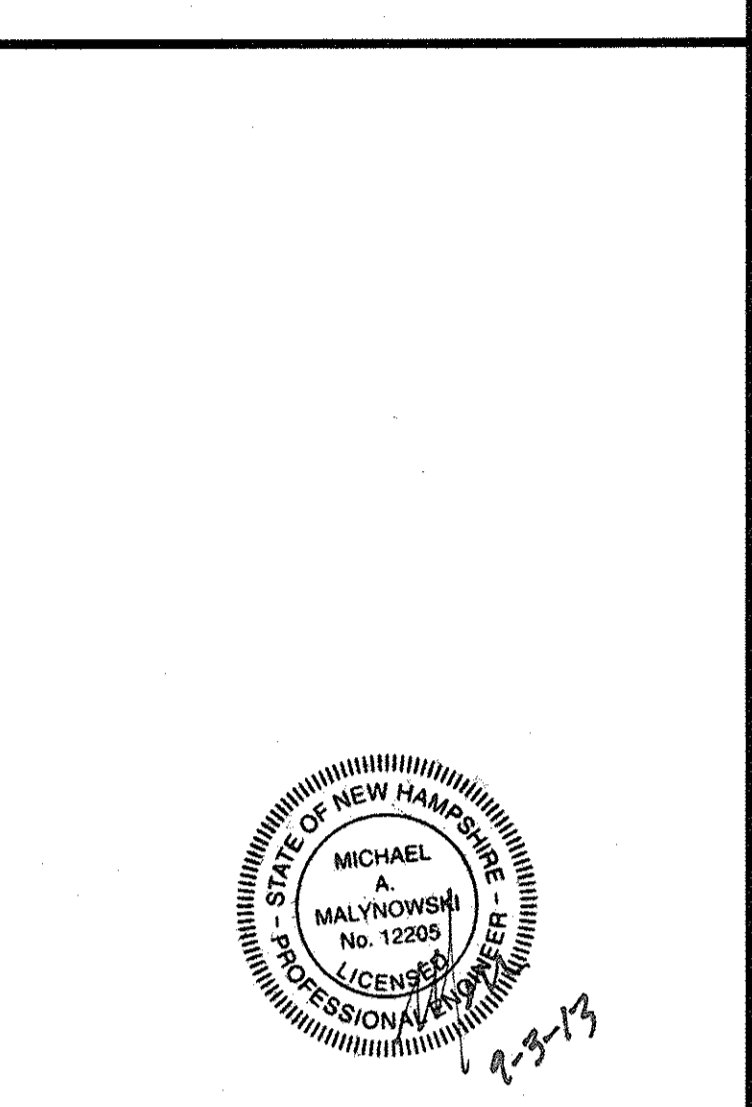
**DURHAM ZONING SUMMARY TABLE**  
CENTRAL BUSINESS(CB) & CHURCH HILL(CH) ZONES WITHIN HISTORIC DISTRICT

ITEM	REQUIRED	PROPOSED
LOT AREA (MIN.)	5,000 SF	47,676 SF
FRONTAGE (MIN.)	50'	305.68'
FRONT YARD SETBACK (MIN.)	15'(CB)* 15'(CH)	1.51'(CB) 2.78'(CH)
SIDE YARD SETBACK (MIN.)	NA(CB) 5'(CH)	2.31'(CH)
REAR YARD SETBACK (MIN.)	NA(CB) 15'(CH)	20.38'(CB) 4.28'(CH)
BUILDING HEIGHT (MAX.)	30'**	36.6'(CB) 34.6'(CH)
TOTAL ON-SITE IMPERVIOUS AREA	NA	28,312 SF

**\*\*NOTE:**  
175-41. CENTRAL BUSINESS DISTRICT (CB)  
SECTION F:  
BUILDING SETBACK - THE FRONT WALL OF THE PRINCIPAL BUILDING SHALL BE LOCATED WITHIN FIFTEEN (15) FEET OF THE FRONT PROPERTY LINE. FOR CORNER LOTS, THIS REQUIREMENT SHALL APPLY TO ALL FRONTAGES ABUTTING A PUBLIC STREET. UP TO FIFTY PERCENT (50%) OF THE FRONT FAÇADE MAY BE RECESSED BEYOND THE MAXIMUM SETBACK DISTANCE IF THE SPACE BETWEEN THE FRONT WALL AND THE FRONT PROPERTY LINE IS USED AS PEDESTRIAN AREA IN ACCORDANCE WITH PARAGRAPH 4. BELOW. THE EXPANSION OR MODIFICATION OF AN EXISTING BUILDING SHALL BE EXEMPT FROM THIS REQUIREMENT IF THE PLANNING BOARD FINDS THAT CONFORMANCE WITH THIS REQUIREMENT WOULD NOT BE CONSISTENT WITH THE CHARACTER OF THE EXISTING BUILDING.

**\*\*NOTE:**  
175-54. DIMENSIONAL STANDARDS TABLE  
CENTRAL BUSINESS(CB) 50' MAX ALLOWED W/  
PLANNING BOARD APPROVAL  
CHURCH HILL(CH) 35' MAX ALLOWED W/  
PLANNING BOARD APPROVAL





PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**ORION UNH LLC**  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:  
**ORION STUDENT HOUSING**  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13  
SCALE: 1" = 20' DWG. NAME: GRADING  
DRAFTED BY: WBL CHECKED BY: RPC



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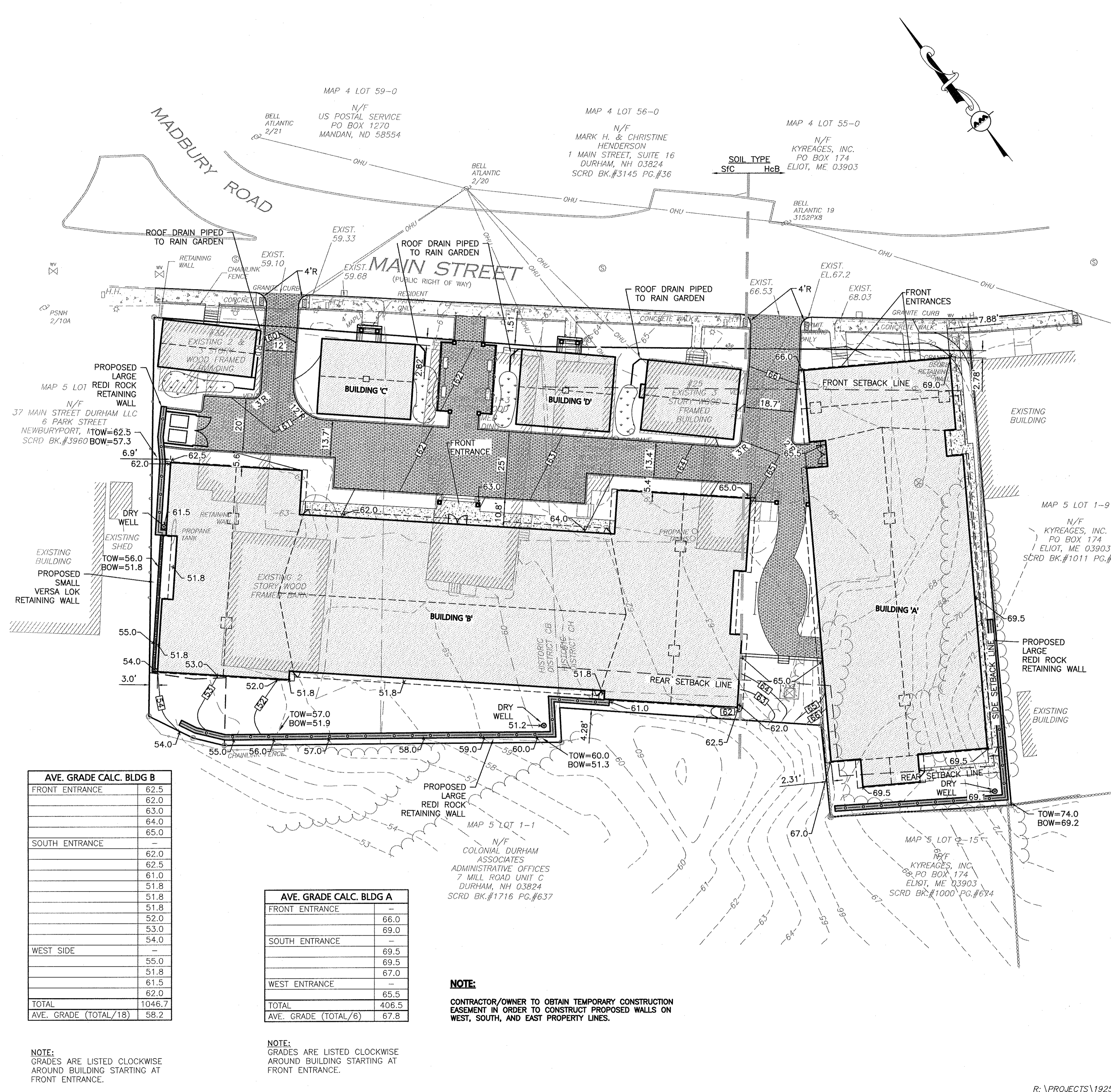
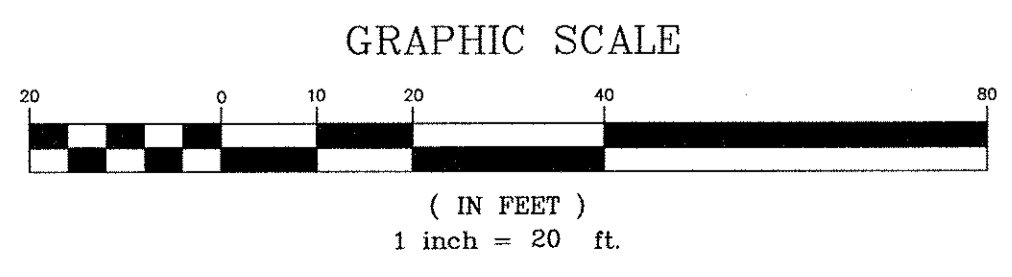
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DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-2**  
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**LEGEND:**

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- TOP OF BERM
- DETENTION BASIN
- SAW-CUT LINE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- UNDERDRAIN
- SCS SOILS BOUNDARY

- GRADING & DRAINAGE NOTES:**
- VERTICAL DATUM IS NAVD88.
  - 8 FOOT DIAMETER DRAIN MANHOLES AND CATCH BASINS MAY BE NECESSARY DURING STORM DRAINAGE INSTALLATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
  - ALL PROPOSED CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO THE TOWN OF DURHAM STANDARDS. EXISTING CATCH BASINS TO REMAIN SHALL BE EQUIPPED WITH HOODS.
  - ALL NEW ROOF DRAINAGE PIPES SHALL BE SDR 35 PVC, SIZED AS NOTED ON THE PLANS, TURNED UP ABOVE GRADE AND BE TERMINATED WITH A FITTING SPECIFICALLY DESIGNED TO RECEIVE A RECTANGULAR DOWNSPOUT.
  - A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 8 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
  - ALL PROPOSED DRAINAGE SHALL CONFORM TO TOWN OF DURHAM STANDARDS.
  - ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS) SHALL BE INSTALLED TO THE BUILDING WALL AND TURNED UP ABOVE GRADE UNLESS OTHERWISE NOTED OR DETAILED.
  - ALL GRAVITY DRAINAGE PIPE SYSTEMS ARE TO BE CONSTRUCTED BEGINNING AT THE LOWEST POINT IN THE SYSTEM AND PROCEEDING TO THE HIGHEST POINT.
  - UNLESS OTHERWISE NOTED, ALL EXISTING DRAINAGE STRUCTURES AND PIPES SHALL BE REMOVED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE STRUCTURES ON SITE PRIOR TO COMPLETION OF PROJECT.
  - ALL DRAIN, WATER AND SANITARY SEWER PIPES INSTALLED WITHIN 10 FEET OF THE FOUNDATION SLAB MUST BE PERMITTED AND INSTALLED BY A NEW HAMPSHIRE LICENSED PLUMBER.



**AVE. GRADE CALC. BLDG B**

FRONT ENTRANCE	62.5
	62.0
	63.0
	64.0
	65.0
SOUTH ENTRANCE	-
	62.0
	62.5
	61.0
	51.8
	51.8
	51.8
	51.8
	52.0
	53.0
	54.0
WEST SIDE	-
	55.0
	51.8
	61.5
	62.0
TOTAL	1046.7
AVE. GRADE (TOTAL/18)	58.2

**AVE. GRADE CALC. BLDG A**

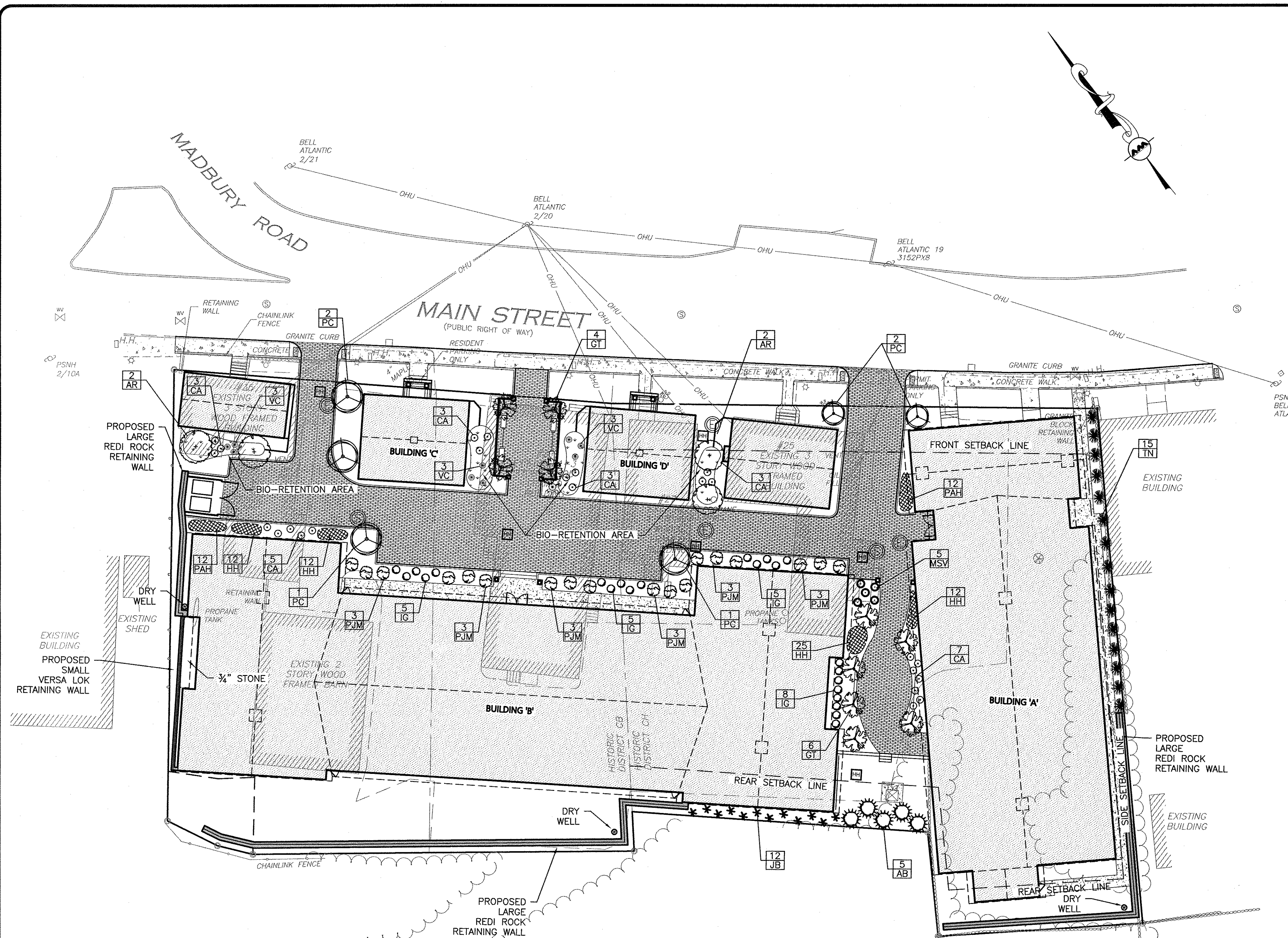
FRONT ENTRANCE	-
	66.0
	69.0
SOUTH ENTRANCE	-
	69.5
	69.5
	67.0
WEST ENTRANCE	-
	65.5
TOTAL	406.5
AVE. GRADE (TOTAL/6)	67.8

**NOTE:**  
CONTRACTOR/OWNER TO OBTAIN TEMPORARY CONSTRUCTION EASEMENT IN ORDER TO CONSTRUCT PROPOSED WALLS ON WEST, SOUTH, AND EAST PROPERTY LINES.

**NOTE:**  
GRADES ARE LISTED CLOCKWISE AROUND BUILDING STARTING AT FRONT ENTRANCE.

**NOTE:**  
GRADES ARE LISTED CLOCKWISE AROUND BUILDING STARTING AT FRONT ENTRANCE.

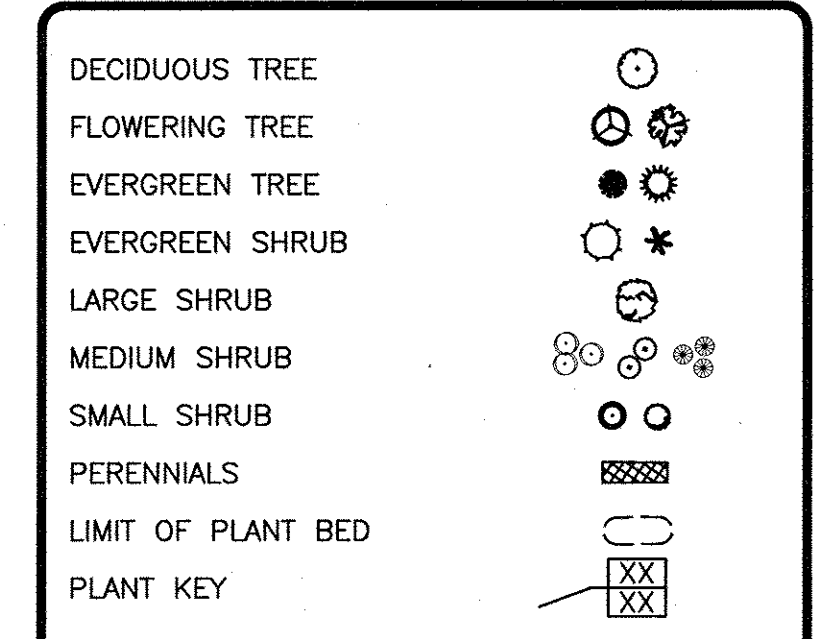




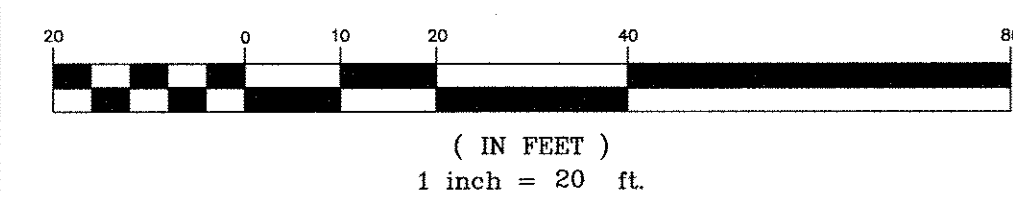
**LANDSCAPE NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF DURHAM.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR SPRING PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER OF 2.5" ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
- ALL LANDSCAPE AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SCOPE OF IRRIGATION TO BE DETERMINED BY OWNER. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.

**LEGEND:**



**GRAPHIC SCALE**



**PLANTING SCHEDULE-TREES & SHRUBS**

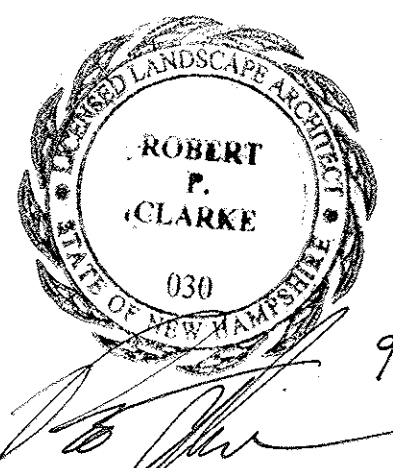
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	NURSERY SIZE	SPACING	COMMENTS
<b>DECIDUOUS TREES</b>						
AR	4	ACER RUBRUM	RED MAPLE	2 1/2" CAL.	AS SHOWN	B&B
GT	10	GLEDITSIA TRIACANTHOS	HONEY LOCUST	2 1/2" CAL.	AS SHOWN	B&B
<b>EVERGREEN &amp; FLOWERING TREES</b>						
AB	5	ABIES BALSAMEA	BALSAM FIR	8"-10"	AS SHOWN	B&B
PC	6	PYRUS CALLERY 'CHANTICLEER'	CLEVELAND SELECT PEAR	2 1/2" CAL.	AS SHOWN	B&B
TN	15	THUJA O. NIGRA	DARK AMERICAN ARBORVITAE	6'-8'	AS SHOWN	B&B

**PLANTING SCHEDULE-SHRUBS, GROUNDCOVERS, PERENIALS & GRASSES**

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	NURSERY SIZE	SPACING	COMMENTS
<b>SHRUBS</b>						
CA	24	CORNUS ALBA	RED TWIG DOGWOOD	3'-4'	AS SHOWN	B&B
JB	12	JUNIPERUS H. 'BAR HARBOR'	BAR HARBOR JUNIPER	2 GAL.	AS SHOWN	CONT.
IG	23	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	18" TO 24"	AS SHOWN	B&B
PJM	18	P.J.M. RHODENDRON	RHODENDRON	2'-2 1/2'	AS SHOWN	B&B
VC	9	VACCINIUM CORYMBOSUM 'NORTHLAND'	HIGHBUSH BLUEBERRY	2'-2 1/2'	AS SHOWN	#3 POT
<b>GROUND COVERS, PERENIALS, AND GRASSES</b>						
HH	61	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILLIES	1 GAL.	18" O.C.	STAGGERED
MSV	5	MISCANTHUS SINENSIS 'ZEBRINUS'	ZEBRA GRASS	2 GAL.	AS SHOWN	STAGGERED
PAH	24	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	1 GAL.	18" O.C.	STAGGERED

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"I, ROBERT P. CLARKE, HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS LANDSCAPE PLAN, THAT I AM A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED BY THE STATE OF NEW HAMPSHIRE AND/OR I AM A MEMBER OF THE GRANITE STATE LANDSCAPE ARCHITECTS".



REGISTERED LANDSCAPE ARCHITECT, A.S.L.A. FOR ALLEN & MAJOR ASSOCIATES, INC.

**APPLICANT/OWNER:**

ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

**PROJECT:**

ORION  
STUDENT HOUSING  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: GRADING

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



**ALLEN & MAJOR ASSOCIATES, INC.**

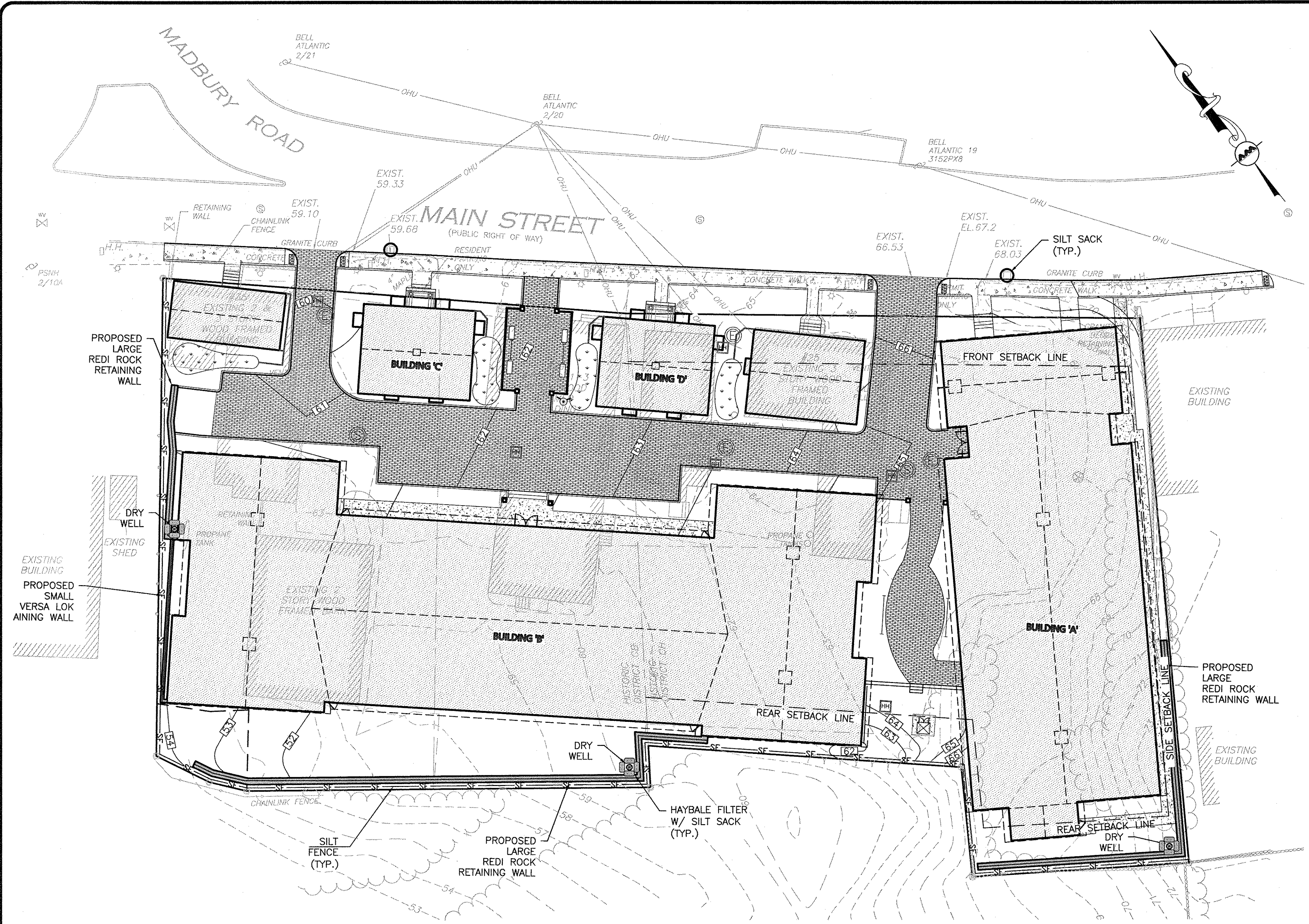
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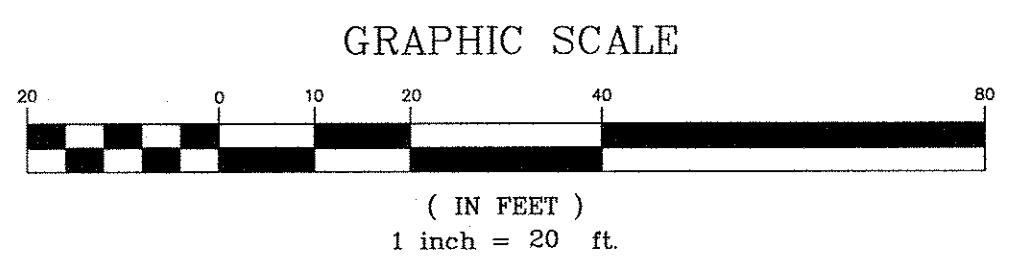
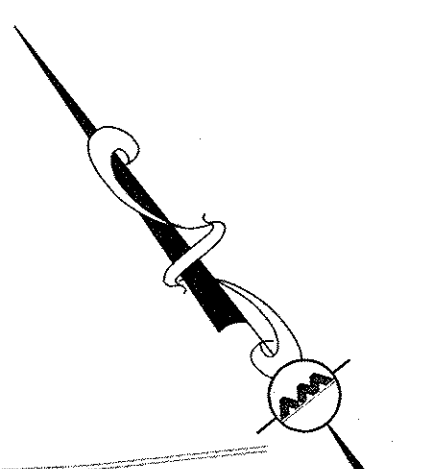
DRAWING TITLE: SHEET No.

LANDSCAPE PLAN C-4



**LEGEND:**

SILT FENCE	—SF—
SILT SACK	○
HAYBALE FILTER W/ SILT SACK	⊞
STABILIZED CONST. ENTRANCE	▨
PROPOSED GRADING	125
STOCKPILE/CONSTRUCTION STAGING AREA	▨

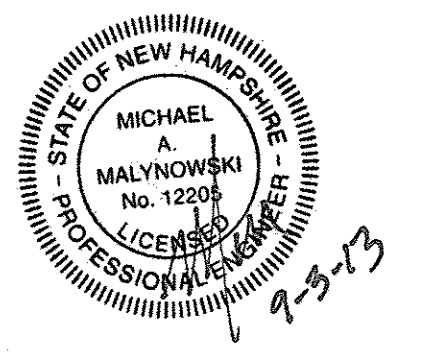


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**DIA**  
DeStefano Architects

23 High Street  
Portsmouth, NH 03801

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PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**ORION UNH LLC**  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:  
**ORION STUDENT HOUSING**  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: GRADING

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:

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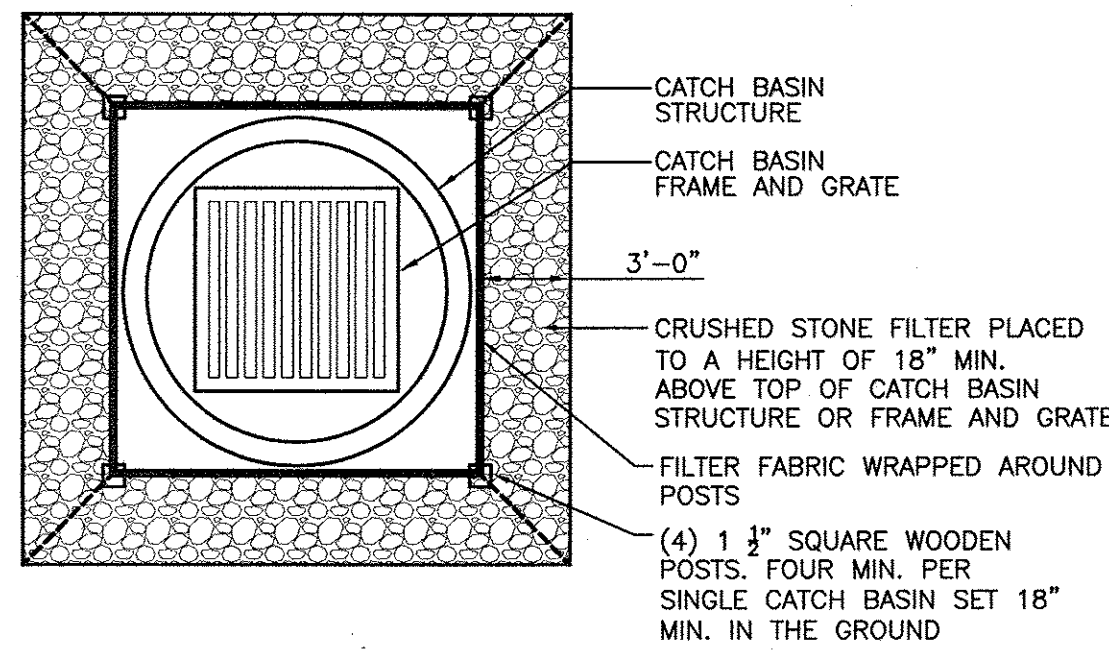
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DRAWING TITLE: **STORMWATER POLLUTION PREVENTION PLAN** SHEET No. **SWPPP 1**

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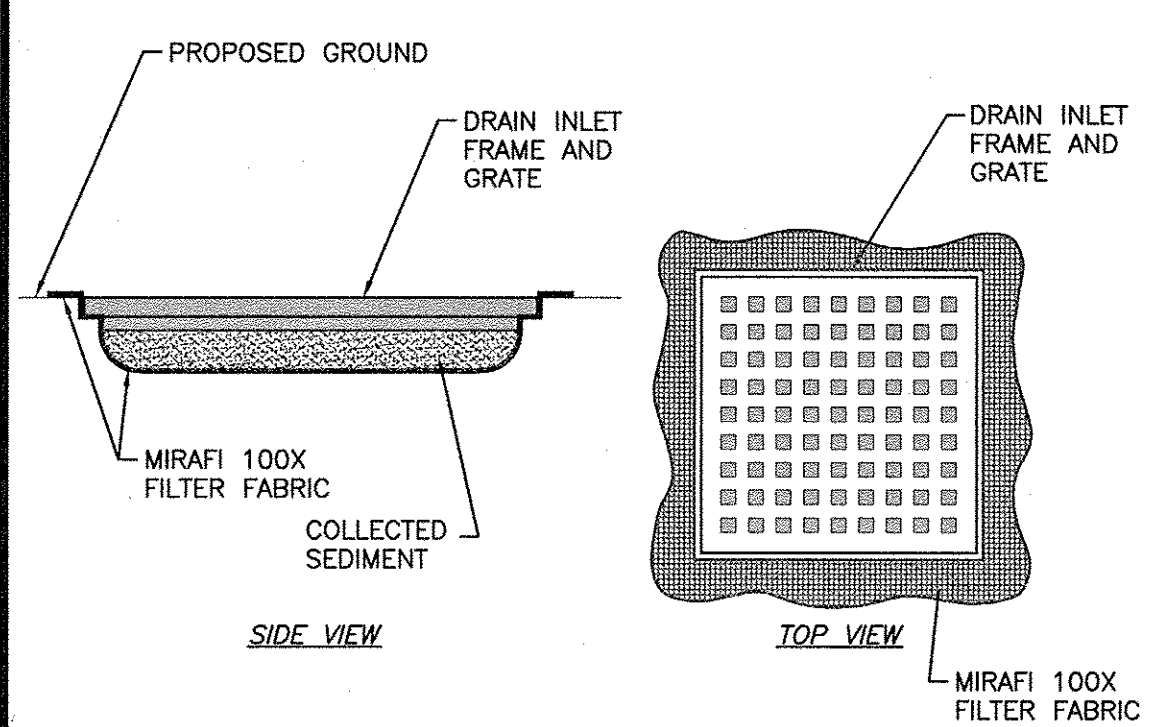






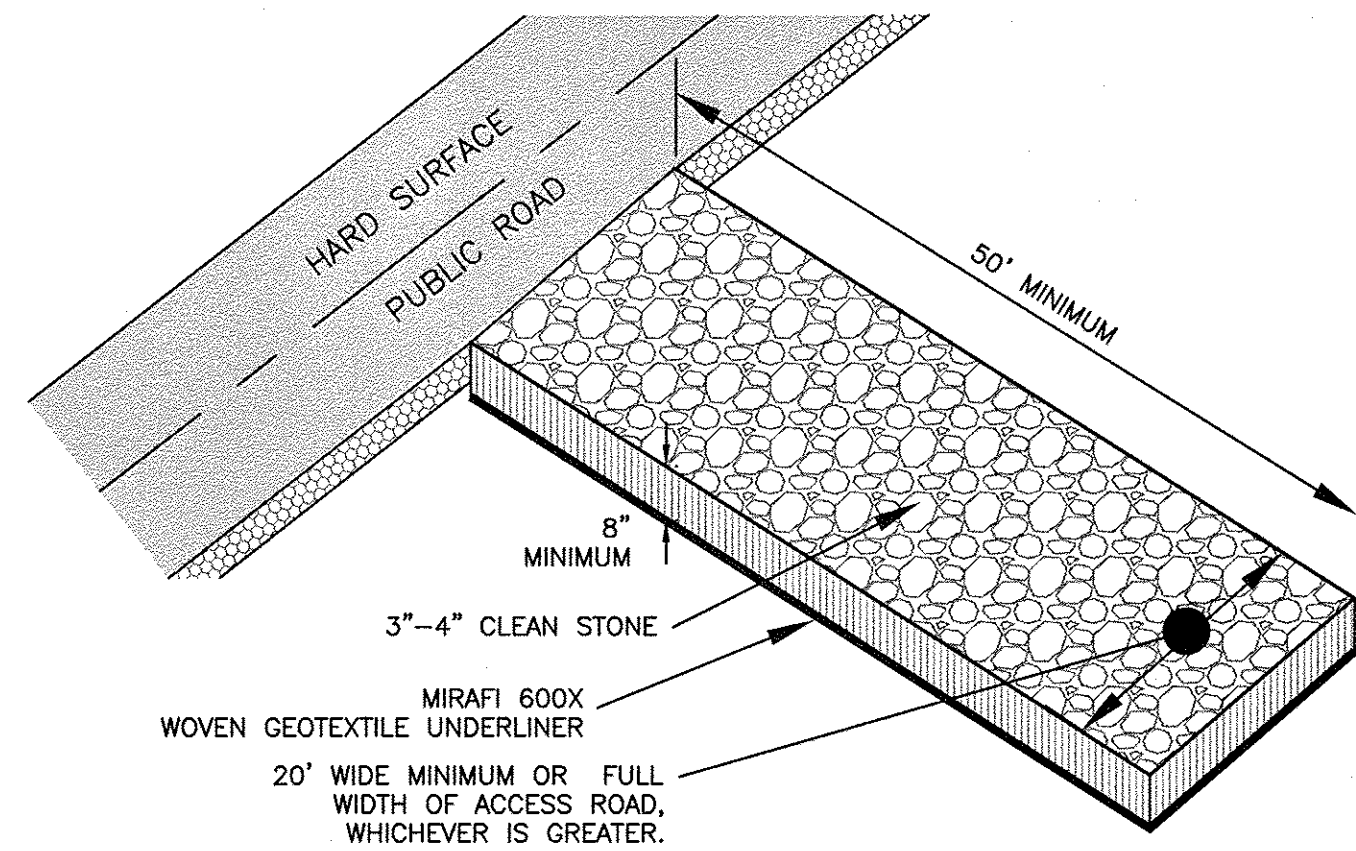
- NOTES:**
1. INSPECT WEEKLY OR AFTER EACH 1/2" OF RAINFALL AND REPAIR OR REPLACEMENT OF STONE AND FILTER FABRIC SHALL BE MADE PROMPTLY IF DAMAGED OR AS DIRECTED.
  2. CONTRACTOR SHALL REMOVE SEDIMENT ACCUMULATION ONCE IT REACHES A DEPTH OF 6" MAX.

**CRUSHED STONE CATCH BASIN INLET PROTECTION**  
NOT TO SCALE

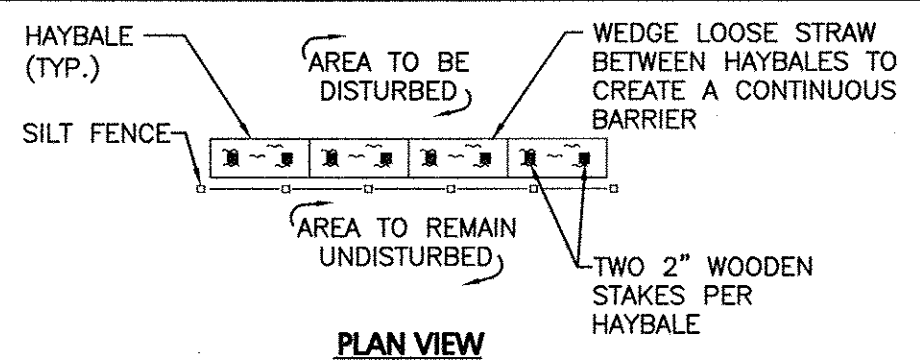


- NOTES:**
1. FILTER FABRIC SHALL BE SECURELY IN PLACE UNDERNEATH GRATE.
  2. FREQUENT INSPECTIONS SHALL BE CONDUCTED AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY IF NECESSARY.

**TYPICAL SILT SACK DETAIL**  
NOT TO SCALE

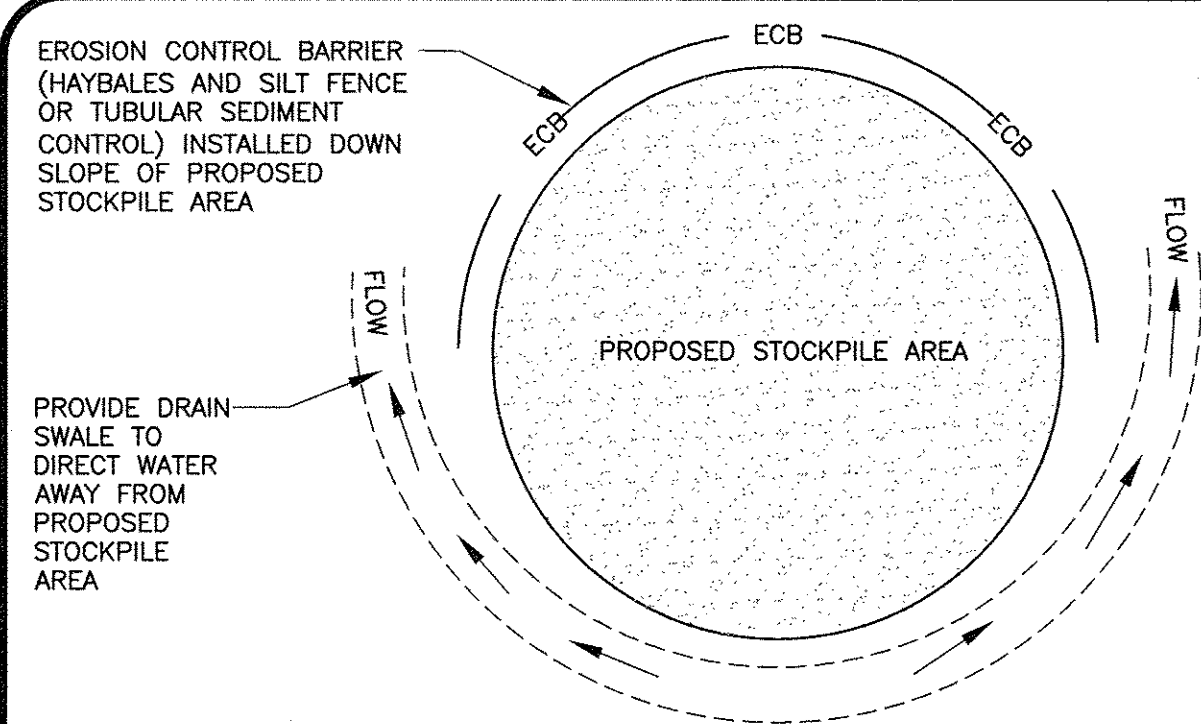


**CONSTRUCTION ENTRANCE**  
NOT TO SCALE



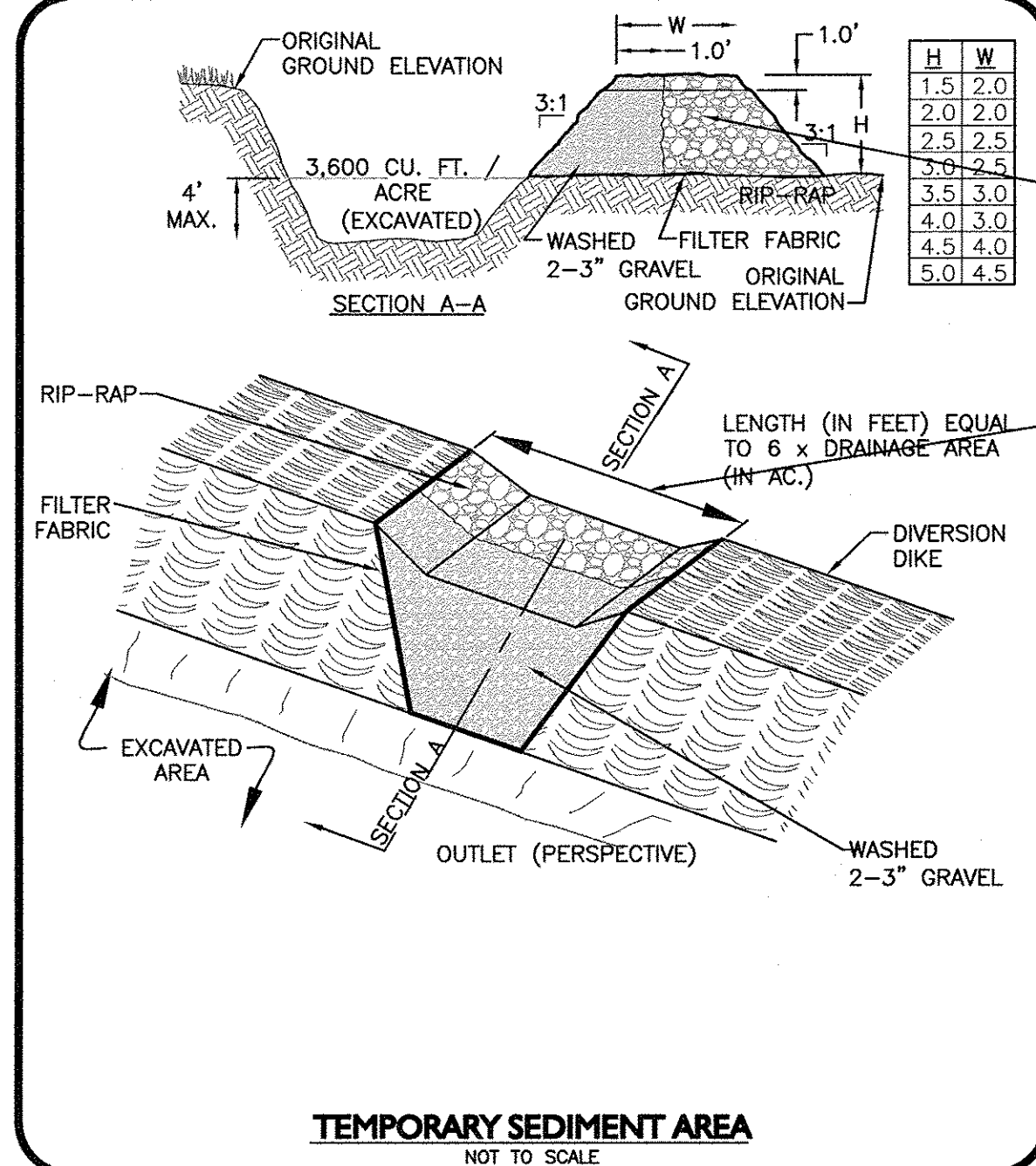
- NOTES:**
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
  2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

**SILT FENCE AND HAYBALE DETAIL**  
NOT TO SCALE

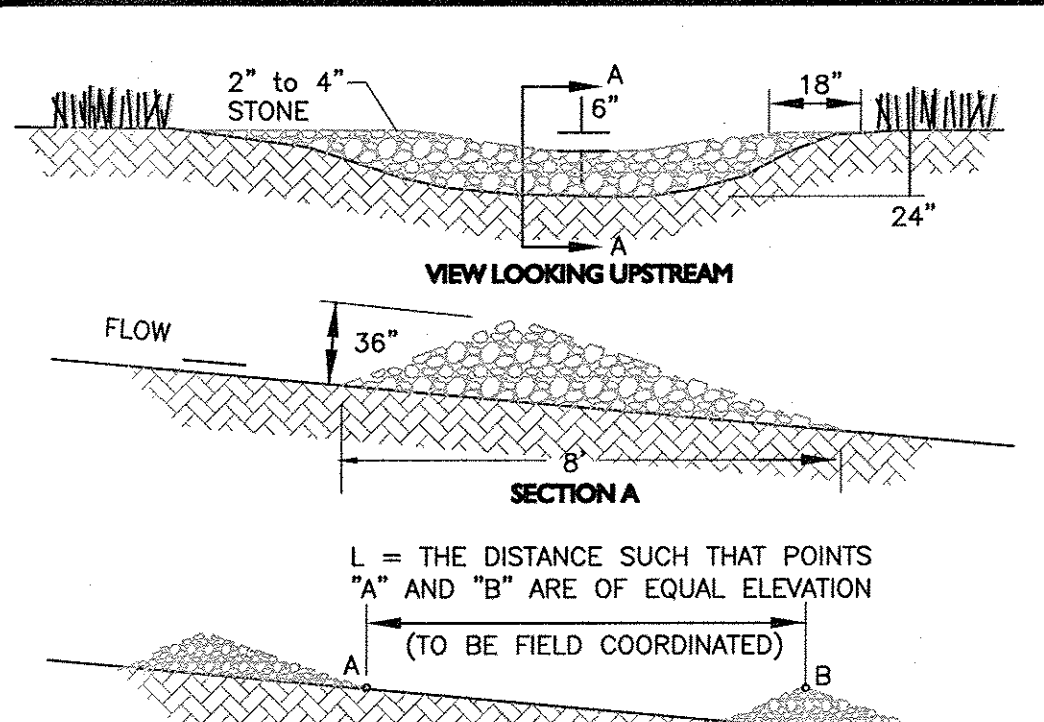


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**STOCKPILE PROTECTION DETAIL**  
NOT TO SCALE

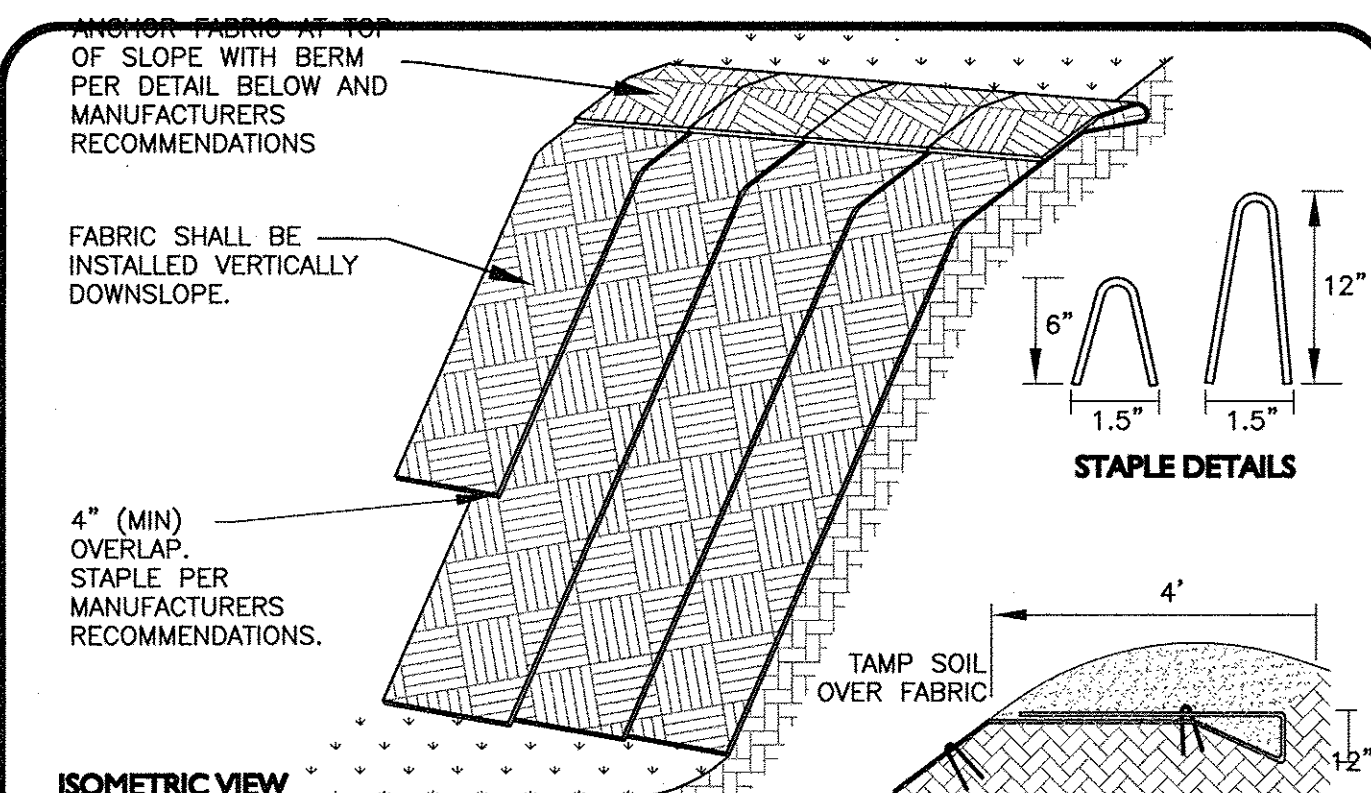


**TEMPORARY SEDIMENT AREA**  
NOT TO SCALE



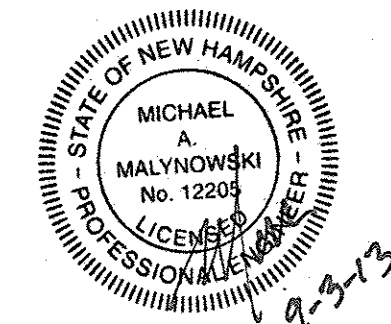
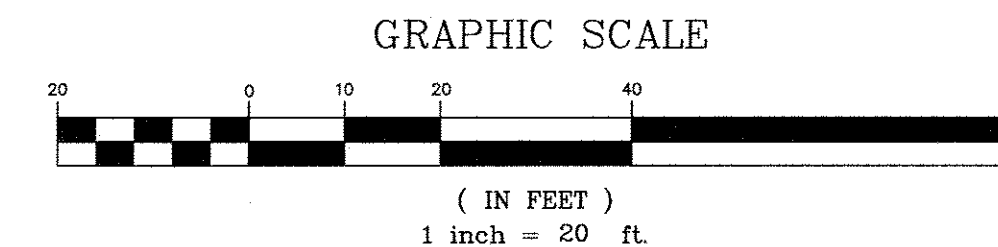
- NOTES:**
1. STONE CHECK DAM TO BE USED IF DRAINAGE AREA IS GREATER THAN 1/2 ACRE. LOCATIONS TO BE AS SHOWN ON THE PLANS AND FIELD COORDINATED.
  2. KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.
  3. CONTRACTOR TO INSPECT CHECK DAMS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS. CONTRACTOR TO REPAIR AND REPLACE THE STONE AS NECESSARY.

**STONE CHECK DAM DETAIL**  
NOT TO SCALE



- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. FABRIC SHALL HAVE GOOD SOIL CONTACT.
  2. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC. PLACE FABRIC WITHIN 24 HOURS AFTER SEEDING.
  3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
  4. CHOOSE MATERIAL BASED ON SLOPE, SOILS, AND APPLICATION.
  5. EROSION CONTROL FABRIC IS REQUIRED ON ALL SLOPES GREATER THAN 3:1.
  6. PROVIDE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.

**EROSION CONTROL FABRIC DETAIL**  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR  
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PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: SWPPP

DRAFTED BY: WBL CHECKED BY: RPC

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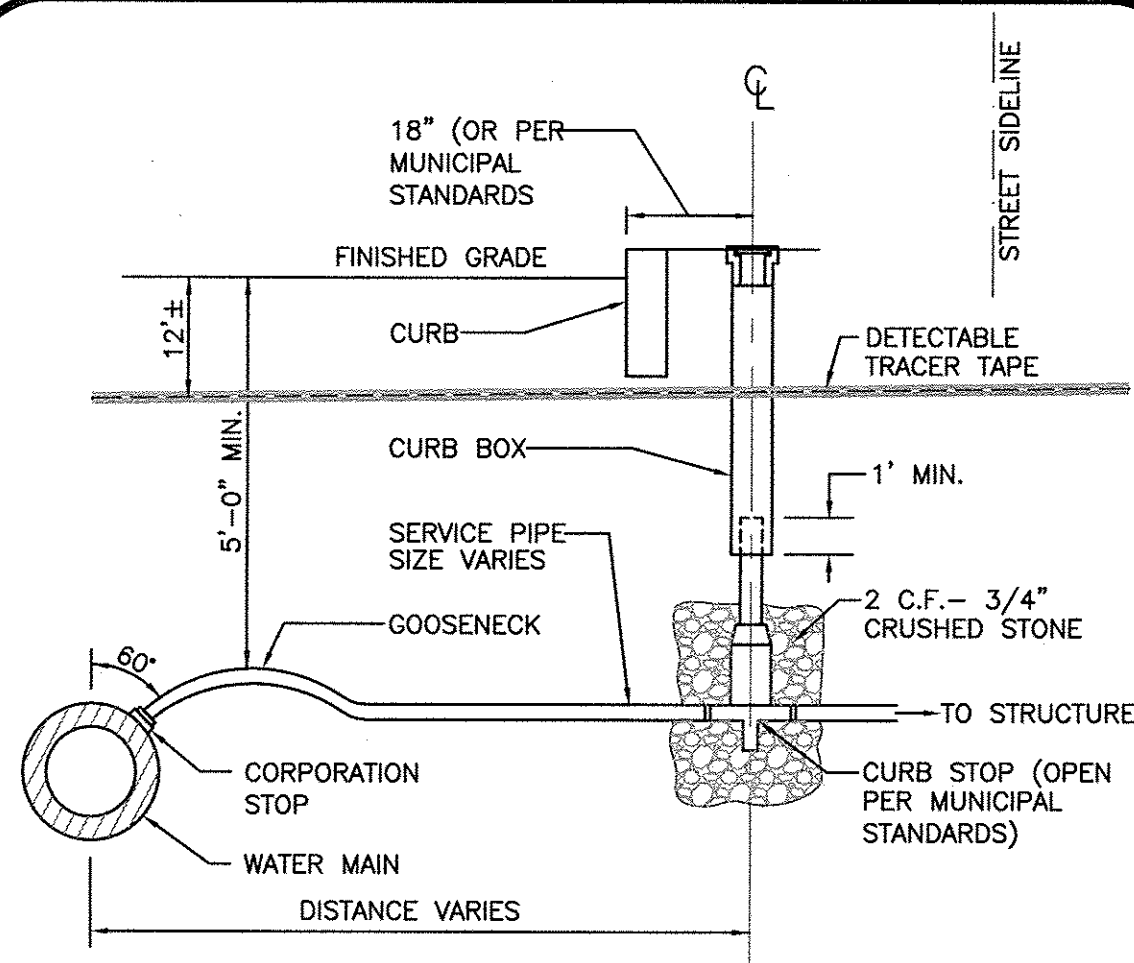
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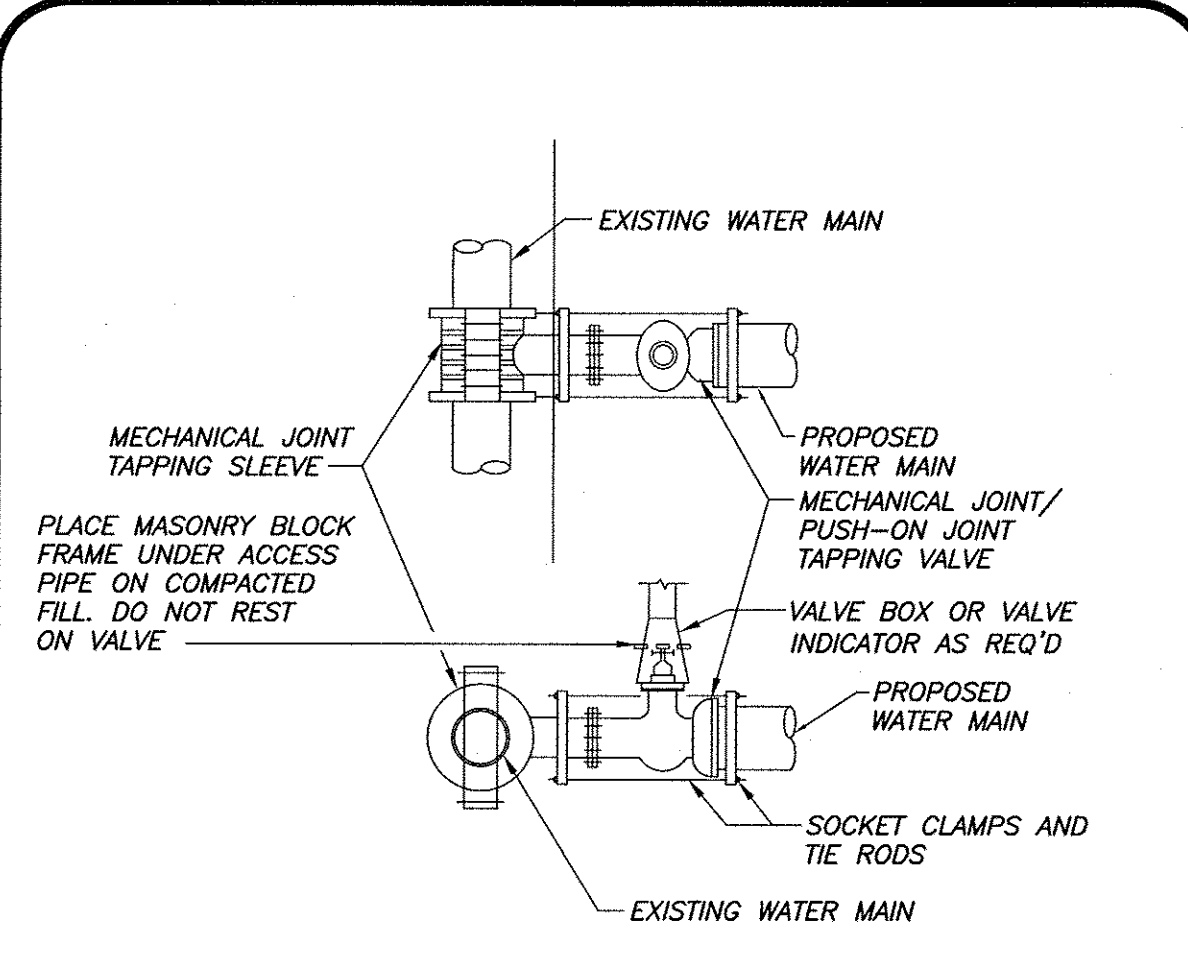
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STORMWATER POLLUTION PREVENTION DETAILS SWPPP 3

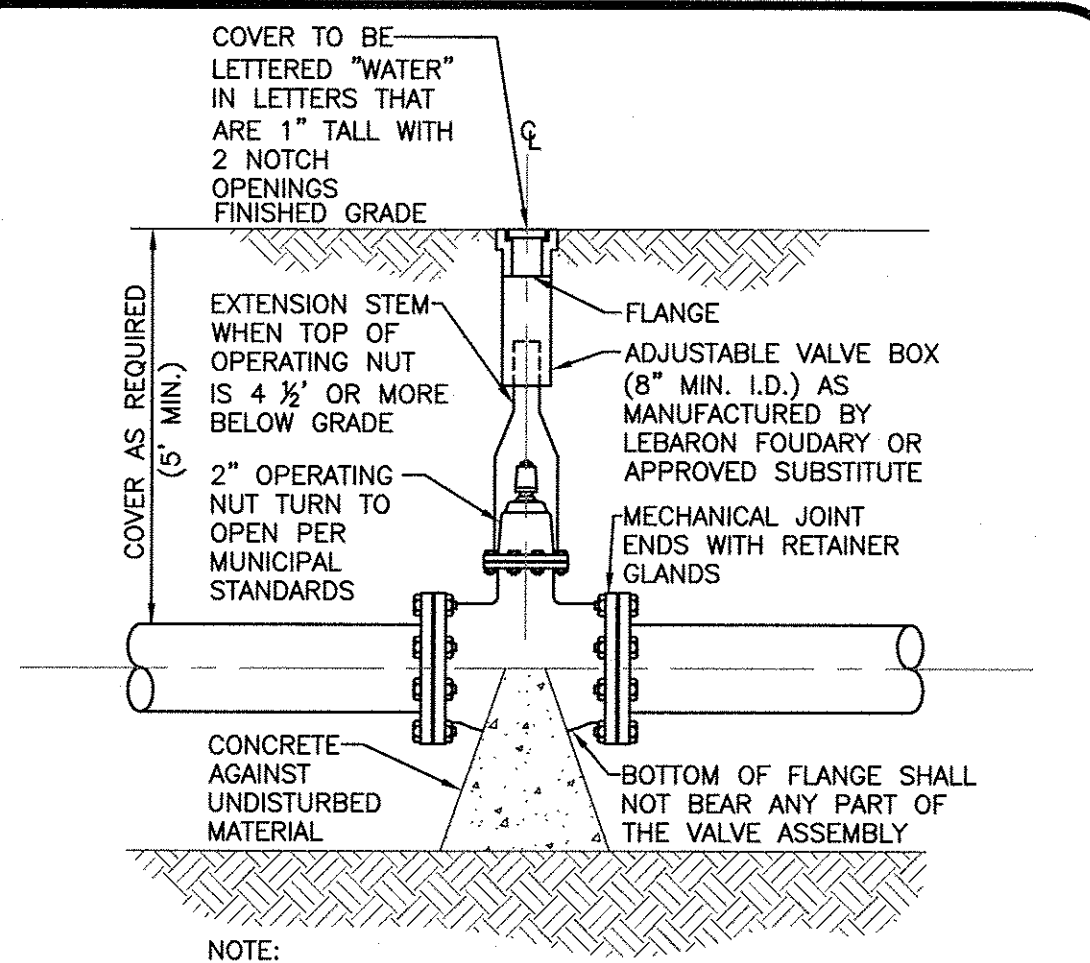




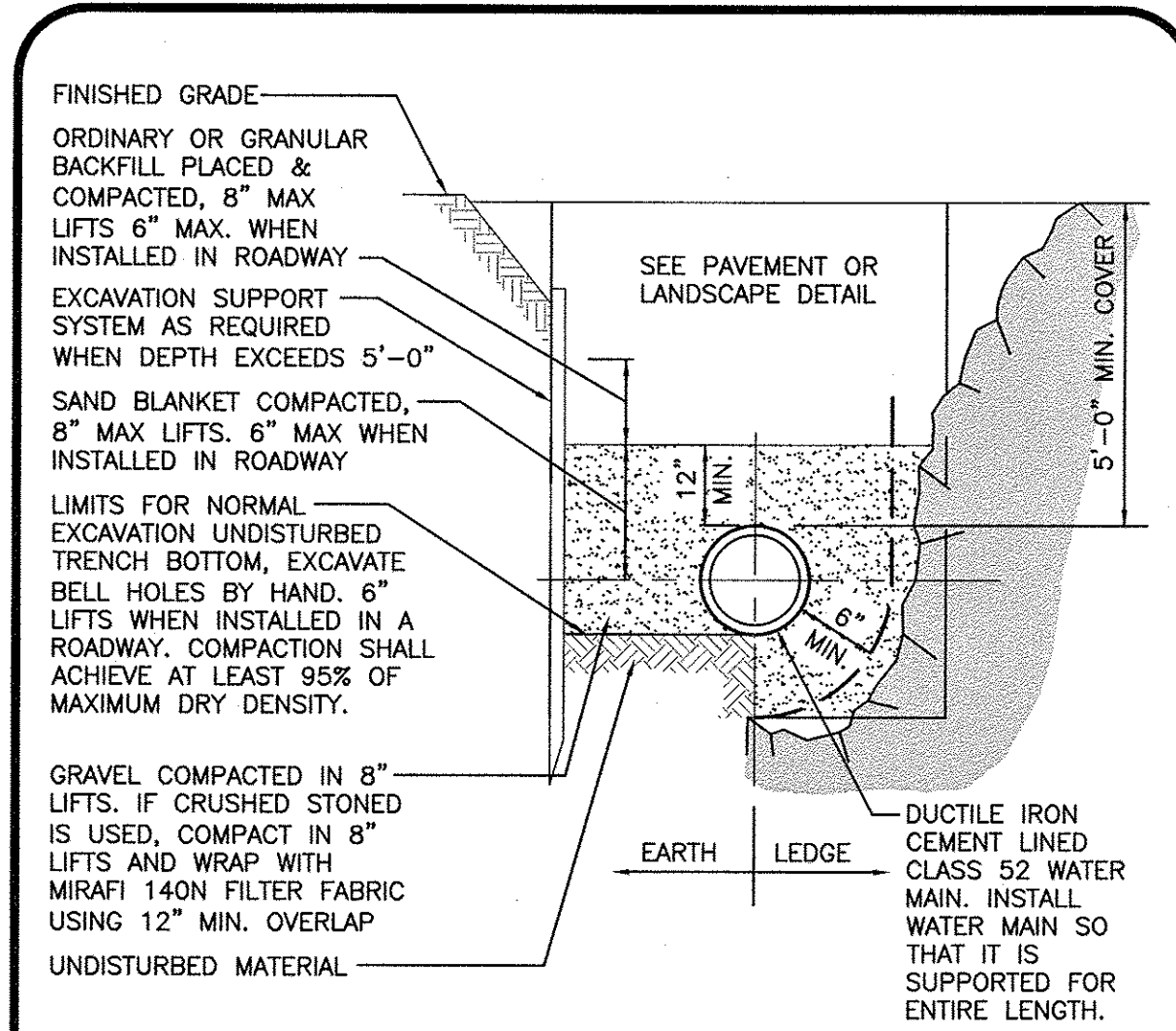
**TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE



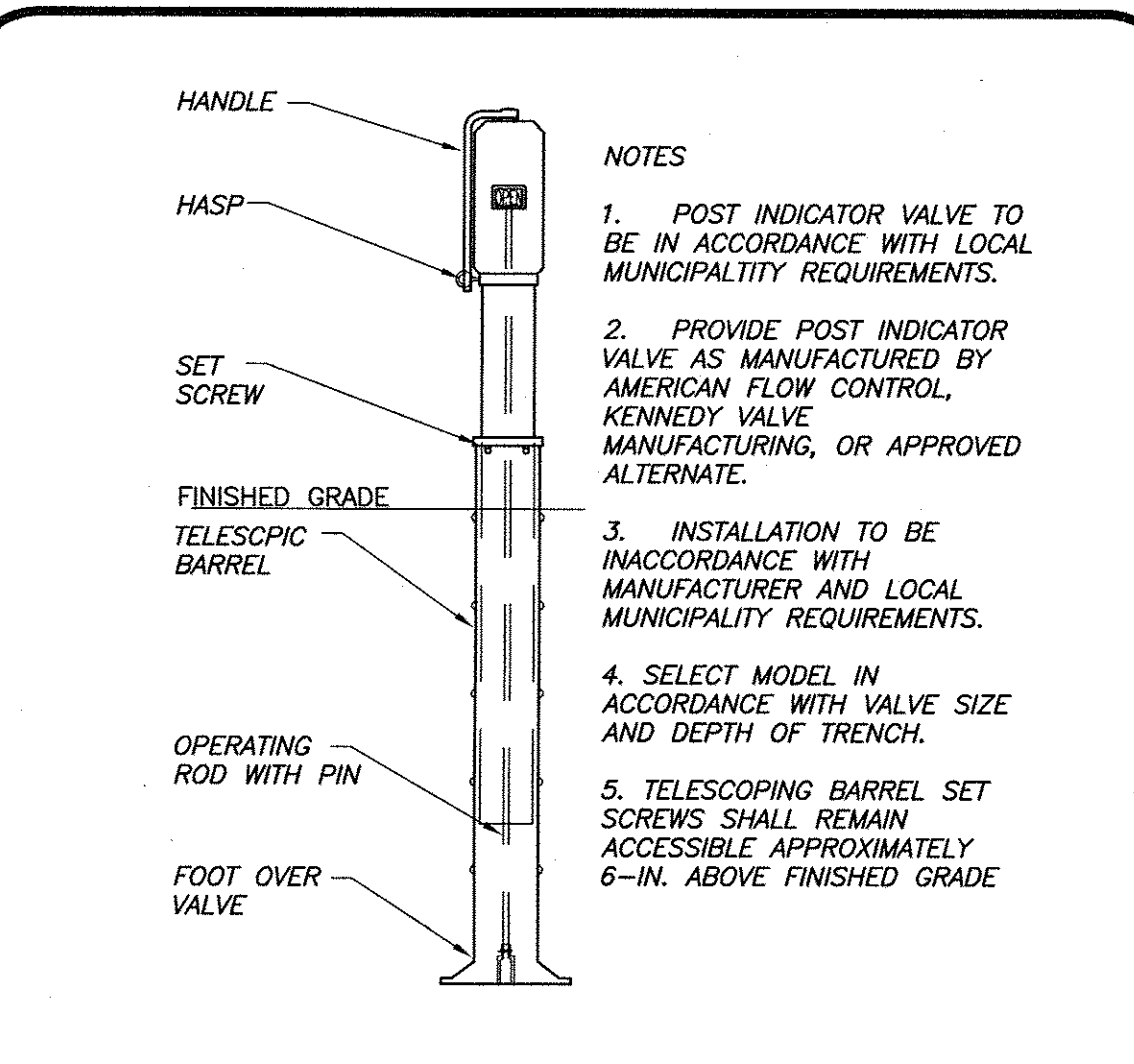
**TAPPING SLEEVE AND VALVE**  
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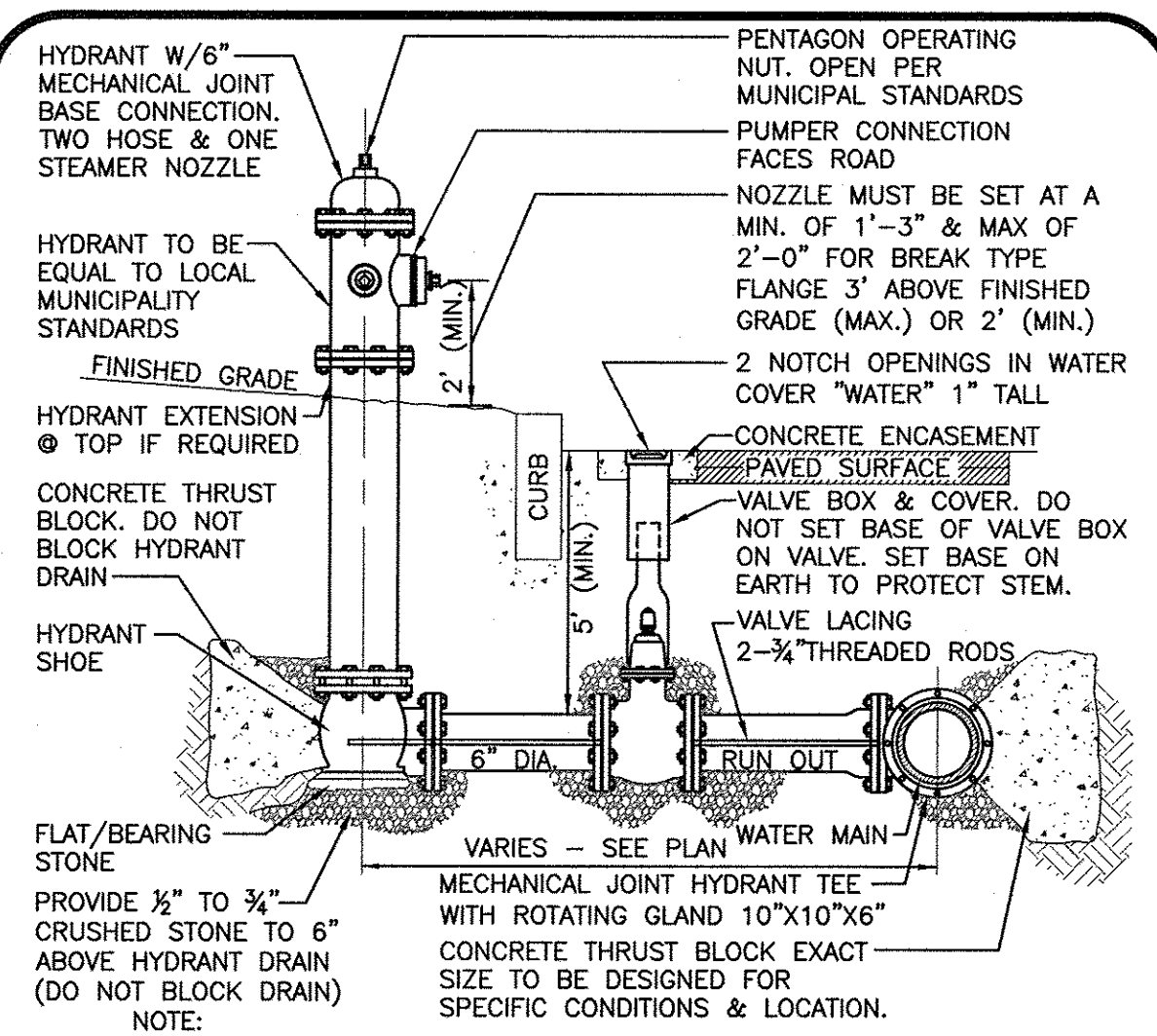
**GATE VALVE DETAIL**  
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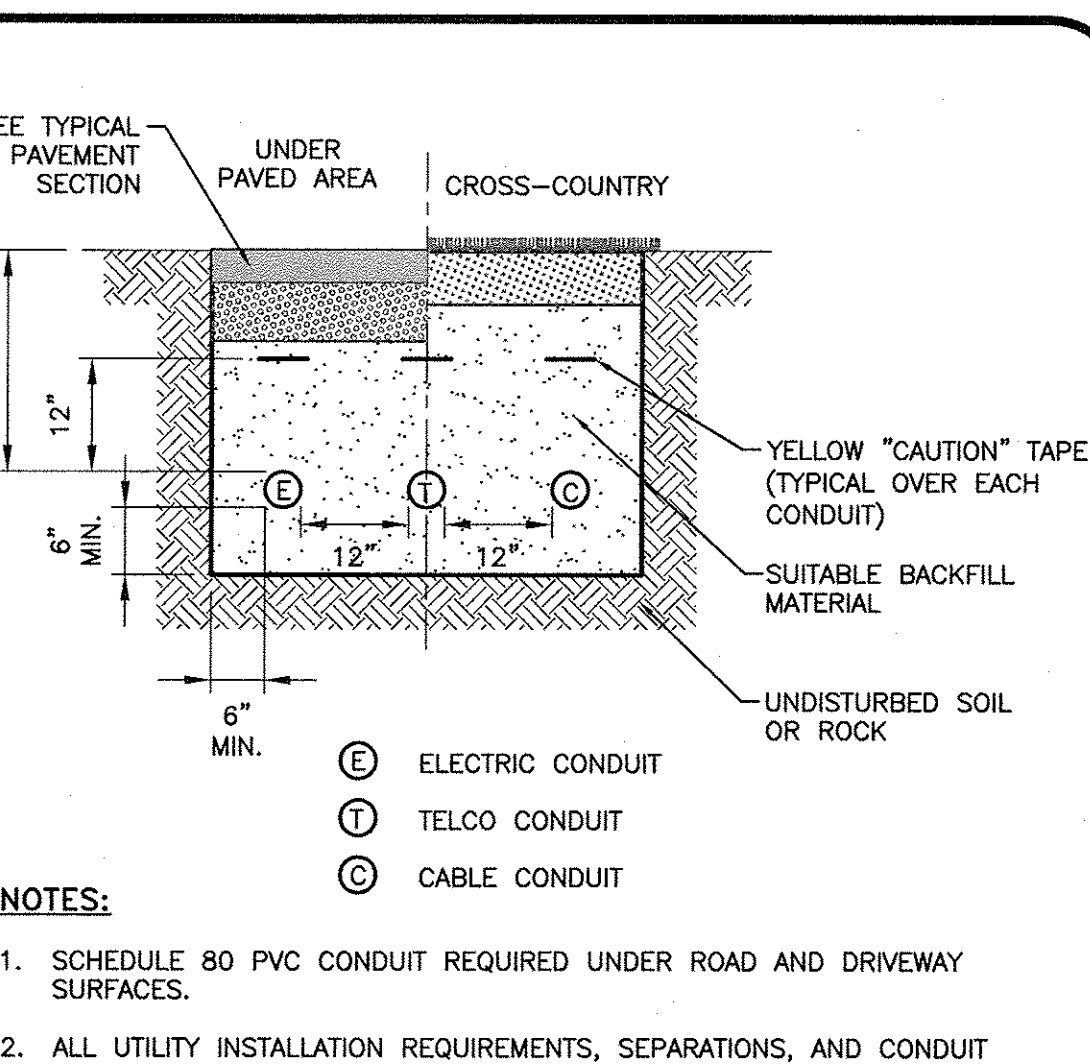
**TYPICAL WATER TRENCH SECTION**  
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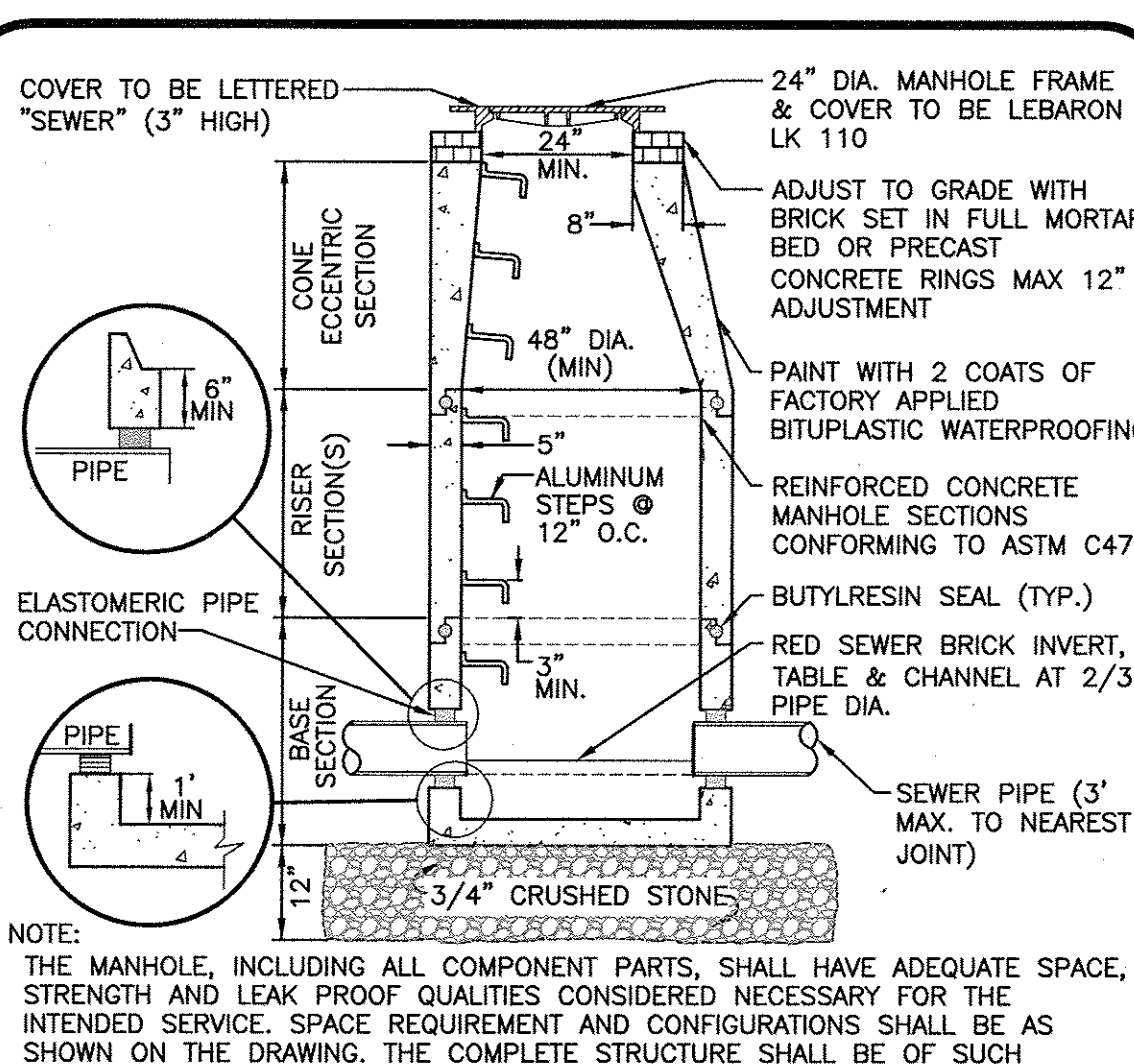
**POST INDICATOR VALVE**  
NOT TO SCALE



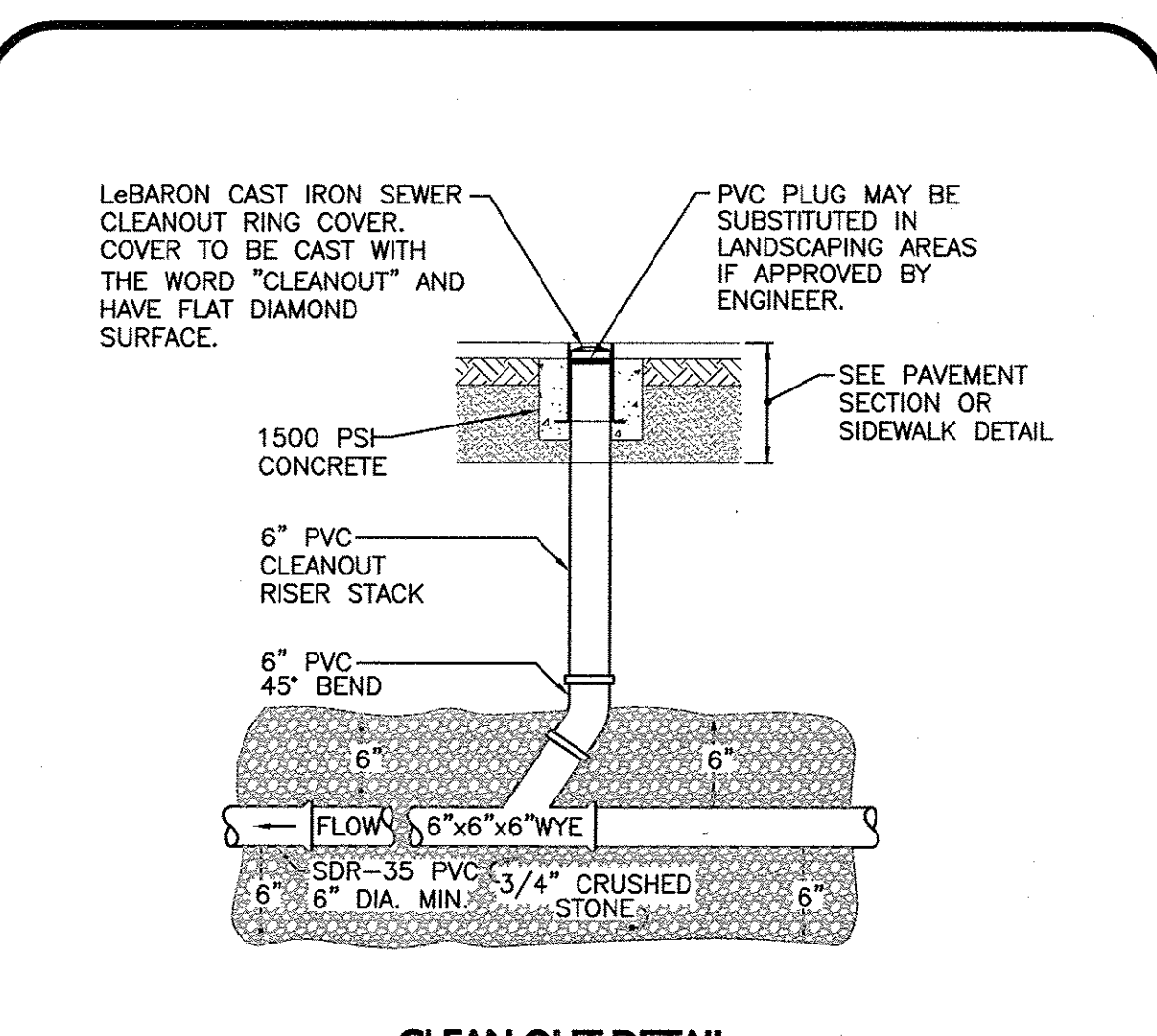
**FIRE HYDRANT CONNECTION**  
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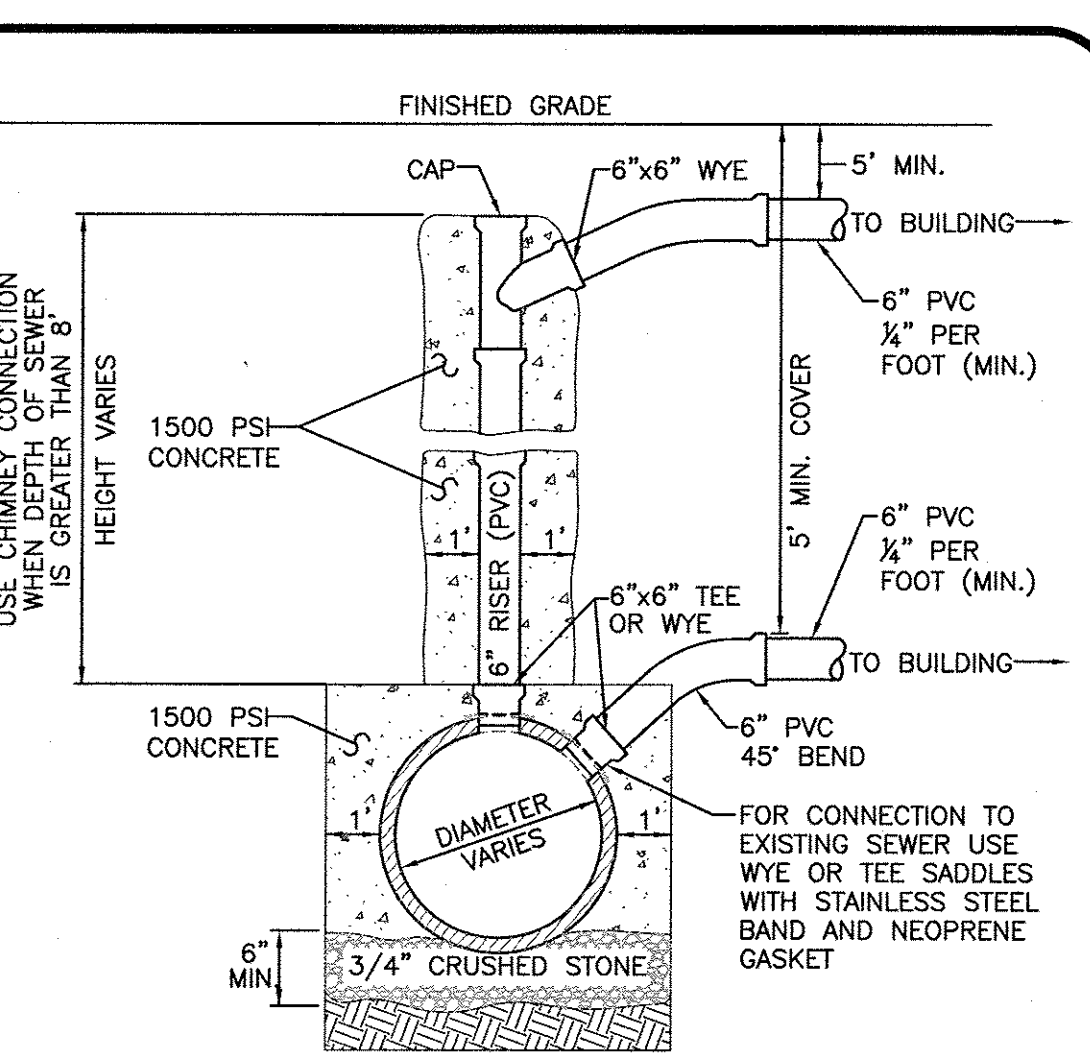
**BURIED CONDUIT DETAIL**  
SCALE: N.T.S.



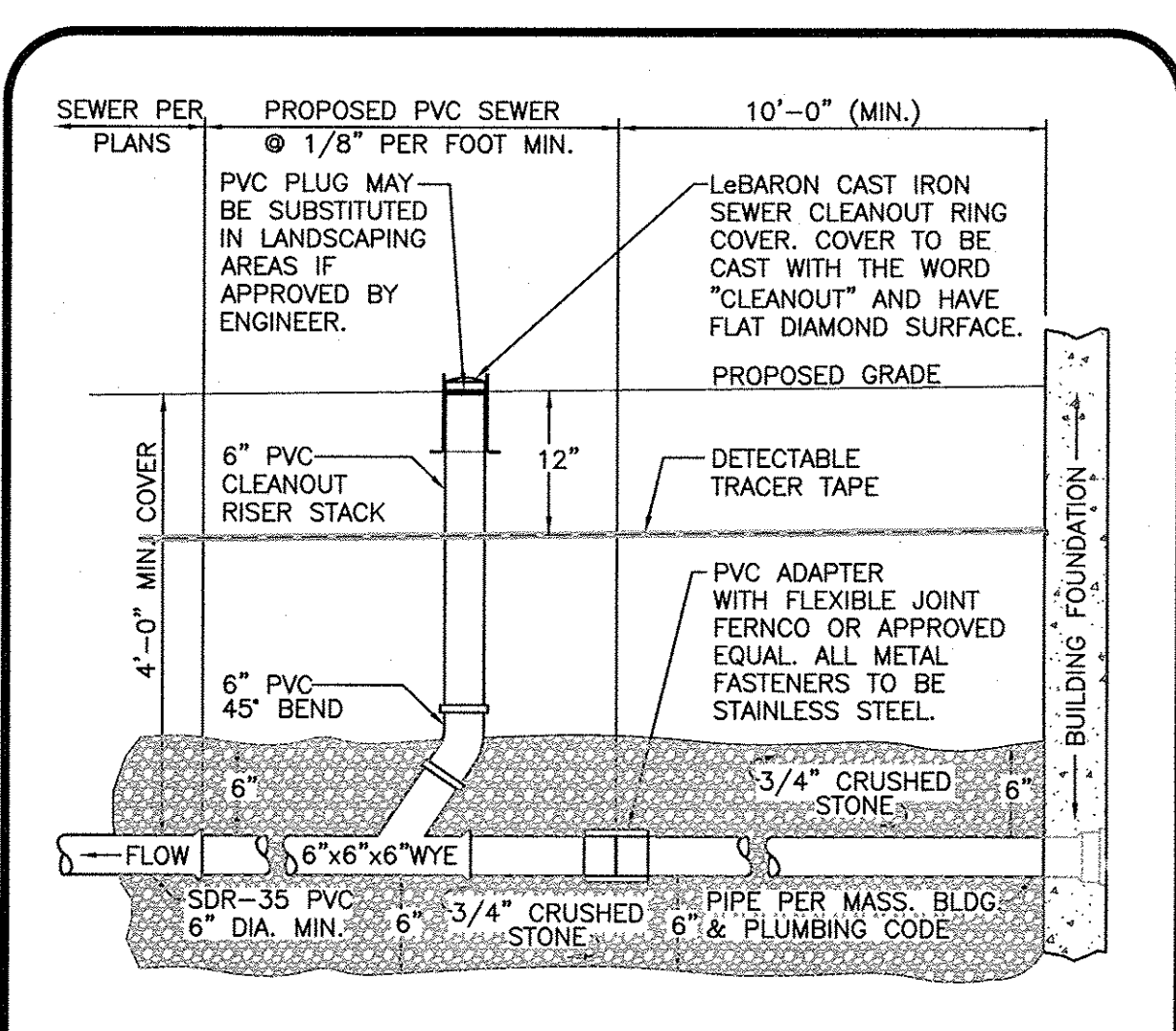
**PRECAST CONCRETE SEWER MANHOLE**  
SCALE: N.T.S.



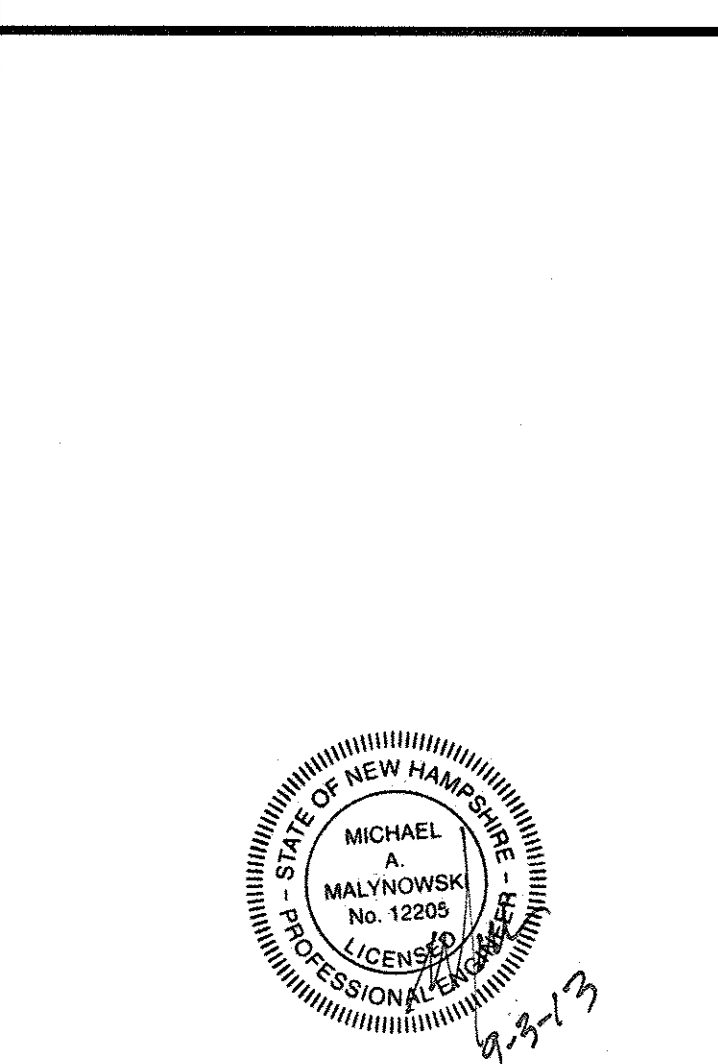
**CLEAN OUT DETAIL**  
SCALE: N.T.S.



**BUILDING SERVICE CONNECTION**  
SCALE: N.T.S.



**BUILDING SEWER SERVICE**  
SCALE: N.T.S.



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**ORION UNH LLC**  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:  
**ORION STUDENT HOUSING**  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

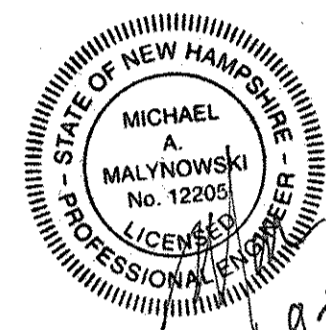
PROJECT NO.	1925-01	DATE:	09-04-13
SCALE:	1" = 20'	DWG. NAME:	C - DETAIL
DRAFTED BY:	WBL	CHECKED BY:	RPC

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
250 COMMERCIAL STREET  
SUITE 1001  
MANCHESTER, NH 03101  
TEL: (603) 627-5500  
FAX: (603) 627-5501  
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DRAWING TITLE:	SHEET NO.
DETAILS	D-2



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REV	DATE	DESCRIPTION

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 225 FRANKLIN STREET, 26TH FLOOR  
 BOSTON, MA 02110

PROJECT:

ORION  
 STUDENT HOUSING  
 MAIN STREET  
 DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: C - DETAIL

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:



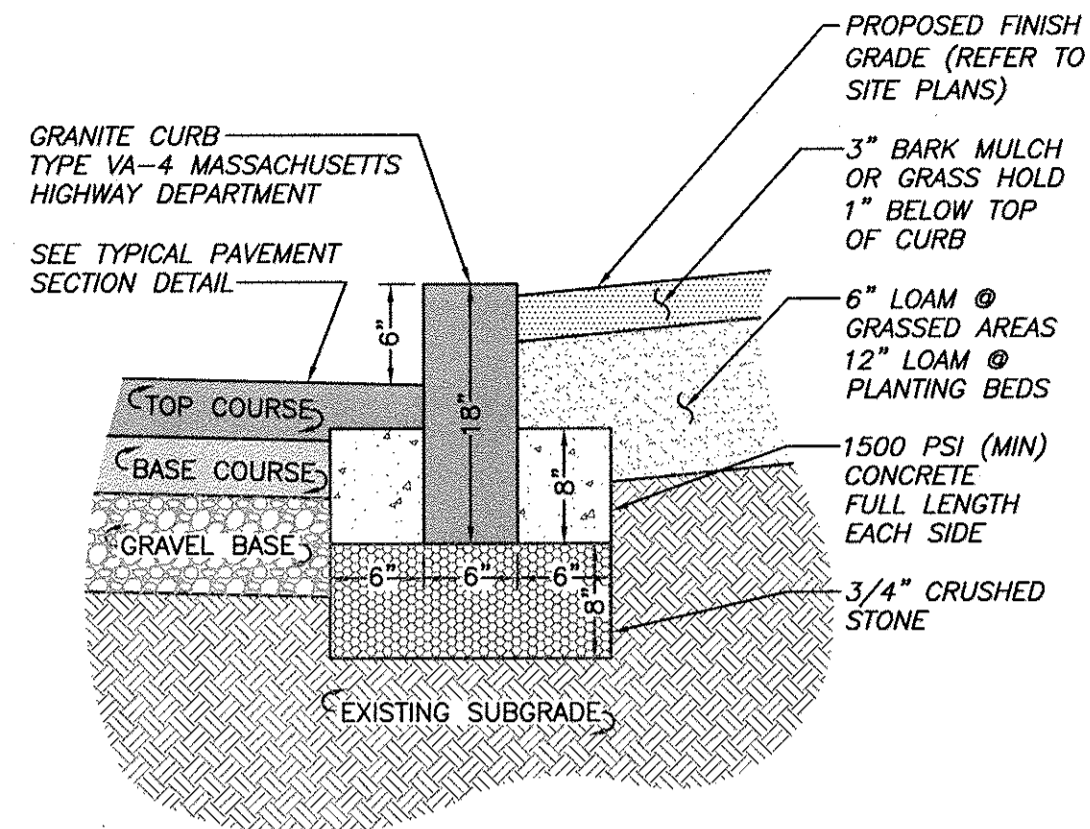
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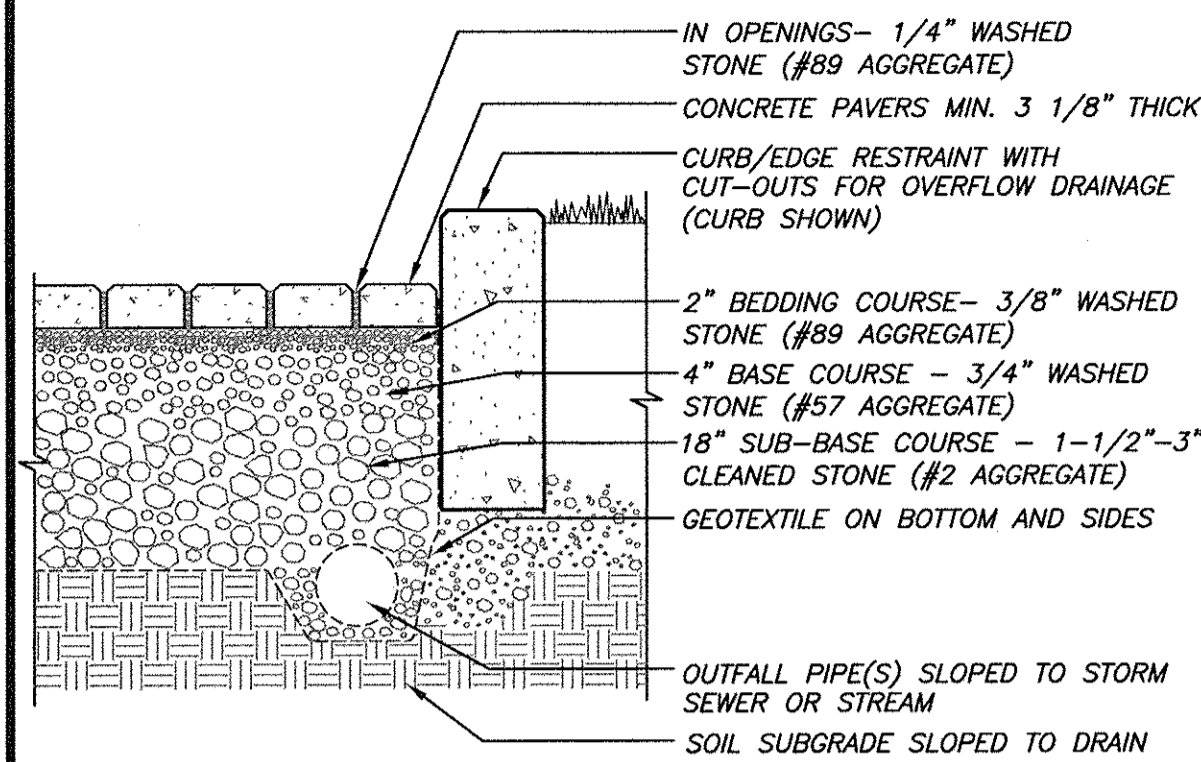
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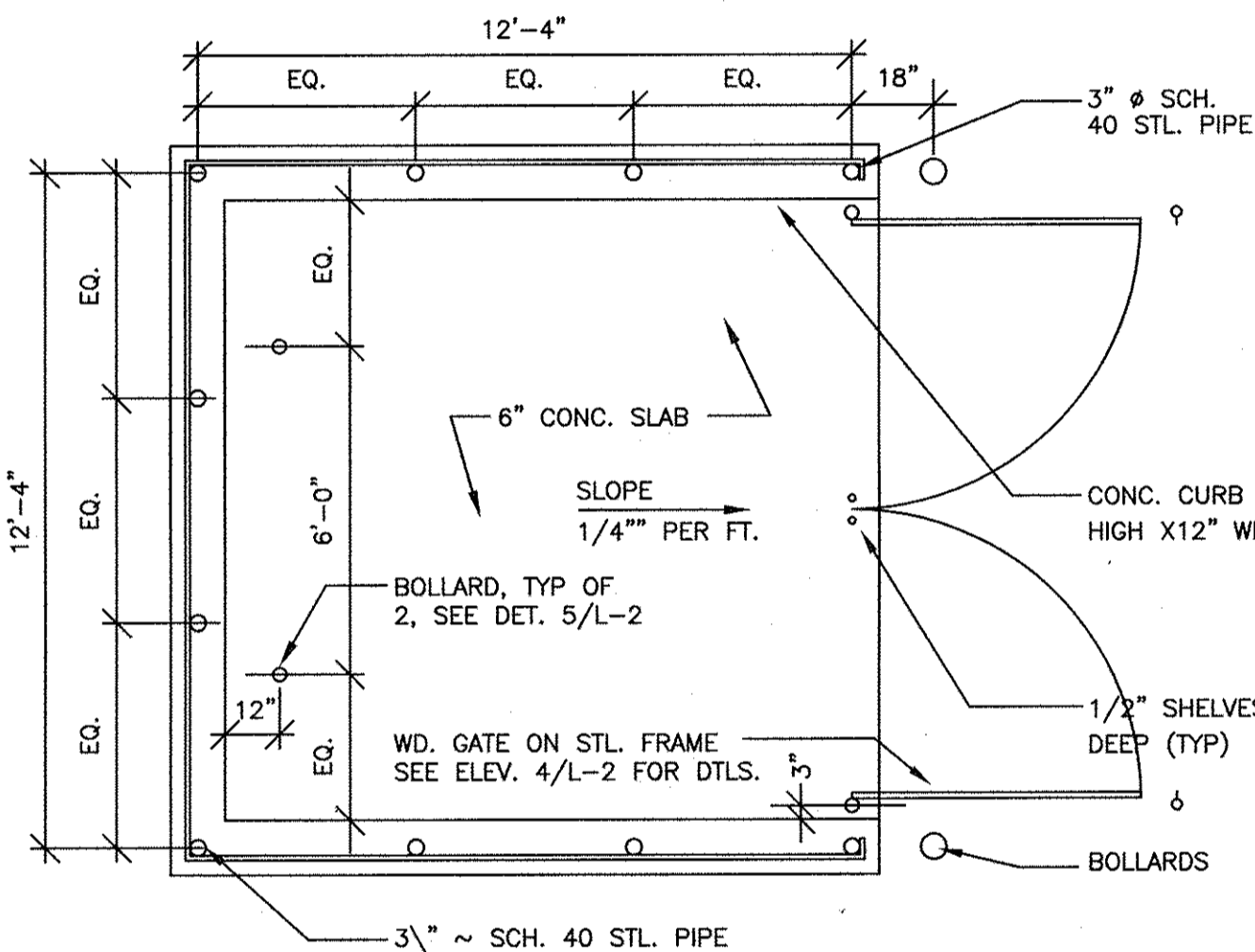
DRAWING TITLE: DETAILS SHEET No. D-3



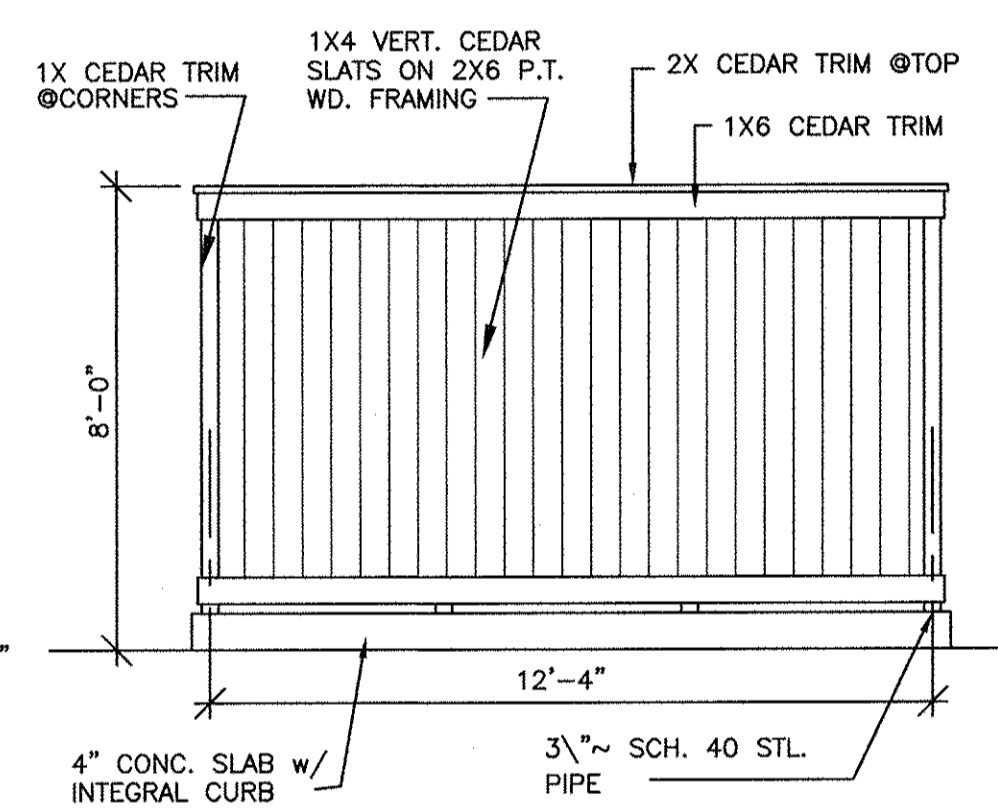
**VERTICAL GRANITE CURB DETAIL**  
 NOT TO SCALE



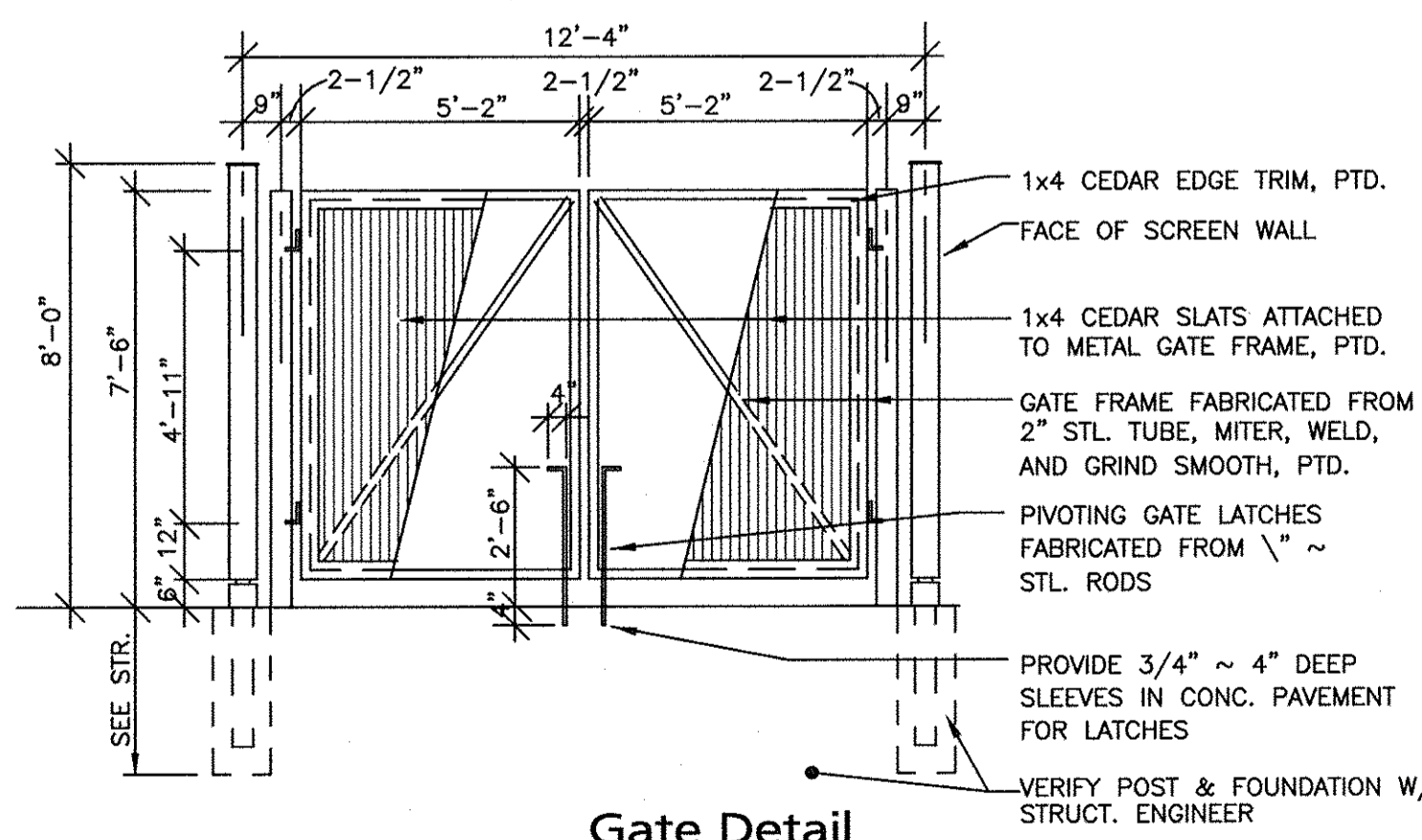
**PERMEABLE PAVER DETAIL**  
 NOT TO SCALE



**Plan View**



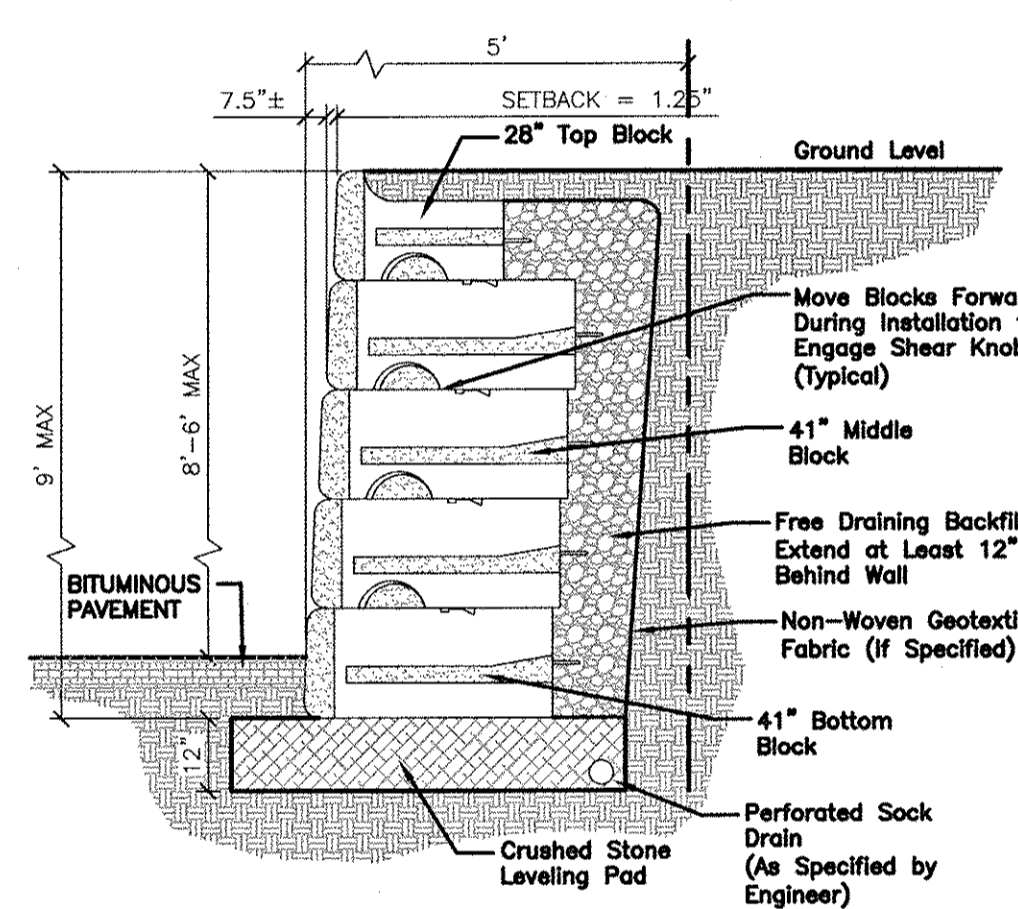
**Elevation View**



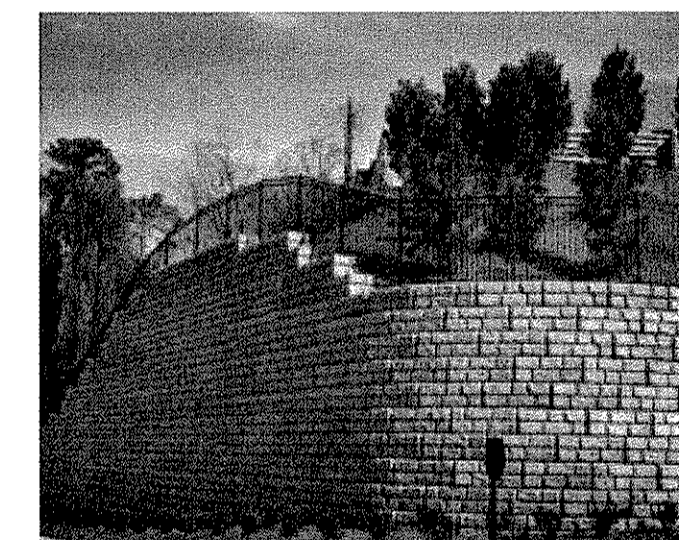
**Gate Detail**

**DUMPSTER ENCLOSURE DETAIL**  
 NOT TO SCALE

NOTE:  
 PAINT ALL TRIM AND WOOD FRAMING TO MATCH BUILDING



**TYPICAL GRAVITY WALL WITH 41" BLOCKS**  
 NO SCALE



SAMPLE PROJECT IN COBBLESTONE TEXTURE

**COBBLESTONE**



TOP BLOCK Weight: 1225 lbs. | 46" x 28" x 18" High | 5.75 sq. ft. of face



MIDDLE BLOCK Weight: 2400 lbs. | 46" x 41" x 18" High | 5.75 sq. ft. of face



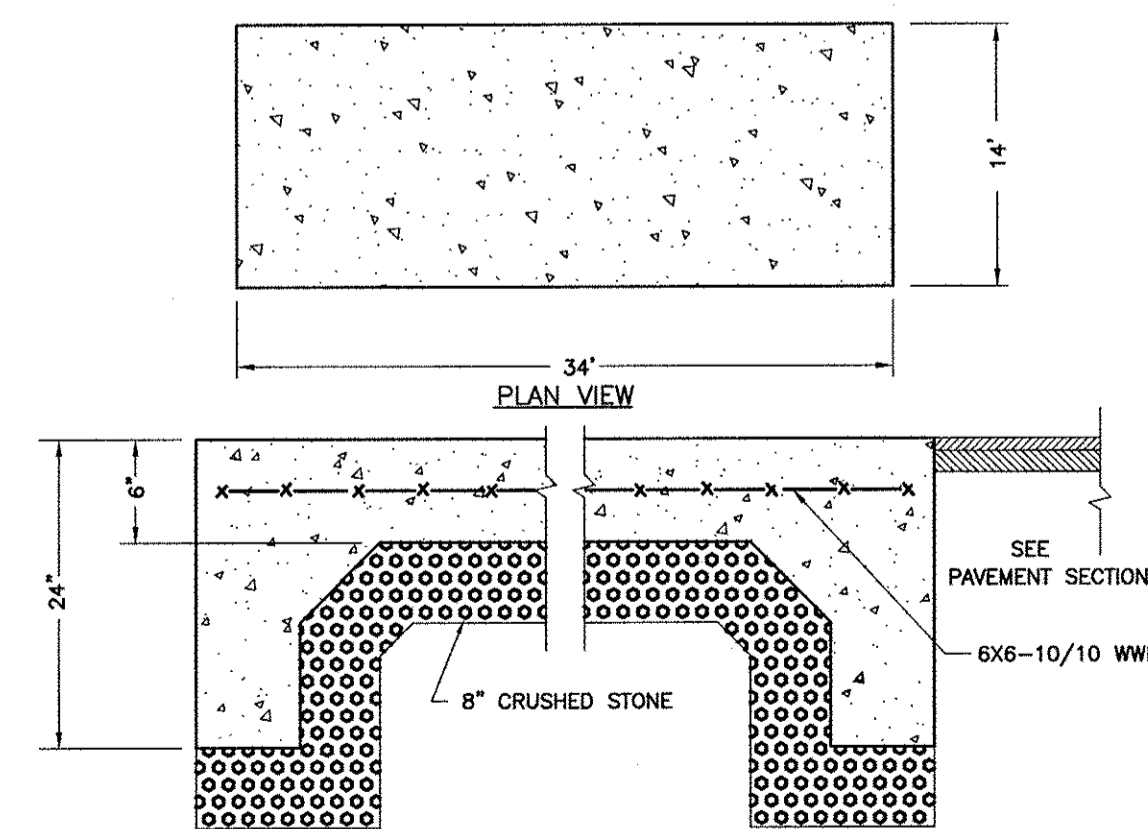
BOTTOM BLOCK Weight: 2900 lbs. | 46" x 41" x 18" High | 5.75 sq. ft. of face

REDI-ROCK WALL BLOCK STYLE - COBBLESTONE

**GENERAL NOTES:**

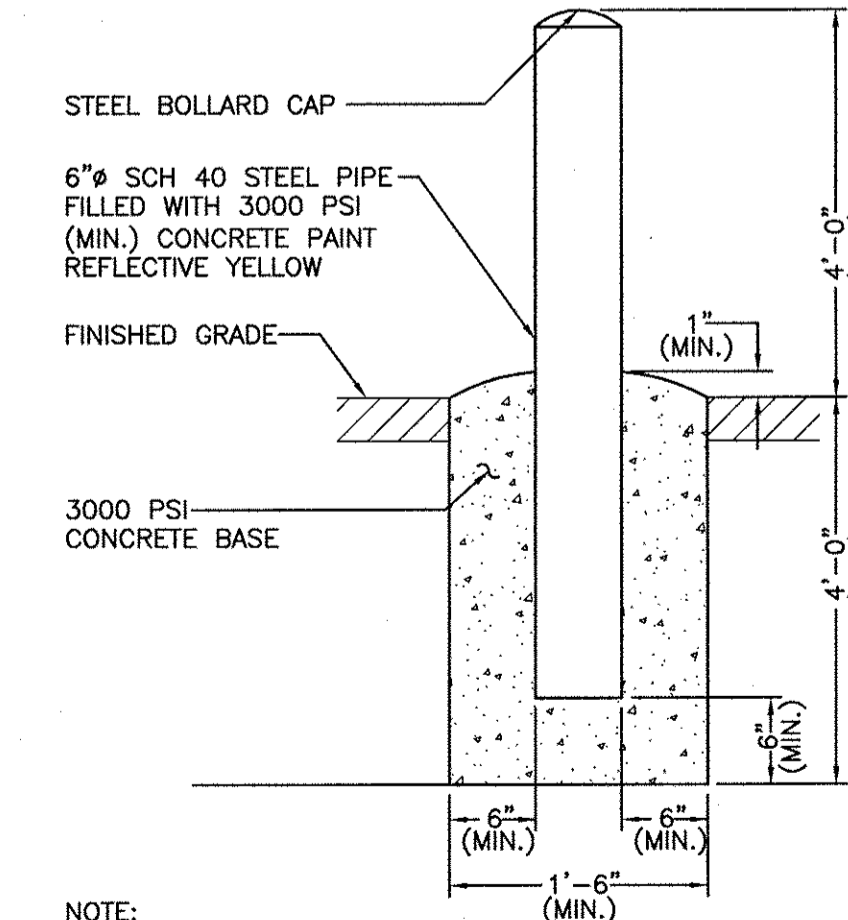
1. WALL UNITS SHALL BE REDI-ROCK® AS PRODUCED BY A LICENSED MANUFACTURER.
2. REFER TO PLANS FOR LOCATION AND HEIGHT

SYSTEMS & DETAILS SHOWN ON THESE PLANS ARE PROTOTYPICAL IN NATURE. FULL SHOP DRAWINGS STAMPED BY A MASSACHUSETTS PROFESSIONAL ENGINEER WILL BE REQUIRED FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.



**CONCRETE DUMPSTER PAD DETAIL**  
 NOT TO SCALE

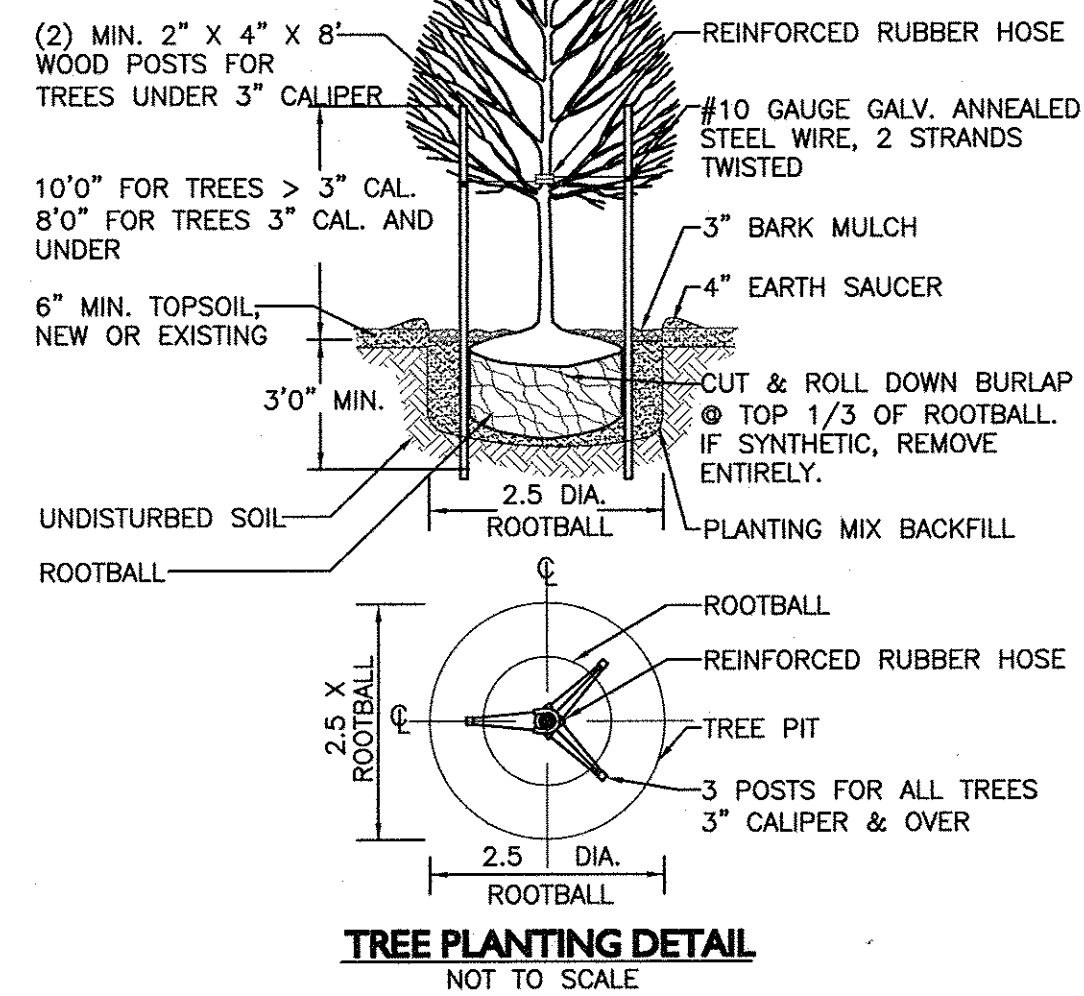
NOTE: EXISTING DUMPSTER ENCLOSURE FENCE SHALL BE RE-INSTALLED AROUND THE PROPOSED DUMPSTER. PROVIDE NEW FENCE SECTIONS TO MATCH EXISTING WHERE NECESSARY.



**FIXED BOLLARD DETAIL**  
 NOT TO SCALE

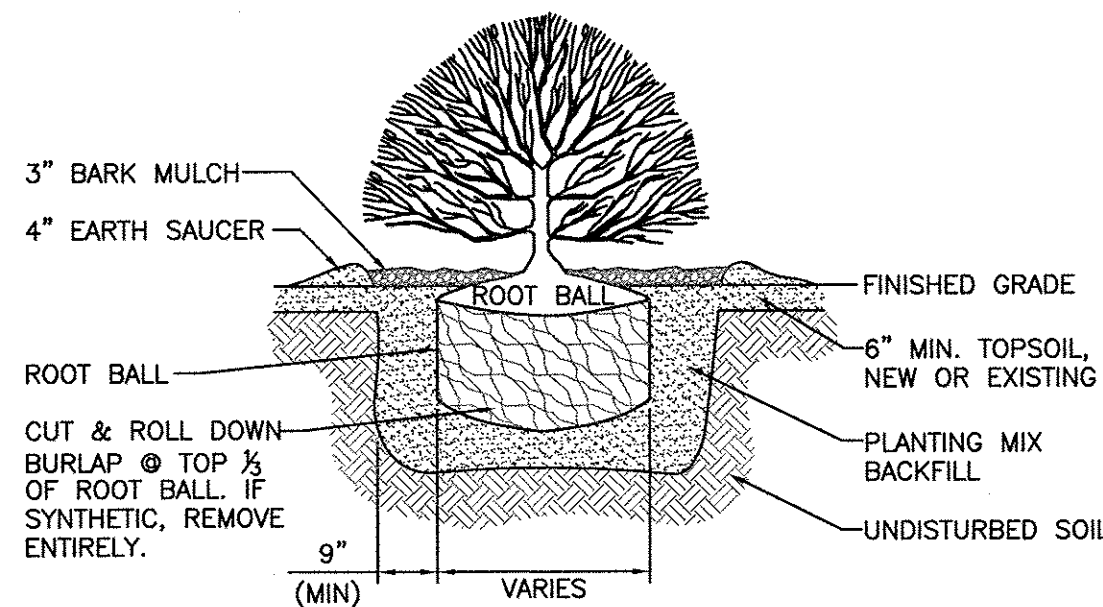
NOTE:  
 ALL EXPOSED PIPE SHALL BE PAINTED WITH CATALYZED EPOXY PAINT. (COLOR AS DIRECTED BY ENGINEER) A BITUMASTIC COATING SHALL BE APPLIED TO ALL PIPE BELOW GRADE

NOTE:  
ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE



**TREE PLANTING DETAIL**  
NOT TO SCALE

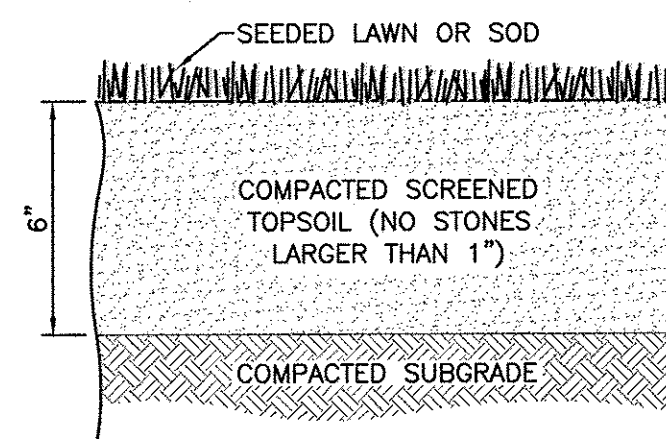
NOTE:  
1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING.  
2. ALL SHRUBS ARE TO BE PLANTED AT 3'-0" O.C. OR AS SPECIFIED ON THE PLANS.



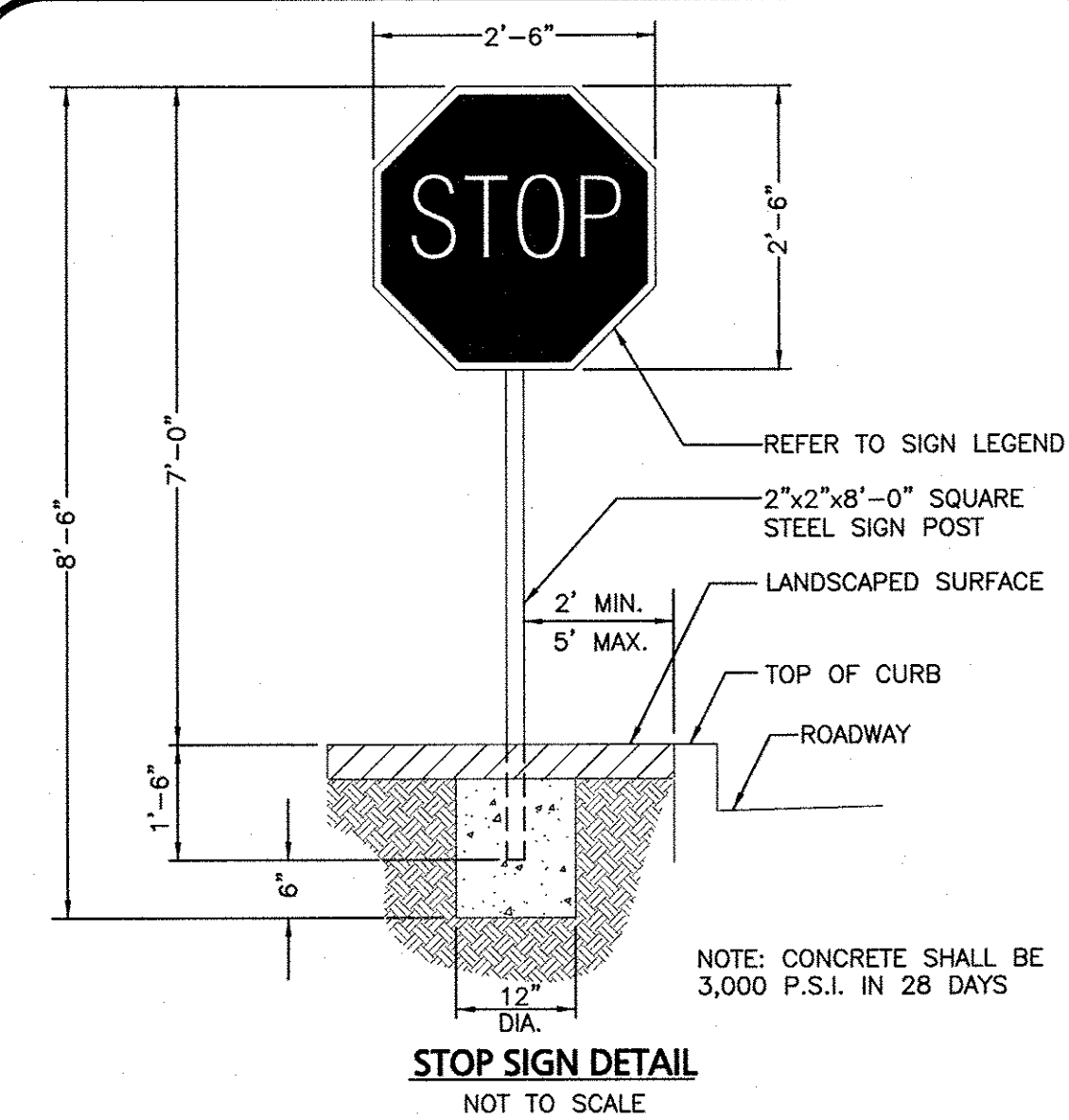
**SHRUB PLANTING DETAIL**  
NOT TO SCALE

NOTES:  
1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.  
2. TOPSOIL SHALL BE FERTILE, FRIABLE SOIL, TYPICAL OF PRODUCT SOILS IN THE SURROUNDING AREA AND SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1" AND SHALL CONFORM TO THE FOLLOWING GRADATION:

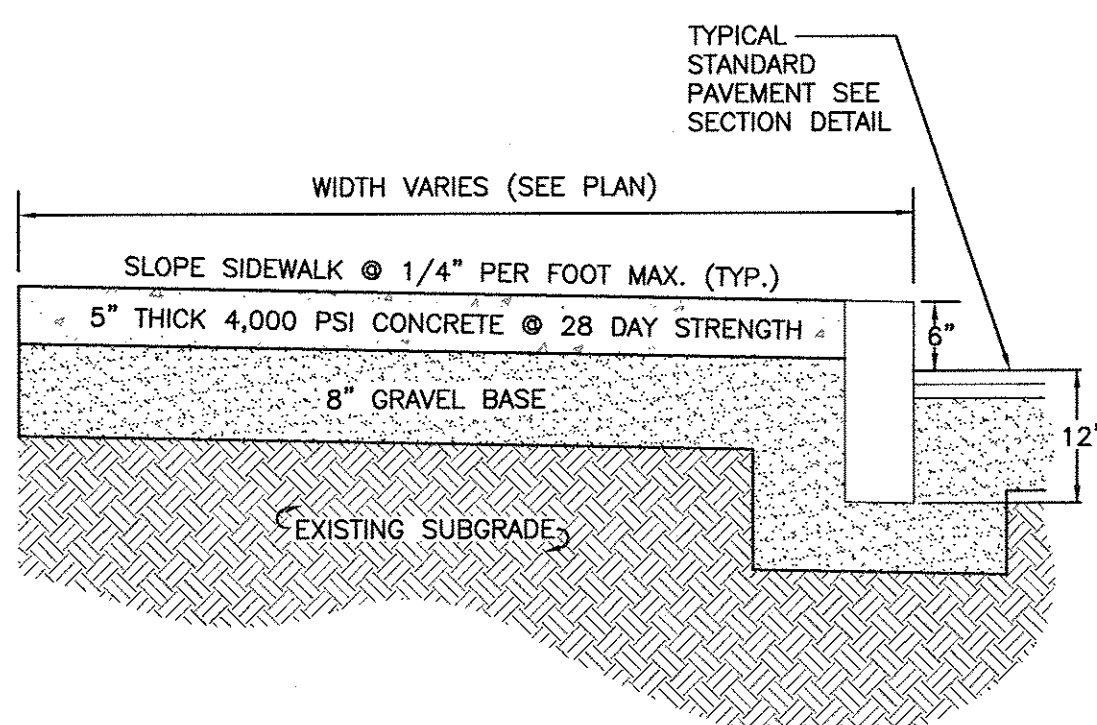
SIEVE	% PASSING
1"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	28-40



**SEEDED OR SODDED LAWN DETAIL**  
NOT TO SCALE

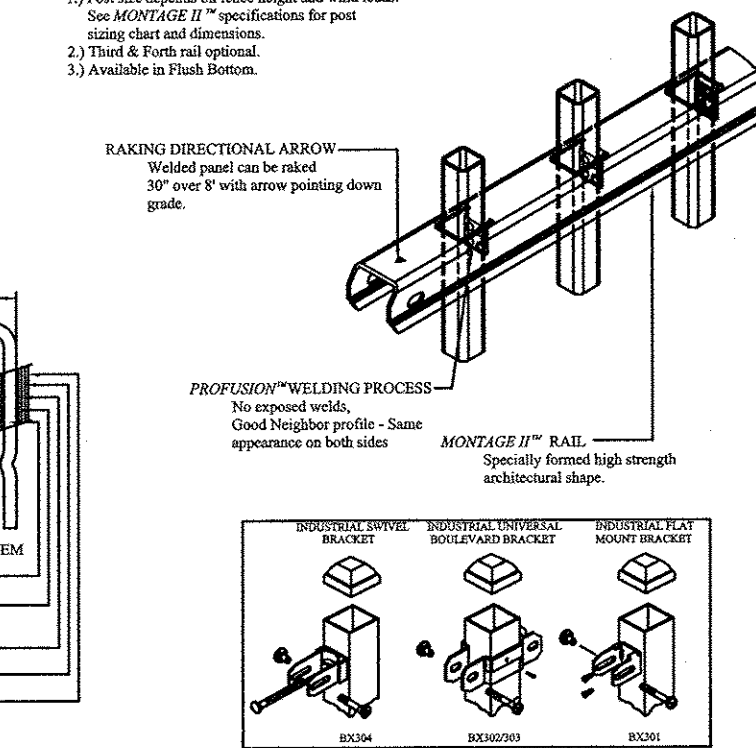
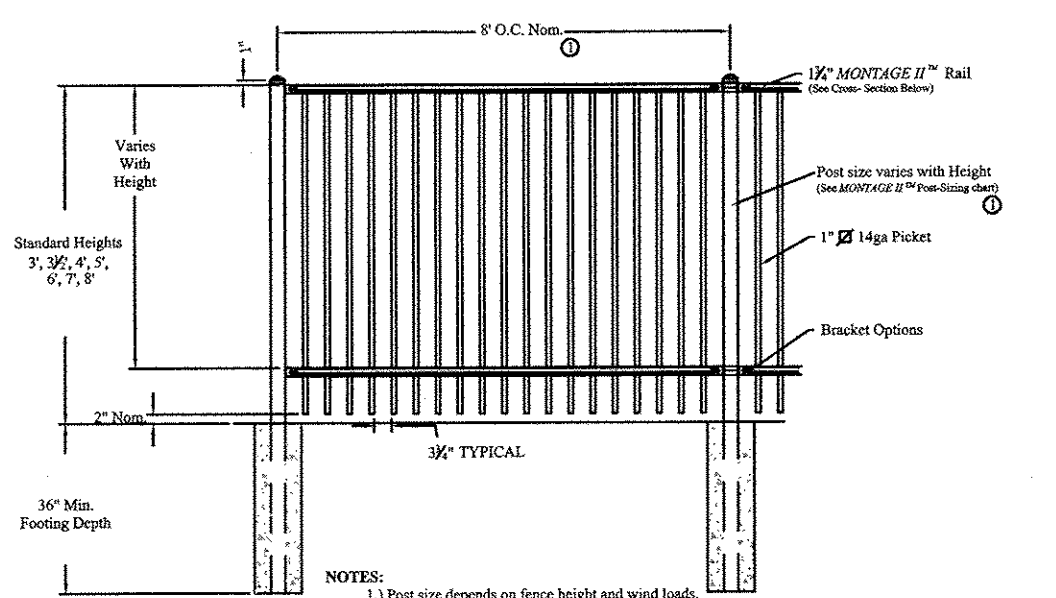


**STOP SIGN DETAIL**  
NOT TO SCALE



NOTES:  
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.  
2. TOOLED JOINT 6" FROM FACE OF CURB  
3. SEE PLAN FOR ELEVATIONS AT CURB

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**Front View**  
(NO SCALE)

**Side View**  
(NO SCALE)

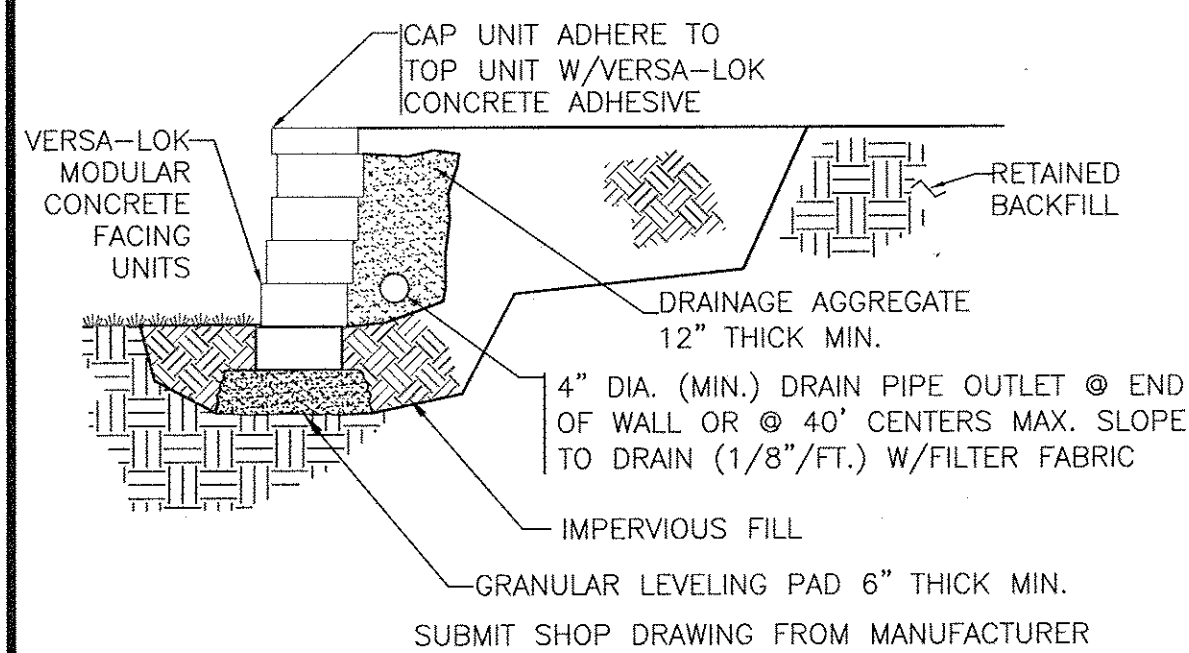
**Top View**  
(NO SCALE)

**TYPICAL FENCE INSTALLATION WITH REDI-ROCK WALLS**  
NOT TO SCALE

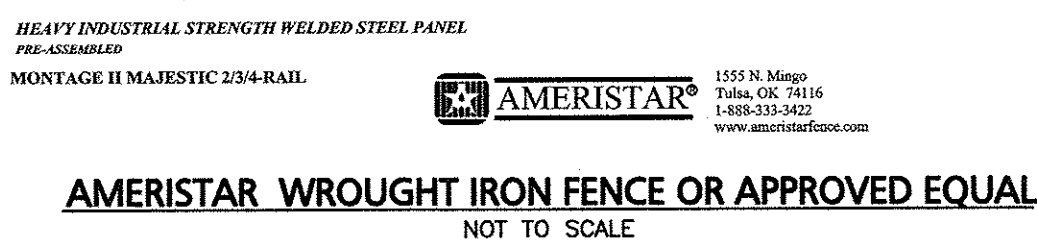
SYSTEMS & DETAILS SHOWN ON THESE PLANS ARE PROTOTYPICAL IN NATURE. FULL SHOP DRAWINGS WILL BE REQUIRED FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.

NOTE 1: 5' HIGH SECURITY FENCE SHALL BE BASED ON MAVERICK C (COMMERCIAL) "BARCELONA" DESIGN WITH 3 HORIZONTAL RAILS AND 4" RINGS BY IRON WORLD FENCING. COLOR TO BE DETERMINED BY ARCHITECT.

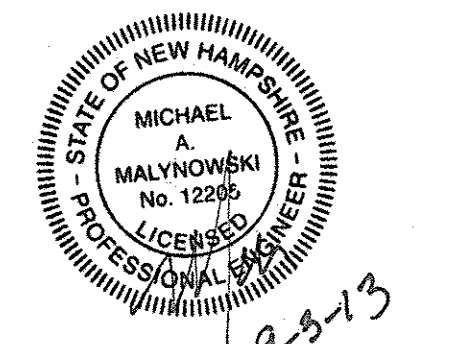
CONNECTION OPTION #3  
• Core Through Top Block and Grout Posts in V-Shaped Opening Between Blocks in Second Course Down  
• Spacing in Multiples of 46 1/8" Increments  
• Mass of 2 Adjacent Blocks in Second Level Down and 3 Top Row Blocks Available to Resist Overturning Forces



**TYPICAL SECTION VERSA-LOK RETAINING WALL**  
NOT TO SCALE



**AMERISTAR WROUGHT IRON FENCE OR APPROVED EQUAL**  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
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225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:  
**ORION STUDENT HOUSING**  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: C - DETAIL

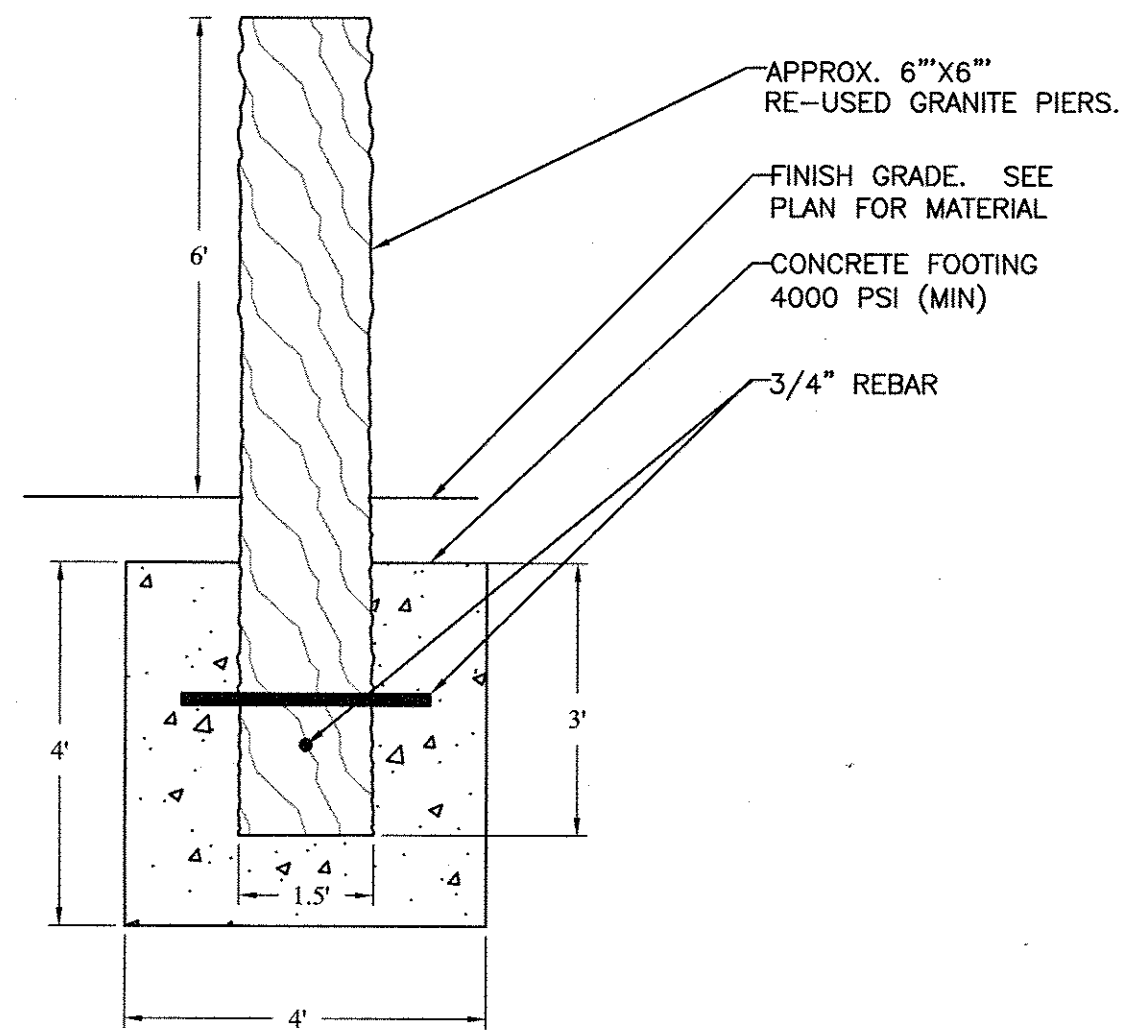
DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:

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environmental consulting • landscape architecture  
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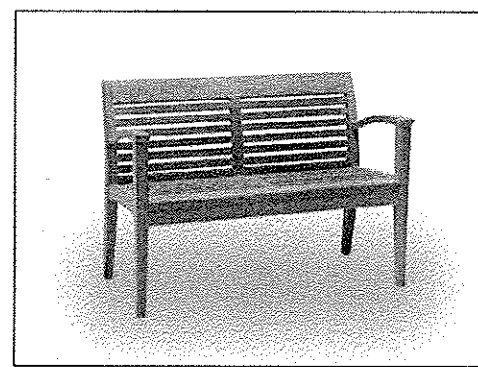
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DRAWING TITLE: <b>DETAILS</b>	SHEET No. <b>D-4</b>
----------------------------------	-------------------------

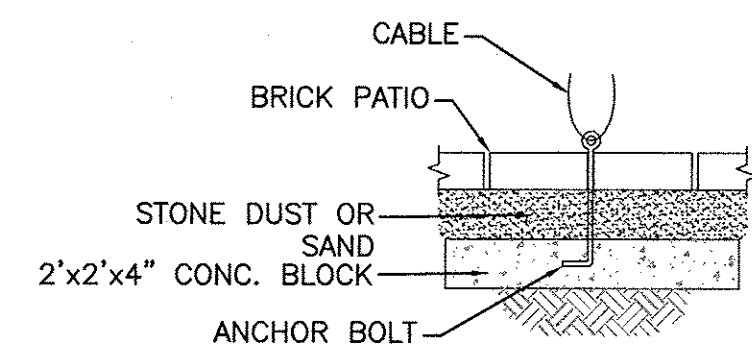


NOTES:  
 1. LANDSCAPE ARCHITECT TO APPROVE GRANITE IN FIELD.  
 2. PIERS TO BE RE-USED FROM EXISTING FOUNDATION OF OFF-SITE QUARRY SOURCE. SUBMIT SOURCE FOR APPROVAL.

**GRANITE PIER**  
 NOT TO SCALE



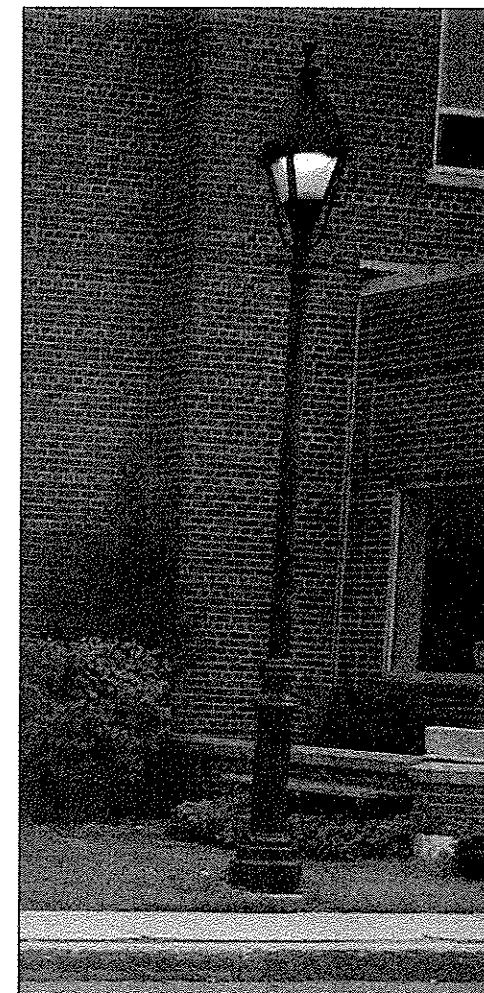
**48 Inch Teak Bench**  
 Quantity = 4



**Teak Furniture Anchor Detail**

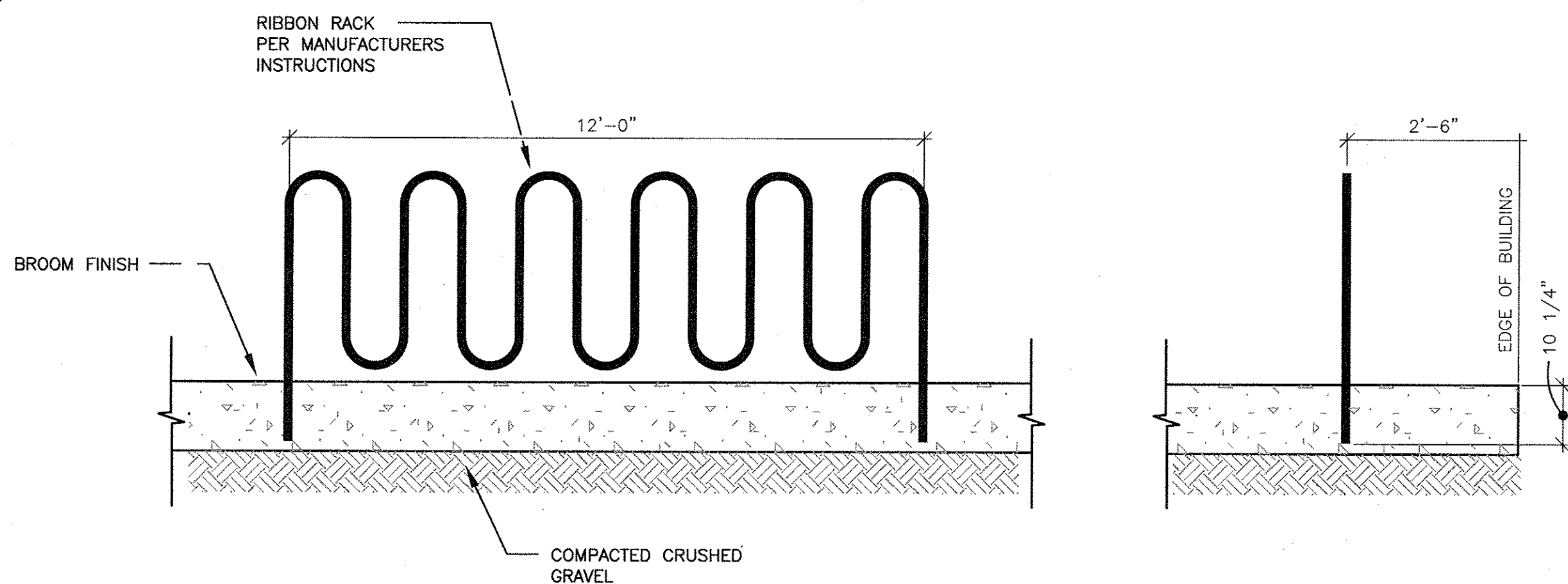
CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL BY ENGINEER PRIOR TO INSTALLATION

**TEAK BENCH DETAIL**  
 NOT TO SCALE



NOTE:  
 MATCH EXISTING LAMP POST STYLE

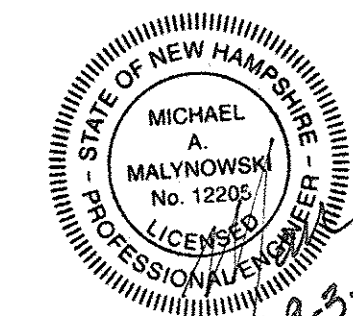
**LAMP POST DETAIL**



**BICYCLE RACK DETAIL**  
 NOT TO SCALE

23 High Street  
 Portsmouth, NH 03801  
 P: 603.431.8701  
 F: 603.422.8707

**D/A**  
 DeStefano ARCHITECTS



PROFESSIONAL ENGINEER FOR  
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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 225 FRANKLIN STREET, 26TH FLOOR  
 BOSTON, MA 02110

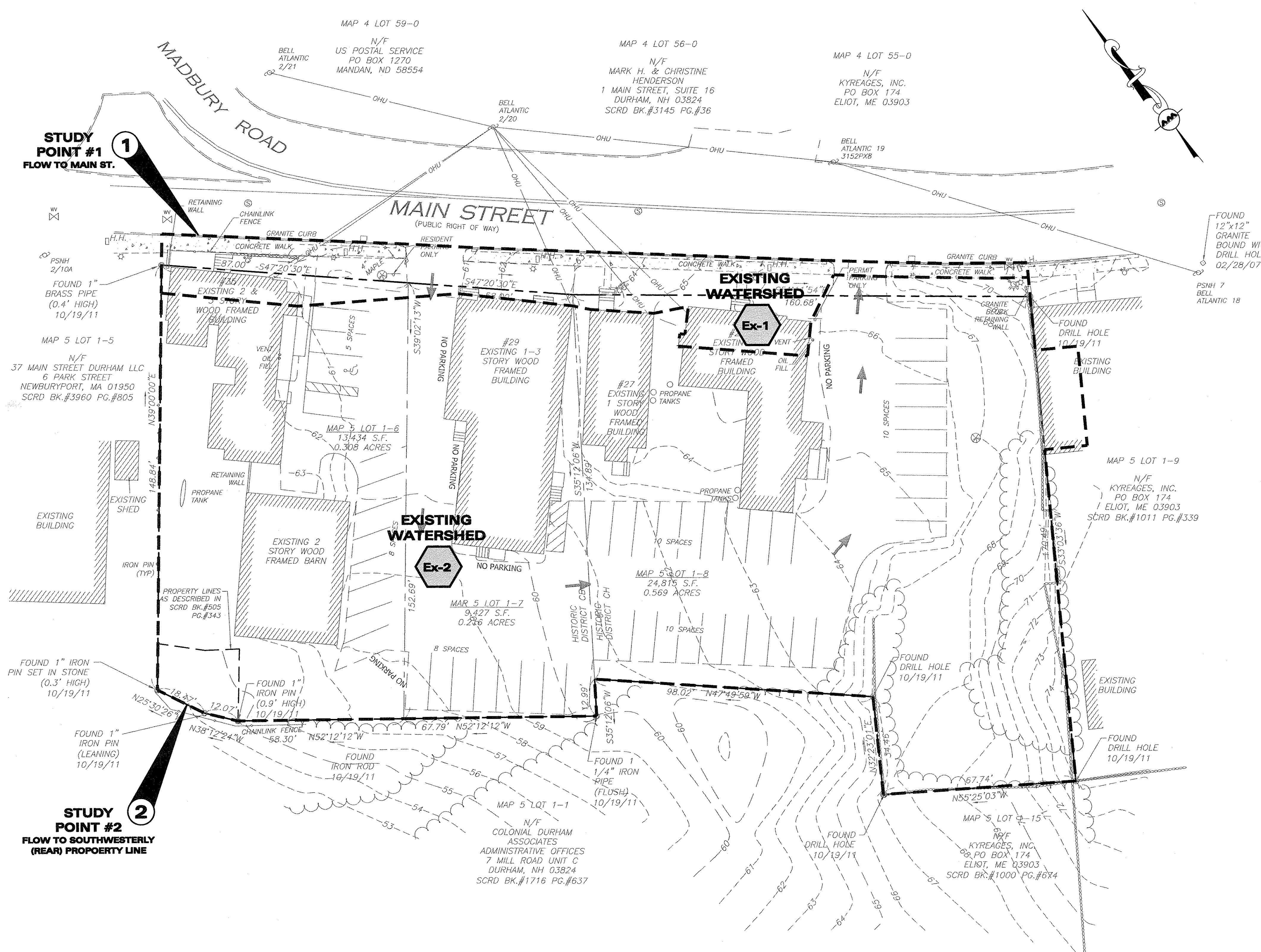
PROJECT:  
**ORION STUDENT HOUSING**  
 MAIN STREET  
 DURHAM, NEW HAMPSHIRE

PROJECT NO.	1925-01	DATE:	09-04-13
SCALE:	1" = 20'	DWG. NAME:	C - DETAIL
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DRAWING TITLE:	SHEET No.
DETAILS	D-5



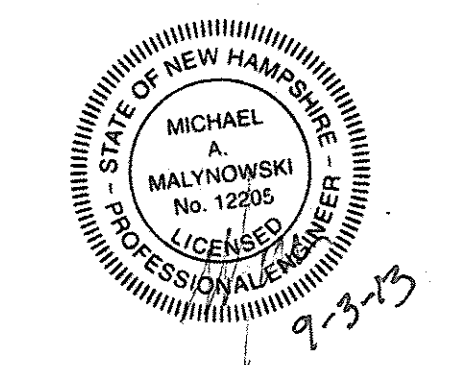
**PRE-DEVELOPMENT LEGEND:**

- EX. PROPERTY LINE
- PRE-DEV. WATERSHED AREA
- SCS SOILS BOUNDARY
- To FLOW PATH
- WETLAND
- WETLAND BUFFER 25'
- WETLAND BUFFER 50'
- WETLAND BUFFER 100'
- SHORELINE/EDGE OF WATER
- FLOODPLAIN
- WETLAND DISTURBANCE
- WETLAND REPLICATION

**D|A**  
DeStefano Architects

23 High Street  
Portsmouth, NH 03801

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PROJECT NO. 1925-01 DATE: 09-04-13

SCALE: 1" = 20' DWG. NAME: C-LAYOUT

DRAFTED BY: WBL CHECKED BY: RPC

PREPARED BY:

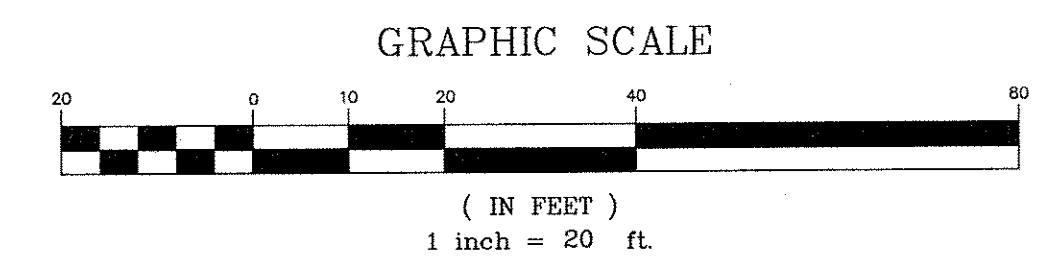
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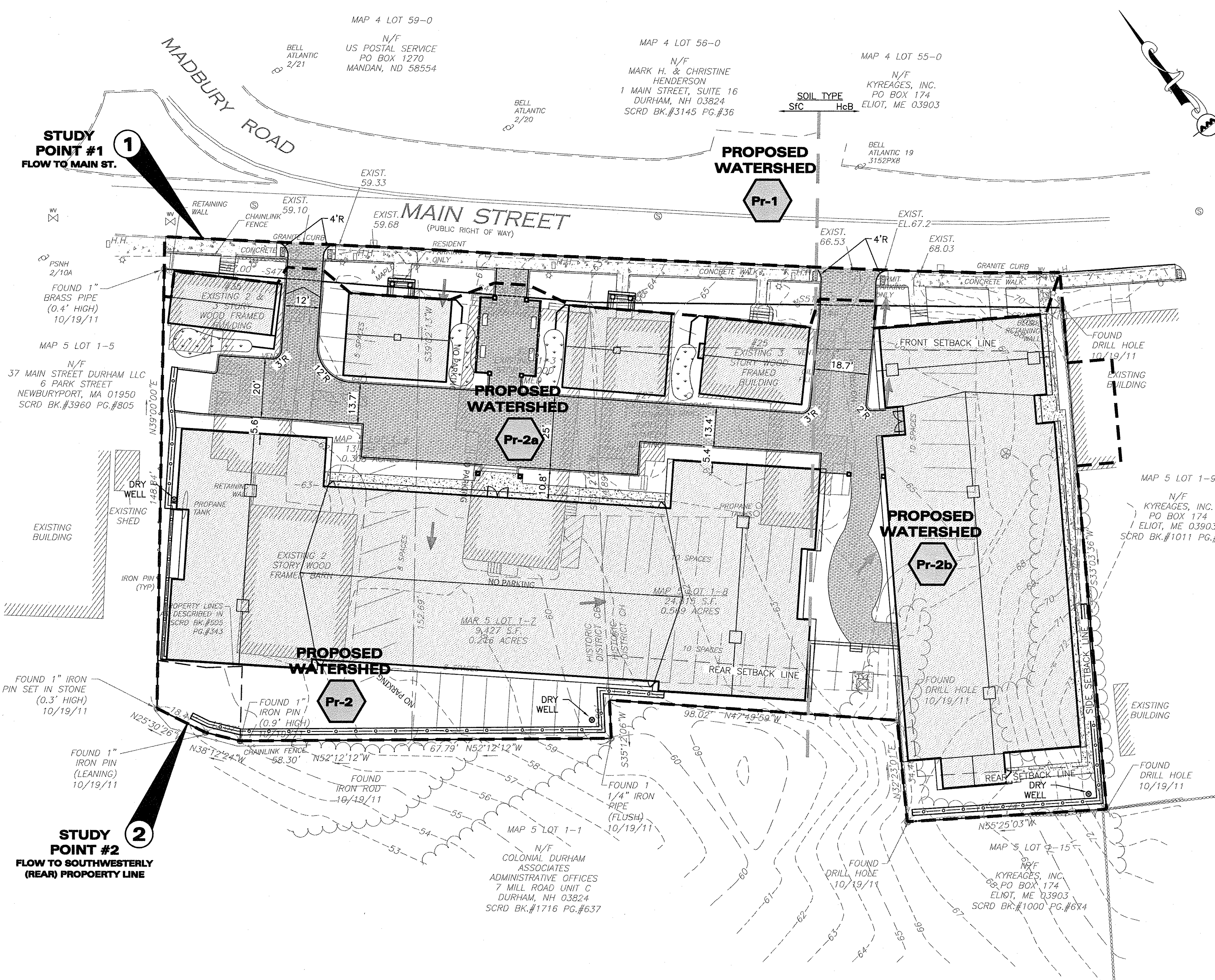
100 COMMERCE WAY  
P.O. BOX 2118  
WOBURN MA 01888-0118  
TEL: (781) 935-6889  
FAX: (781) 935-2896

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DRAWING TITLE: **EXISTING WATERSHED PLAN** SHEET No. **EW1P**



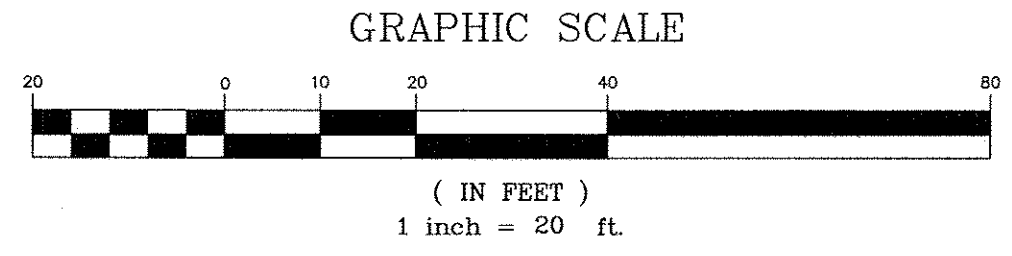


**STUDY POINT #1**  
FLOW TO MAIN ST.

**STUDY POINT #2**  
FLOW TO SOUTHWESTERLY  
(REAR) PROPERTY LINE

**POST DEVELOPMENT LEGEND:**

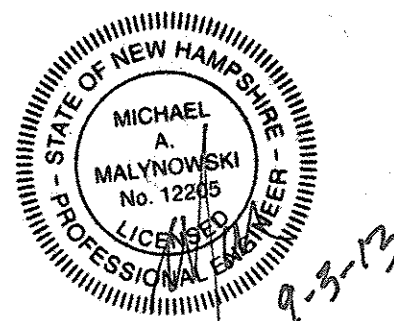
- PROP. PROPERTY LINE
- EX. PROPERTY LINE
- POST-DEV. WATERSHED AREA
- SCS SOILS BOUNDARY
- Tc FLOW PATH
- WETLAND
- WETLAND BUFFER 25'
- WETLAND BUFFER 50'
- WETLAND BUFFER 100'
- SHORELINE/EDGE OF WATER
- FLOODPLAIN
- WETLAND DISTURBANCE
- WETLAND REPLICATION



**D/A**  
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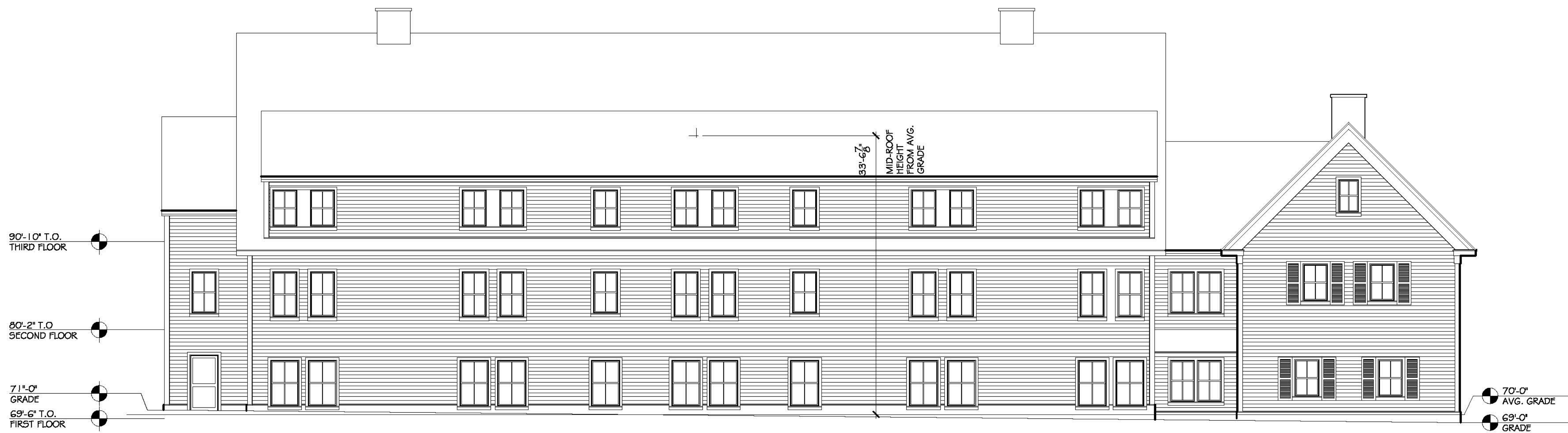
DRAWING TITLE:	SHEET No.
<b>PROPOSED WATERSHED PLAN</b>	<b>PWP</b>





23 High Street  
Portsmouth, NH 03801

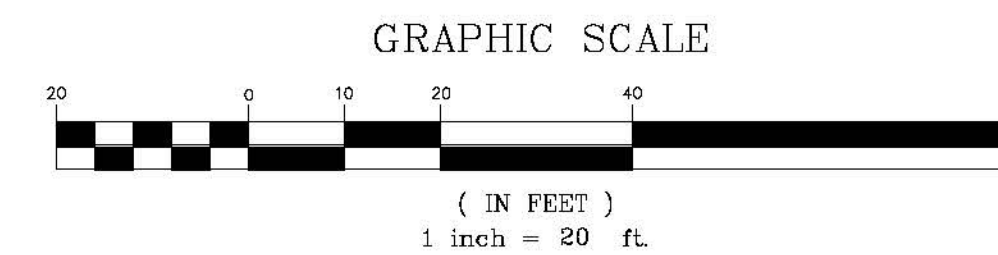
P: 603.431.8701  
F: 603.422.8707



Building A East Elevation 2  
1/8" = 1'-0"



Building A West Elevation 1  
1/8" = 1'-0"



REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:  
ORION  
STUDENT HOUSING  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-03-13

SCALE: AS NOTED DWG. NAME:

DRAFTED BY: JUN CHECKED BY: ALW

PREPARED BY:



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100 COMMERCE WAY  
P.O. BOX 2118  
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DRAWING TITLE: BUILDING A ELEVATIONS SHEET No. A-2.1

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Building B East Elevation  
1/8" = 1'-0" 4



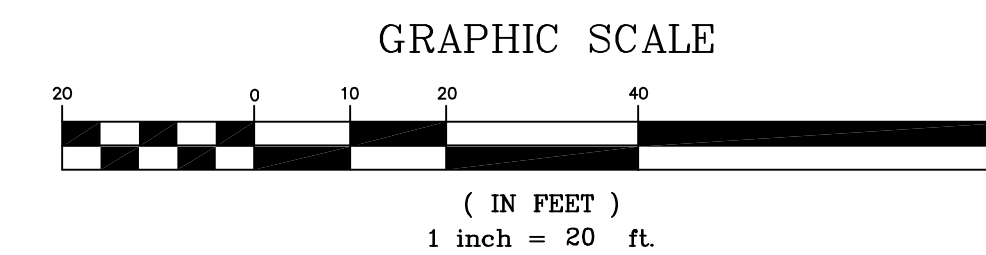
Building A South Elevation  
1/8" = 1'-0" 2



Building B West Elevation  
1/8" = 1'-0" 3



Building A North Elevation  
1/8" = 1'-0" 1



REV	DATE	DESCRIPTION
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APPLICANT/OWNER:

ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:

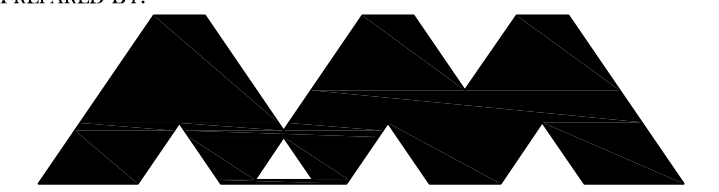
ORION  
STUDENT HOUSING  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-03-13

SCALE: AS NOTED DWG. NAME:

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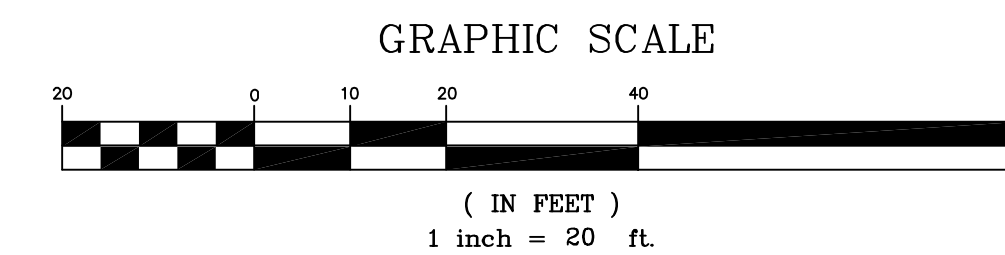
BUILDING A&B ELEVATIONS A-2.2



Building B North Elevation 2  
1/8" = 1'-0" 2



Building B North Elevation 1  
1/8" = 1'-0" 1



REV	DATE	DESCRIPTION

APPLICANT/OWNER:

ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:

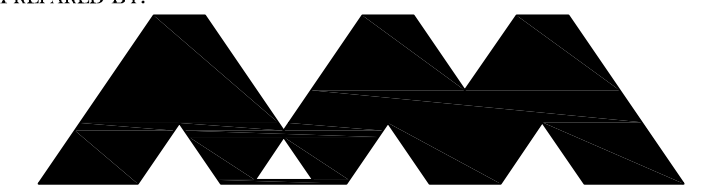
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PROJECT NO. 1925-01 DATE: 09-03-13

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DRAWING TITLE:

BUILDING B ELEVATIONS

SHEET No.

A-2.3



23 High Street  
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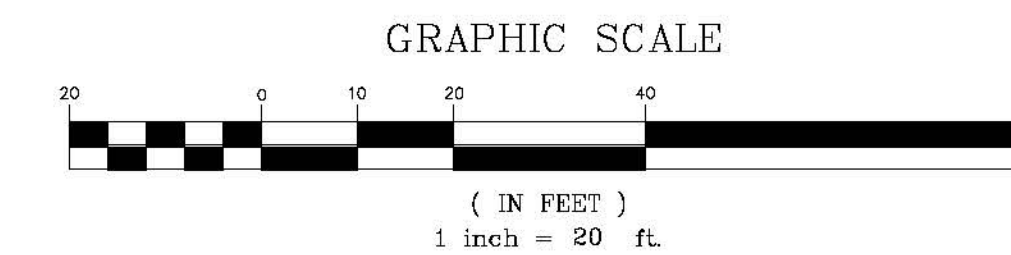
P: 603.431.8701  
F: 603.422.8707



Building B South Elevation 2  
1/8" = 1'-0" 2



Building B South Elevation 1  
1/8" = 1'-0" 1



REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT/OWNER:

ORION UNH LLC  
225 FRANKLIN STREET, 26TH FLOOR  
BOSTON, MA 02110

PROJECT:

ORION  
STUDENT HOUSING  
MAIN STREET  
DURHAM, NEW HAMPSHIRE

PROJECT NO. 1925-01 DATE: 09-03-13

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DRAWING TITLE: BUILDING B ELEVATIONS SHEET No. A-2.4

