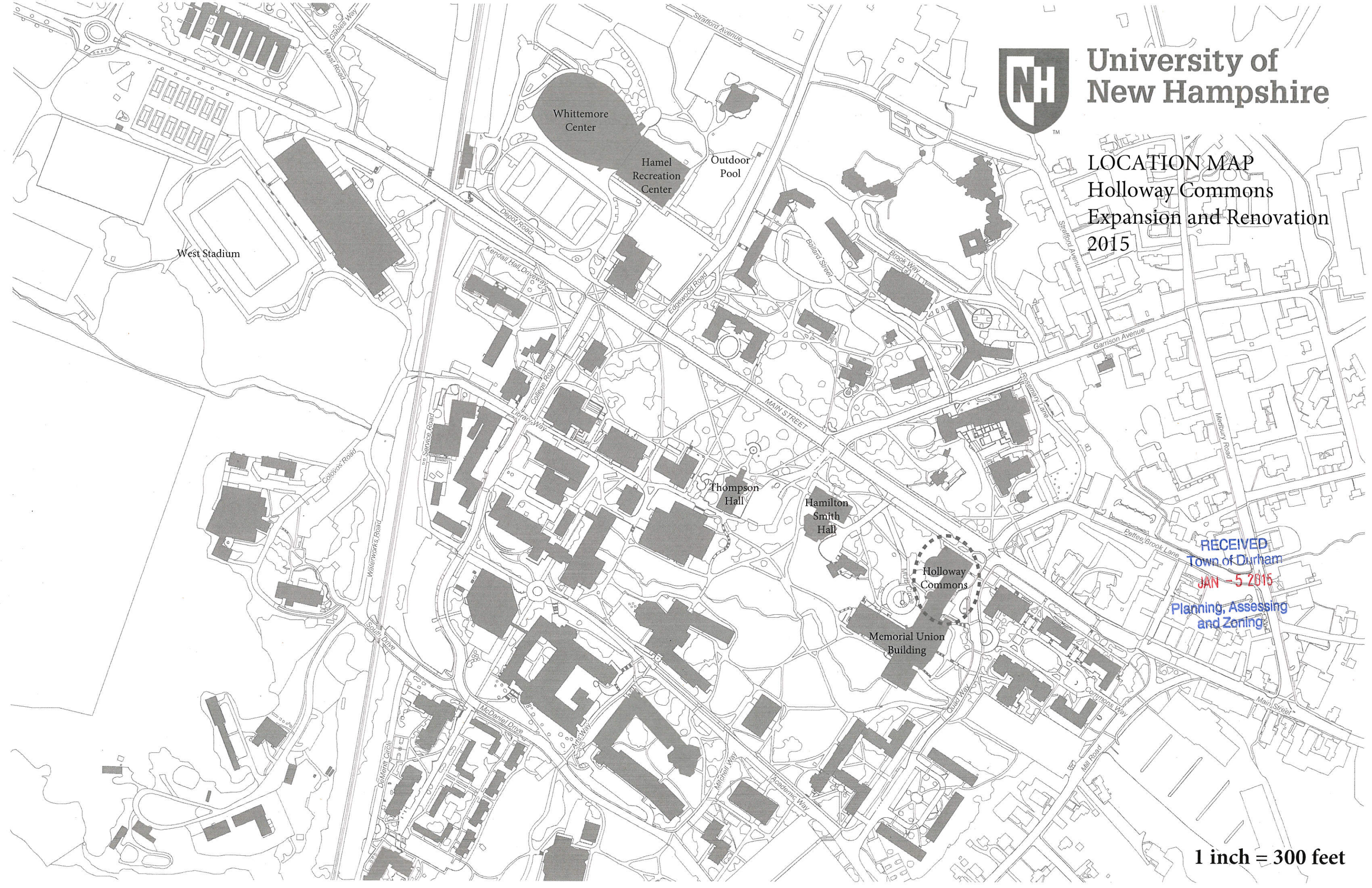




# University of New Hampshire

## LOCATION MAP Holloway Commons Expansion and Renovation 2015



West Stadium

Whittemore Center

Hamel Recreation Center

Outdoor Pool

Thompson Hall

Hamilton Smith Hall

Holloway Commons

Memorial Union Building

RECEIVED  
Town of Durham

JAN - 5 2015

Planning, Assessing  
and Zoning

1 inch = 300 feet



VIEW OF THE WEST ADDITION  
LOOKING FROM THE SOUTHWEST



VIEW OF EXISTING



VIEW OF THE SOUTH ADDITION  
LOOKING FROM THE SOUTHEAST



VIEW OF EXISTING

# University of New Hampshire

## HOLLOWAY COMMONS RENOVATIONS



### ABBREVIATIONS LIST

ABV	ABOVE	EQ	EQUAL	LVR	LOUVER	SD	STORM DRAIN
ACPS	ACOUSTIC	ETR	EXPOSED TO STRUCTURE	MAS	MASONRY	SF	SQUARE FEET
ACT	ACOUSTIC CEILING TILE	EWC	ELECTRIC WATER COOLER	MATL	MATERIAL	SG	SHEET GOODS
ADJ	ADJUSTABLE	EXIST	EXISTING	MB	MAXIMUM	SIM	SIMILAR
AFF	ABOVE FINISHED FLOOR	EXP	EXPANSION	MDO	MEDIUM DENSITY OVERLAY BOARD	SPEC	SPECIFICATION(S)
ALT	ALTERNATE	EXT	EXTERIOR	MECH	MECHANICAL	SS	STAINLESS STEEL
ALUM	ALUMINUM	FACT	FACTORY	MEMB	MEMBRANE	SFS	SOLID SURFACING
AP	ACCESS PANEL	FC	FIXTURE CONTRACTOR	MIN	MINIMUM	ST	STONE TILE
BLDG	BUILDING	FUJ	FAN COOL UNIT	MIS	MISCELLANEOUS	STC	SOUND TRANSMISSION COEFFICIENT
BLKG	BLOCKING	FD	FLOOR DRAIN	MIR	MASONRY OPENING	STD	STANDARD
BM	BEAM	FE	FIRE EXTINGUISHER	MR	MOISTURE RESISTANT	STL	STEEL
BO	BOTTOM OF	FFC	FIRE EXTINGUISHER CABINET	MT	MARBLE THRESHOLD	STRUC	STRUCTURAL
BR	BACKER ROD	FN	FINISHED FLOOR	MTD	MOUNTED	SUSP	SUSPENDED
BTWN	BETWEEN	FR	FIRE HOSE CABINET	MTL	METAL	SV	STRUCTURAL VINYL FLOORING
CFM	CONTRACTOR FURNISHED	FRN	FINISHED	NAT	NATURAL FINISH	SVB	STRUCTURAL SUBGRADE
CFMFI	CORNER GUARD INSTALLED	FLR	FLOOR	NAT	NATURAL FINISH	TBR	TO BE REMOVED
CG	COLD FORMED METAL FRAMING	FO	FOUNDATION	NO	NOT IN CONTRACT	TD	TRENCH DRAIN
CIP	CAST IN PLACE	FO	FACE OF	NO	NOT TO SCALE	TEL	TELEPHONE
CJ	CONTROL JOINT	FCM	FACE OF CONCRETE	NCM	NOMINAL	TEMP	TEMPERED TEMPERATURE
CLR	CLEAR	FRP	FACE OF MASONRY	NTS	NOT TO SCALE	TERR	TERRAZZO
CLG	CERAMIC MOSAIC TILE	FIBR	FIBER REINFORCED	OC	ON CENTER	THRS	THRESHOLD
CMU	CONCRETE MASONRY UNIT	PCP	PLASTIC COATED PANELS	OCF	OWNER FURNISH CONTRACTOR INSTALL	THK	THICK
COL	COLUMN	FT	FIRE TREATED	TO	TOP OF	TOC	TOP OF CONCRETE
CONC	CONCRETE	FS	FOOD SERVICE	CH	CHORD	TOS	TOP OF STEEL
CONST	CONSTRUCTION	FR	FRAME	OPNG	OPENING	TV	TELEVISIONTYPICAL
CONSTR	CONSTRUCTION	GA	GAGE GAUGE	OPP	OPPOSITE	U/S	UNDERSIDEUNLESS NOTED OTHERWISE
COORD	COORDINATE	GALV	GALVANIZED	PERF	PERFORATED	U	UNDERCUT
CPT	CARPET	GB	GYPSON WALLBOARD	PLAM	PLASTER	UNO	UNDER
CR	CARD READER	GWB	GLAZED WALL TILE	PLAS	PLASTER	UNO	UNDER
CS	CERAMIC TILE	GLZ	GLAZED WALL TILE	PLYWD	PLYWOOD	V	VENT / VENTILATION
CTR	CENTER	H	HOLE	FLWD	FLOOR	VB	VAPOR BARRIER VINYL BASE
CTS	CURTAIN WALL SYSTEM	HC	HOLLOW CORE	FR	PAIR	VCT	VINYL COMPOSITE TILE
DAPS	DIRECT APPLIED FINISH SYSTEM	HW	HANDYCARPED	PTD	PRESSURE TREATED PAINT	VERT	VERTICAL
DEMO	DEMOLISH	HT	HOT WATER HEATER	PT	PAINTED	VFL	VERTICAL FIN FIELD
DF	DRINKING FOUNTAIN	HT	HOT WATER HEATER	PTD	PRESSURE TREATED PAINT	VFL	VISION PANEL
DIA	DIAMETER	HO	HOLLOW METAL	QT	QUARRY TILE	VNL	VINYL WALL COVERING
DISP	DISPENSER	HORIZ	HORIZONTAL	R	RADIUS	W/P	WITH
DN	DOWN	HT	HOT WATER HEATER	REC	RECESSED	W/O	WITHOUT
DR	DOOR	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
DWS	DRAWING(S)	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
EA	EACH	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
EFS	EXT. INSL. FIN. SYST.	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
EM	EXPANSION JOINT	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
ELEC	ELECTRICAL	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
ELEV	ELEVATION	HT	HOT WATER HEATER	REC	RECESSED	W	WITH
ENTR	ENTRY MAT	HT	HOT WATER HEATER	REC	RECESSED	W	WITH

### DRAFTING SYMBOLS LEGEND

101	DOOR TAG	---	CENTERLINE INDICATION
102	WINDOW TAG	---	COLUMN GRID AND BUBBLE
1	EQUIPMENT TAG	---	SPOT ELEVATION
101	SECTION NUMBER	---	ELEVATION SYMBOL
101	SECTION SYMBOL	---	INTERIOR & EXTERIOR
101	SECTION DRAWING	---	DETAIL NUMBER
101	SECTION DRAWING	---	DETAIL SYMBOL
101	SECTION DRAWING	---	DRAWING TITLE

### ALTERNATES

ALTERNATE 1	ENLARGE DISH RETURN OPENING AND PROVIDE NEW SHROUD & LIGHTING	SEE DRAWINGS 3/A8.3, 13/A8.5, E4.1, QF702
ALTERNATE 2	PROVIDE ALTERNATE DETAIL PROJECTING BAY CORNER MULLION	SEE DRAWING 13/A8.3
ALTERNATE 3	PROVIDE FRITTED GLASS IN LIEU OF LAMINATED GLASS WITH FILM INTERLAYER	SEE DETAIL 1/A8.1
ALTERNATE 4	REMOVE EXISTING PORCELAIN FLOOR TILE AND BASE. PROVIDE NEW PORCELAIN FLOOR TILE AND BASE	SEE DRAWING 9/A8.11

### DRAWING LIST

SHEET NUMBER	DRAWING TITLE
00 COVER	COVER SHEET
00 SURVEY	SURVEY
01 CIVIL	CIVIL NOTES, LEGENDS & ABBREVIATIONS
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN
C2.1	SITE PLAN
C3.1	CIVIL DETAILS
02 LANDSCAPE DRAWINGS	LANDSCAPE PLAN & DETAILS
L1.0	LANDSCAPE PLAN & DETAILS
03 ARCHITECTURAL DRAWINGS	ARCHITECTURAL DRAWINGS
A0.0	CODE SUMMARY & GROSS PLANS
A0.01	BUILDING CODE SUMMARY
A0.02	PHASE 1 PLANS
A0.03	PHASE 2 PLANS
A0.04	PHASE 3 PLANS
A0.05	PHASE 4 PLANS
A0.06	NOT USED
A0.07	NOT USED
A0.08	NOT USED
A0.09	NOT USED
A0.10	DEMO GROUND FLOOR PLAN
A0.11	DEMO FIRST FLOOR PLAN
A0.12	DEMO SECOND FLOOR PLAN
A0.13	DEMO UPPER TERRACE PLAN
A0.14	DEMO THIRD FLOOR PLAN
A0.15	NOT USED
A0.16	NOT USED
A0.17	NOT USED
A0.18	NOT USED
A0.19	NOT USED
A0.20	NOT USED
A0.21	DEMO GROUND FLOOR AND FIRST FLOOR REFLECTED CEILING PLAN
A0.22	DEMO SECOND FLOOR REFLECTED CEILING PLAN
A0.23	DEMO THIRD FLOOR REFLECTED CEILING PLAN
A0.24	NOT USED
A0.25	NOT USED
A0.26	NOT USED
A0.27	NOT USED
A0.28	NOT USED
A0.29	NOT USED
A0.30	NOT USED
A0.31	DEMO EXTERIOR ELEVATIONS
A0.32	DEMO EXTERIOR ELEVATIONS
A1.0	GROUND FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	UPPER TERRACE PLAN
A1.4	THIRD FLOOR PLAN
A1.5	ATTIC FLOOR PLAN
A1.6	ROOF PLAN
A2.1	GROUND FLOOR AND FIRST FLOOR REFLECTED CEILING PLAN
A2.2	SECOND FLOOR REFLECTED CEILING PLAN
A2.3	UPPER TERRACE REFLECTED CEILING PLAN
A2.4	THIRD FLOOR REFLECTED CEILING PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	BUILDING SECTIONS
A4.1	WALL SECTIONS
A4.2	EXTERIOR DETAILS
A4.3	EXTERIOR DETAILS
A4.4	EXTERIOR DETAILS
A4.5	EXTERIOR DETAILS
A4.6	EXTERIOR DETAILS
A4.7	EXTERIOR DETAILS
A4.8	EXTERIOR DETAILS
A4.9	EXTERIOR DETAILS
A4.10	EXTERIOR DETAILS
A4.11	EXTERIOR DETAILS
A4.12	EXTERIOR DETAILS
A4.13	EXTERIOR DETAILS
A4.14	EXTERIOR DETAILS
A4.15	EXTERIOR DETAILS
A4.16	EXTERIOR DETAILS
A4.17	EXTERIOR DETAILS
A4.18	EXTERIOR DETAILS
A4.19	EXTERIOR DETAILS
A4.20	EXTERIOR DETAILS
A4.21	EXTERIOR DETAILS
A4.22	EXTERIOR DETAILS
A4.23	EXTERIOR DETAILS
A4.24	EXTERIOR DETAILS
A4.25	EXTERIOR DETAILS
A4.26	EXTERIOR DETAILS
A4.27	EXTERIOR DETAILS
A4.28	EXTERIOR DETAILS
A4.29	EXTERIOR DETAILS
A4.30	EXTERIOR DETAILS
A4.31	EXTERIOR DETAILS
A4.32	EXTERIOR DETAILS
A4.33	EXTERIOR DETAILS
A4.34	EXTERIOR DETAILS
A4.35	EXTERIOR DETAILS
A4.36	EXTERIOR DETAILS
A4.37	EXTERIOR DETAILS
A4.38	EXTERIOR DETAILS
A4.39	EXTERIOR DETAILS
A4.40	EXTERIOR DETAILS
A4.41	EXTERIOR DETAILS
A4.42	EXTERIOR DETAILS
A4.43	EXTERIOR DETAILS
A4.44	EXTERIOR DETAILS
A4.45	EXTERIOR DETAILS
A4.46	EXTERIOR DETAILS
A4.47	EXTERIOR DETAILS
A4.48	EXTERIOR DETAILS
A4.49	EXTERIOR DETAILS
A4.50	EXTERIOR DETAILS
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A4.61	EXTERIOR DETAILS
A4.62	EXTERIOR DETAILS
A4.63	EXTERIOR DETAILS
A4.64	EXTERIOR DETAILS
A4.65	EXTERIOR DETAILS
A4.66	EXTERIOR DETAILS
A4.67	EXTERIOR DETAILS
A4.68	EXTERIOR DETAILS
A4.69	EXTERIOR DETAILS
A4.70	EXTERIOR DETAILS
A4.71	EXTERIOR DETAILS
A4.72	EXTERIOR DETAILS
A4.73	EXTERIOR DETAILS
A4.74	EXTERIOR DETAILS
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A4.81	EXTERIOR DETAILS
A4.82	EXTERIOR DETAILS
A4.83	EXTERIOR DETAILS
A4.84	EXTERIOR DETAILS
A4.85	EXTERIOR DETAILS
A4.86	EXTERIOR DETAILS
A4.87	EXTERIOR DETAILS
A4.88	EXTERIOR DETAILS
A4.89	EXTERIOR DETAILS
A4.90	EXTERIOR DETAILS
A4.91	EXTERIOR DETAILS
A4.92	EXTERIOR DETAILS
A4.93	EXTERIOR DETAILS
A4.94	EXTERIOR DETAILS
A4.95	EXTERIOR DETAILS
A4.96	EXTERIOR DETAILS
A4.97	EXTERIOR DETAILS
A4.98	EXTERIOR DETAILS
A4.99	EXTERIOR DETAILS
A4.100	EXTERIOR DETAILS

### DRAWING LIST

SHEET NUMBER	DRAWING TITLE
A9.10	FINISH SCHEDULE AND LEGENDS
A9.11	FINISH DETAILS AND ENLARGED PLANS
A9.12	FIRST AND SECOND FLOOR FINISH PLAN
A9.13	UPPER TERRACE AND THIRD FLOOR FINISH PLAN
A9.14	NOT USED
A9.15	NOT USED
A9.16	NOT USED
A9.17	NOT USED
A9.18	NOT USED
A9.19	NOT USED
A9.20	NOT USED
A9.21	SECOND FLOOR FURNITURE PLAN
A9.22	UPPER TERRACE AND THIRD FLOOR FURNITURE PLAN
A9.23	NOT USED
A9.24	NOT USED
A9.25	NOT USED
A9.26	NOT USED
A9.27	NOT USED
A9.28	NOT USED
A9.29	NOT USED
A9.30	NOT USED
A9.31	NOT USED
A9.32	NOT USED
A9.33	NOT USED
A9.34	NOT USED
A9.35	NOT USED
A9.36	NOT USED
A9.37	NOT USED
A9.38	NOT USED
A9.39	NOT USED
A9.40	NOT USED
A9.41	NOT USED
A9.42	NOT USED
A9.43	NOT USED
A9.44	NOT USED
A9.45	NOT USED
A9.46	NOT USED
A9.47	NOT USED
A9.48	NOT USED
A9.49	NOT USED
A9.50	NOT USED
A9.51	NOT USED
A9.52	NOT USED
A9.53	NOT USED
A9.54	NOT USED
A9.55	NOT USED
A9.56	NOT USED
A9.57	NOT USED
A9.58	NOT USED
A9.59	NOT USED
A9.60	NOT USED
A9.61	NOT USED
A9.62	NOT USED
A9.63	NOT USED
A9.64	NOT USED
A9.65	NOT USED
A9.66	NOT USED
A9.67	NOT USED
A9.68	NOT USED
A9.69	NOT USED
A9.70	NOT USED
A9.71	NOT USED
A9.72	NOT USED
A9.73	NOT USED
A9.74	NOT USED
A9.75	NOT USED
A9.76	NOT USED
A9.77	NOT USED
A9.78	NOT USED
A9.79	NOT USED
A9.80	NOT USED
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A9.87	NOT USED
A9.88	NOT USED
A9.89	NOT USED
A9.90	NOT USED
A9.91	NOT USED
A9.92	NOT USED
A9.93	NOT USED
A9.94	NOT USED
A9.95	NOT USED
A9.96	NOT USED
A9.97	NOT USED
A9.98	NOT USED
A9.99	NOT USED
A9.100	NOT USED

### DRAWING LIST

SHEET NUMBER	DRAWING TITLE
M01.01	FIRST FLOOR DUCTWORK DEMO PLAN
M01.02	SECOND FLOOR DUCTWORK DEMO PLAN
M01.03	THIRD FLOOR DUCTWORK DEMO PLAN
M01.04	ATTIC LEVEL DUCTWORK DEMO PLAN
M02.01	FIRST FLOOR PIPING DEMO PLAN
M02.02	SECOND FLOOR PIPING DEMO PLAN
M02.03	THIRD FLOOR PIPING DEMO PLAN
M02.04	ATTIC PIPING DEMO PLAN
M03.01	FIRST FLOOR ELECTRICAL DEMO PLAN
M03.02	SECOND FLOOR ELECTRICAL DEMO PLAN
M03.03	THIRD FLOOR ELECTRICAL DEMO PLAN
M03.04	ATTIC ELECTRICAL DEMO PLAN
M04.01	FIRST FLOOR MECHANICAL DEMO PLAN
M04.02	SECOND FLOOR MECHANICAL DEMO PLAN
M04.03	THIRD FLOOR MECHANICAL DEMO PLAN
M04.04	ATTIC MECHANICAL DEMO PLAN

**OWNER:** UNIVERSITY OF NEW HAMPSHIRE  
105 Main Street  
Durham, NH 03824  
(603) 862-1234

**ARCHITECT:** MDS / MILLER DYER SPEARS  
99 Chauncy Street  
Boston, MA 02111  
(617) 338-5350

**MEP/CIVIL/LANDSCAPE ENGINEER:** RIST-FROST-SHUMWAY ENGINEERING  
71 Water Street  
Laconia, NH 03246  
(603) 524-4647

**STRUCTURAL ENGINEER:** SOUZA TRUE & PARTNERS  
265 Winter Street, Third Floor  
Waltham, MA 02451  
(617) 926-6100

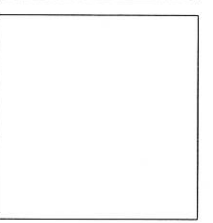
**FOODSERVICE DESIGN:** RICCA DESIGN STUDIOS  
5325 South Valenta Way  
Greenwood Village, CO 80111  
(781) 659-7377

**GEOTECHNICAL:** GSI - GEOTECHNICAL SERVICES INC.  
55 North Stark Highway  
Weare, NH 03281  
(603) 529-7766

**CONSTRUCTION MANAGER:** NORTH BRANCH CONSTRUCTION INC.  
78 Old Tompkins Road  
Concord, NH 03301  
(603) 224-3233

### 09 FOOD SERVICE

QF000	FOODSERVICE INDEX
QF100	OVERALL FOODSERVICE KEY PLAN - LEVEL 2
QF101	OVERALL FOODSERVICE KEY PLAN
QF400	FOOD SERVICE EQUIPMENT PLAN
QF401	FOODSERVICE UTILITY SCHEDULE
QF402	FOODSERVICE BUILDING CONDITIONS & VENTILATION PLAN
QF403	FOODSERVICE PLUMBING PLAN
QF404	FOODSERVICE ELECTRICAL PLAN
QF405	FOODSERVICE EQUIPMENT PLAN
QF406	FOODSERVICE UTILITY SCHEDULE
QF407	FOODSERVICE BUILDING CONDITIONS & VENTILATION PLAN
QF408	FOODSERVICE PLUMBING PLAN
QF409	FOODSERVICE ELECTRICAL PLAN
QF500	COUNTER TYPICAL DETAILS
QF600	COUNTER ELEVATION DETAILS
QF700	FOODSERVICE ACCUMULATOR DETAILS
QF701	FOODSERVICE ACCUMULATOR DETAILS
QF702	FOODSERVICE ACCUMULATOR DETAILS
QF800	FOODSERVICE STANDARD DETAILS
QF801	FOODSERVICE STANDARD DETAILS
QF900	FOODSERVICE STANDARD DETAILS
QF901	FOODSERVICE STANDARD DETAILS
QF902	FOODSERVICE STANDARD DETAILS
QF903	FOODSERVICE STANDARD DETAILS
QF904	FOODSERVICE STANDARD DETAILS
QF905	FOODSERVICE STANDARD DETAILS
QF906	FOODSERVICE STANDARD DETAILS
QF907	FOODSERVICE STANDARD DETAILS
QF908	FOODSERVICE STANDARD DETAILS
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QF913	FOODSERVICE STANDARD DETAILS
QF914	FOODSERVICE STANDARD DETAILS
QF915	FOODSERVICE STANDARD DETAILS
QF916	FOODSERVICE STANDARD DETAILS
QF917	FOODSERVICE STANDARD DETAILS
QF918	FOODSERVICE STANDARD DETAILS
QF919	FOODSERVICE STANDARD DETAILS
QF920	FOODSERVICE STANDARD DETAILS
QF921	FOODSERVICE STANDARD DETAILS
QF922	FOODSERVICE STANDARD DETAILS
QF923	FOODSERVICE STANDARD DETAILS
QF924	FOODSERVICE STANDARD DETAILS
QF925	FOODSERVICE STANDARD DETAILS
QF926	FOODSERVICE STANDARD DETAILS
QF9	



Project Status: CONSTRUCTION DOCUMENTS  
Project No. 1329  
Drawn By: JRI  
Checked By: EUJ  
Issue Date: NOVEMBER 25, 2014

Issues

No.	Date	Description

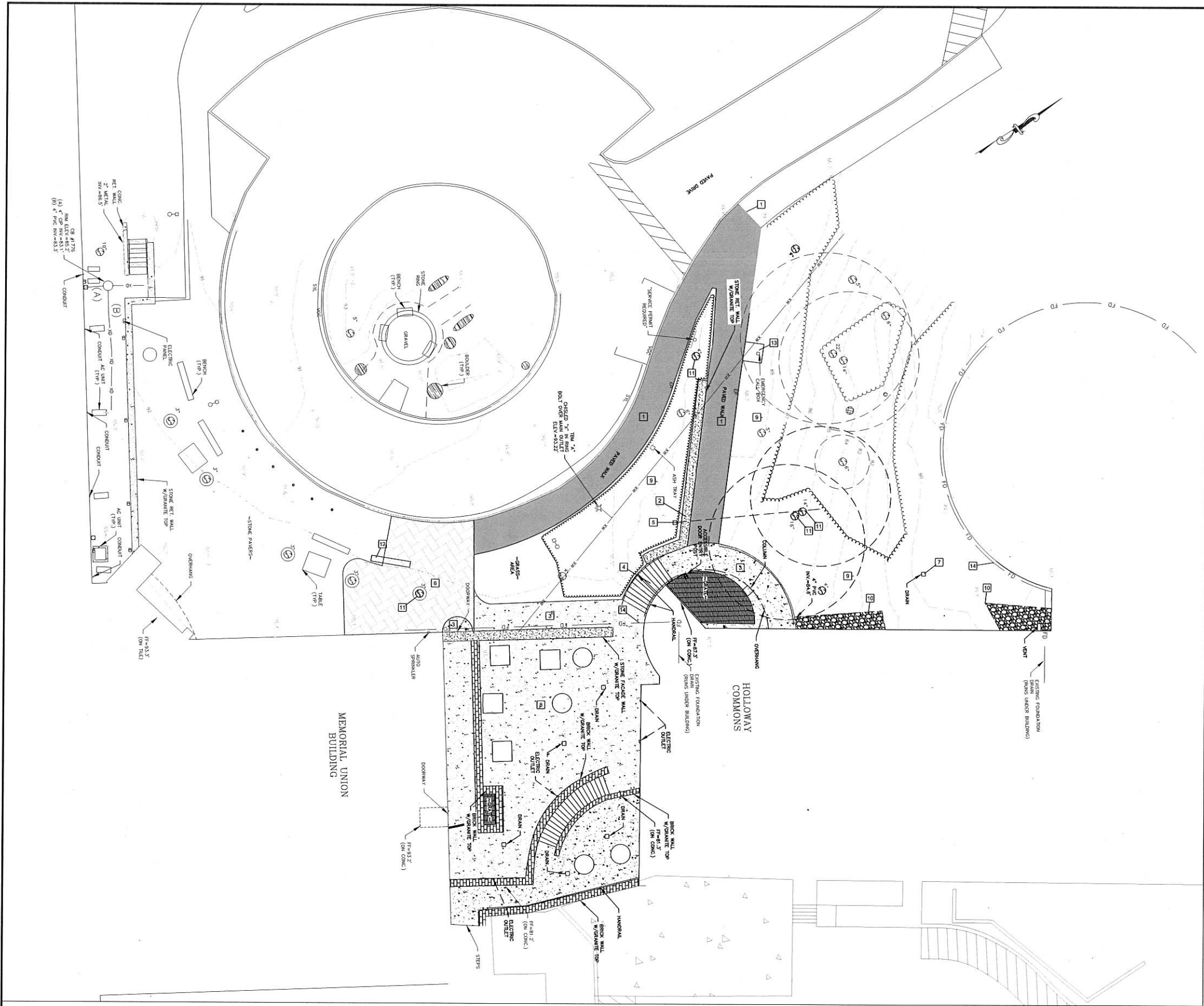
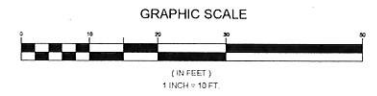
Revisions

No.	Date	Description

Drawing Title  
**EXISTING CONDITIONS &  
DEMOLITION PLAN**

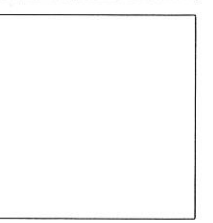
1" = 10'  
Drawing Number  
**C1.1**

- DEMOLITION NOTES**
- 1 SAWCUT PAVEMENT AT LIMITS OF REMOVAL & REMOVE PAVEMENT.
  - 2 REMOVE RETAINING WALL.
  - 3 REMOVE CONCRETE.
  - 4 REMOVE STAIRS.
  - 5 REMOVE CATCH BASIN AND DRAIN LINE.
  - 6 REMOVE STONE PAVERS. STOCKPILE FOR RE-INSTALLATION. SEE DRAWING C2.1 FOR ADDITIONAL INFORMATION. OWNER HAS RIGHT OF FIRST REFUSAL ON ANY EXCESS PAVERS.
  - 7 REMOVE DRAIN STRUCTURE AND LINE AS NEEDED TO FACILITATE CONSTRUCTION. CAP AND ABANDON AND LINE REMAINING IN PLACE.
  - 8 SEE ARCHITECTURAL DRAWINGS FOR DEMOLITION IN THIS AREA.
  - 9 REMOVE PLANTINGS IN LANDSCAPE AREA AS NEEDED TO FACILITATE CONSTRUCTION. SEE LANDSCAPE DRAWING FOR NEW PLANTINGS.
  - 10 REMOVE STONE.
  - 11 REMOVE TREE, STUMP AND ROOT SYSTEM.
  - 12 RELOCATE EXISTING BENCH. SEE DRAWING C2.1 FOR ADDITIONAL INFORMATION.
  - 13 REMOVE CONCRETE PAD AROUND EMERGENCY CALL BOX. SEE DRAWING C2.1 FOR ADDITIONAL INFORMATION.
  - 14 INTERCEPT EXISTING FOUNDATION DRAIN. CONNECT TO NEW FOUNDATION DRAIN. SEE DRAWING C2.1 FOR ADDITIONAL INFORMATION.



CALL D/G SAFE BEFORE BEGINNING ANY EXCAVATION WORK  
1-888-DIG-SAFE

Key Plan



Project Status: CONSTRUCTION DOCUMENTS

Project No: 1329

Drawn By: JRI

Checked By: EJU

Issue Date: NOVEMBER 25, 2014

Issues

No.	Date	Description

Revisions

No.	Date	Description

Drawing Title  
**SITE PLAN**

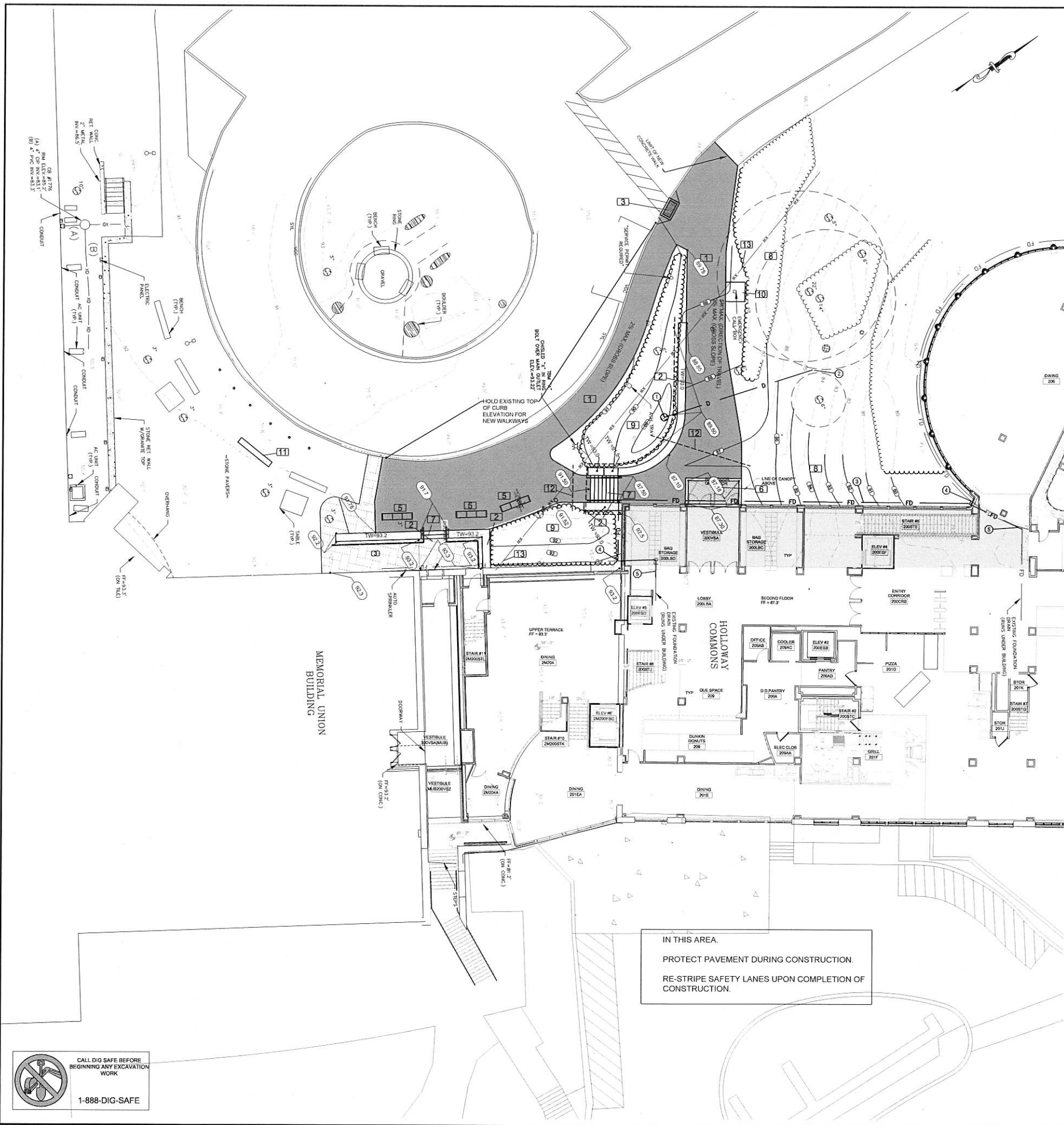
1" = 10'  
Drawing Number  
**C2.1**

**DRAINAGE NOTES**

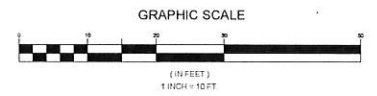
- ① INSTALL NEW 2" DIA. YARD DRAIN WITH DUCTILE IRON FRAME & ATRUM GRATE  
RIM = 85.50  
INV. IN = 86.00' (FROM WALL UNDERDRAIN, 2 LOCATIONS)  
INV. OUT = 85.50' (TO ②)  
SUMP = 83.50'  
40 L/F OF 8" HDPE @ S=0.0200 FT/FT
- ② PIPE OUTFALL  
INV. OUT = 84.70' (FROM ①)
- ③ INSTALL FOUNDATION DRAIN  
CONNECT TO NEW SOLID PVC FOUNDATION DRAIN ④
- ④ CONNECT EXISTING FOUNDATION DRAIN TO NEW FOUNDATION DRAIN OUTSIDE NEW ADDITION. (TWO LOCATIONS)
- ⑤ INSTALL SOLID PVC FOUNDATION DRAIN UNDER NEW ADDITION TO TIE INTO EXISTING DRAIN LINE AT EXISTING FOUNDATION. VERIFY DIAMETER IN FIELD. (TWO LOCATIONS)

**MATERIALS NOTES**

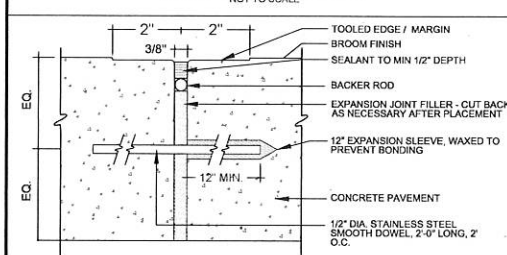
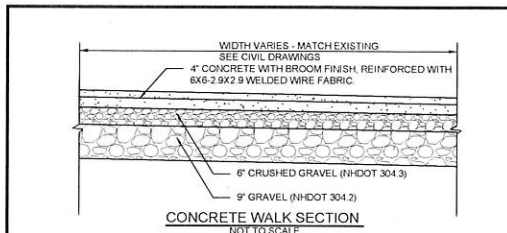
- ① CONSTRUCT NEW CONCRETE SIDEWALK. SEE DETAIL ON DRAWING C3.1.
- ② CONSTRUCT NEW RETAINING WALL. SEE DETAIL ON DRAWING C3.1.
- ③ INSTALL DETECTABLE WARNING PAVER PANEL AT CROSSWALK. SEE DETAIL ON DRAWING C3.1.
- ④ INSTALL STONE PAVERS TO GRADES SHOWN. SEE INSTALLATION DETAIL ON DRAWING C3.1.
- ⑤ INSTALL THREE SKID TYPE BIKE RACKS (CAPACITY: 5 EACH). SEE DETAIL ON DRAWING C3.1.
- ⑥ NEW CONCRETE WALK-OFF STRUCTURE WITH GRATE. SEE ARCHITECTURAL & STRUCTURAL DRAWINGS FOR DETAILS.
- ⑦ CONSTRUCT CAST-IN-PLACE CONCRETE STAIRS. SEE DETAIL ON DRAWING C3.1
- ⑧ SOD ALL DISTURBED LAWN AREAS OUTSIDE OF LANDSCAPE AREAS SHOWN.
- ⑨ REPLANT LANDSCAPE AREA. SEE LANDSCAPE DRAWING.
- ⑩ CONSTRUCT NEW CONCRETE PAD AROUND EMERGENCY CALL BOX. MATCH CONCRETE SIDEWALK SECTION. SEE DETAIL ON DRAWING C3.1.
- ⑪ APPROXIMATE RELOCATED BENCH LOCATION. COORDINATE FINAL LOCATION WITH OWNER.
- ⑫ INSTALL 4" PVC PIPE AND CAP AT BOTH ENDS (SLEEVE FOR FUTURE IRRIGATION). PIPE TO EXTEND 5' BEYOND EDGE OF PAVEMENT. PIPE TO BE INSTALLED WITH 2 FEET OF COVER.
- ⑬ IN AREAS WITH GRADE CHANGES OVER THE EXISTING WATER MAIN, CONFIRM THAT WATER MAIN WILL HAVE 5 FEET OF COVER. INSULATE TOP OF WATER MAIN WHERE FINISH GRADE WILL RESULT IN LESS THAN 5 FEET OF COVER WITH 2" RIGID INSULATION, 3" WIDE.



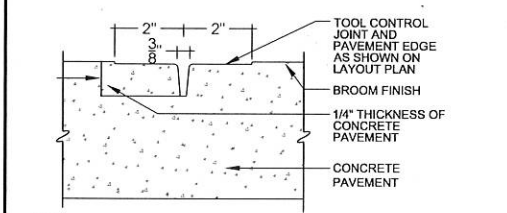
IN THIS AREA.  
PROTECT PAVEMENT DURING CONSTRUCTION.  
RE-STRIPE SAFETY LANES UPON COMPLETION OF CONSTRUCTION.



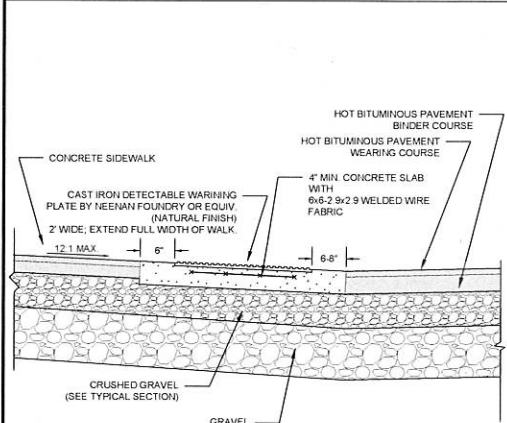
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Univ Holloway Commons Renovation, 2014.dwg  
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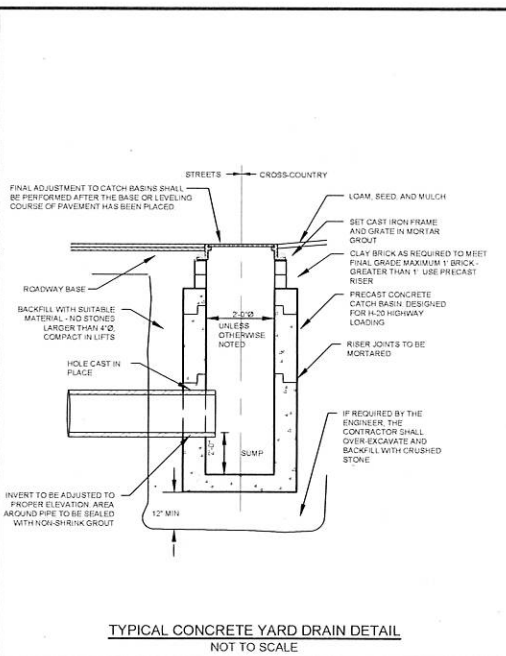
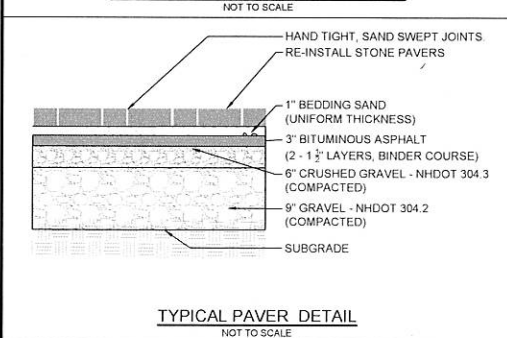
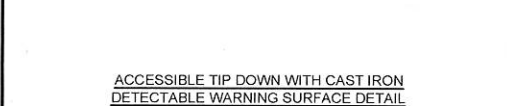
NOTES:  
 1. EXPANSION JOINT DOWEL IS TYPICAL AT ALL E-JS EXCEPT AGAINST VERTICAL JOINTS WITH WALLS, CURBS OR SITE IMPROVEMENTS UNLESS SHOWN OTHERWISE ON PLANS.  
 2. SEE PLANS FOR EXPANSION JOINT LOCATIONS.



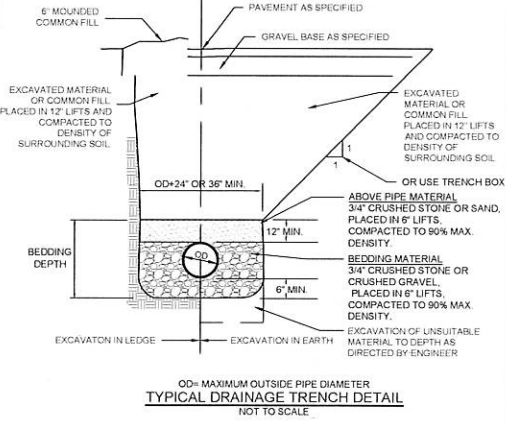
NOTES:  
 1. TOOLED MARGIN IS TYPICAL AT ALL JOINTS AND AT ALL CONCRETE PANEL EDGES.  
 2. SEE PLANS FOR CONTROL JOINT LOCATIONS.



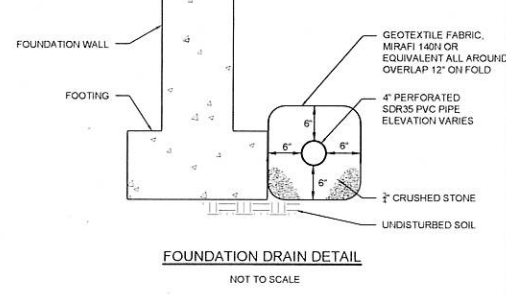
NOTES:  
 1. SEE CONCRETE WALK SECTION FOR MATERIAL THICKNESSES.



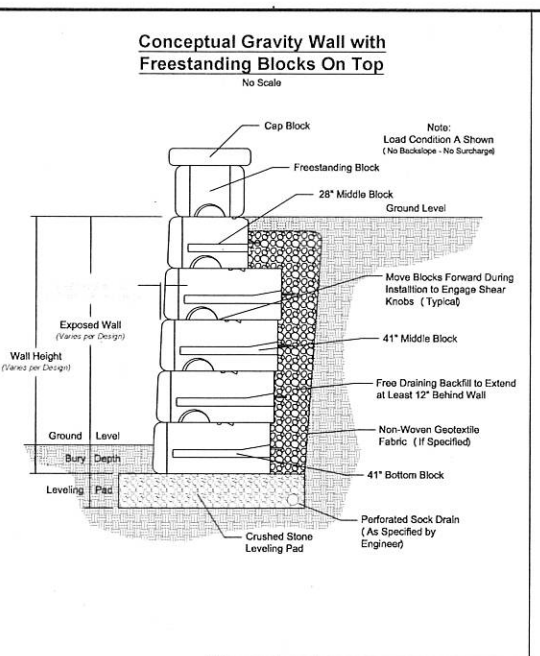
TYPICAL CONCRETE YARD DRAIN DETAIL  
NOT TO SCALE



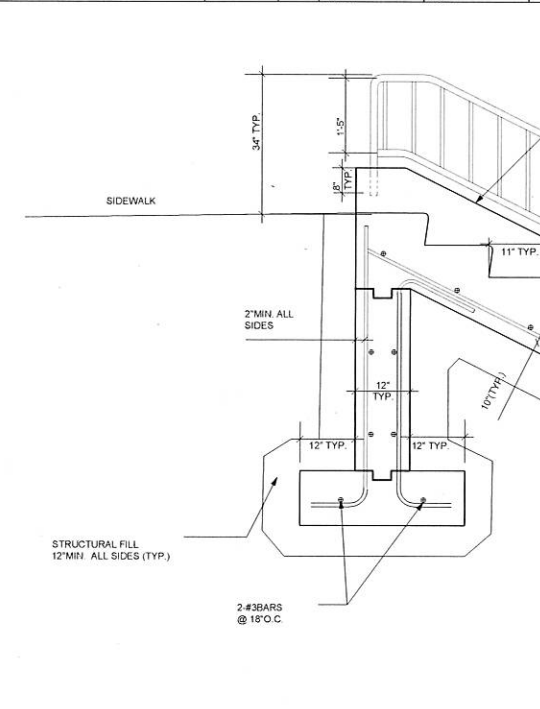
TYPICAL DRAINAGE TRENCH DETAIL  
NOT TO SCALE



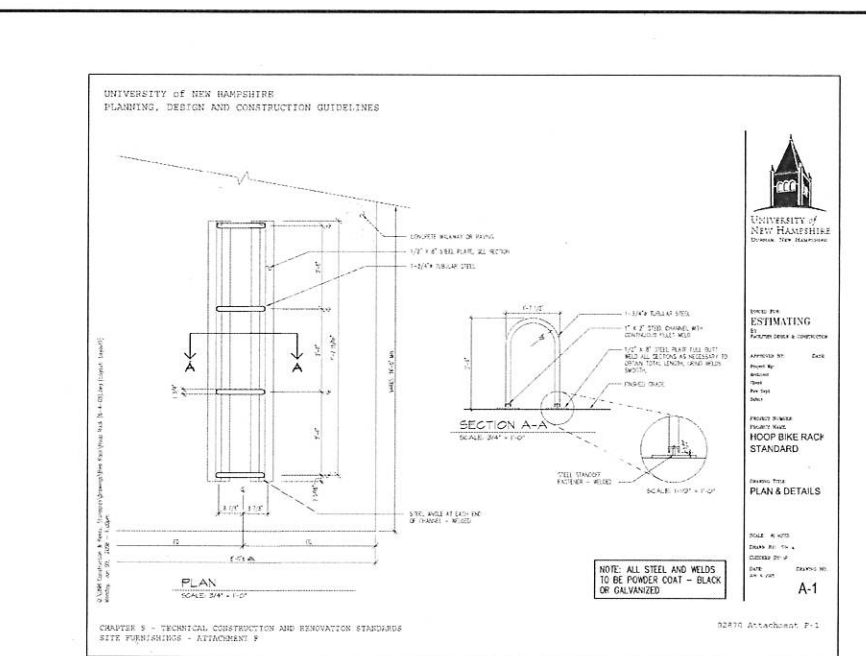
FOUNDATION DRAIN DETAIL  
NOT TO SCALE



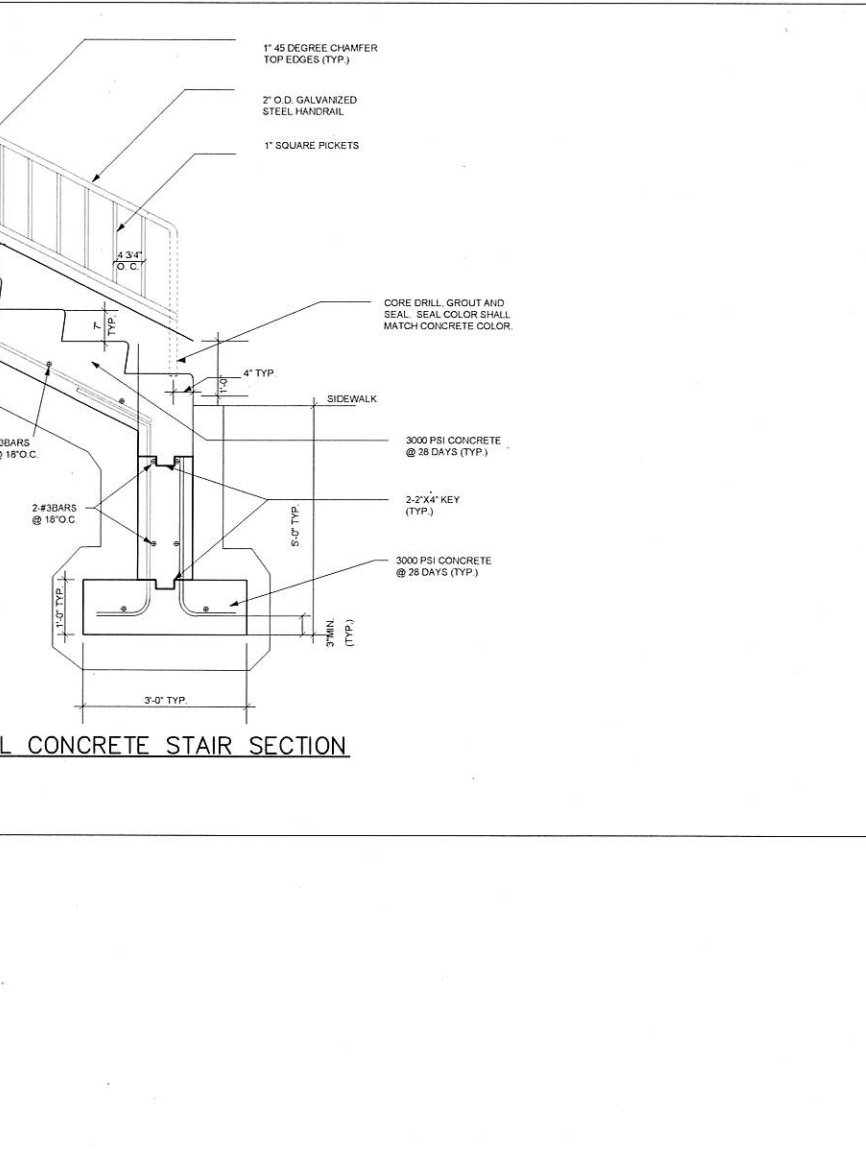
Conceptual Gravity Wall with Freestanding Blocks On Top  
No Scale



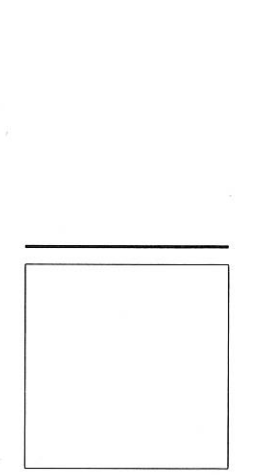
TYPICAL LONGITUDINAL CONCRETE STAIR SECTION  
NOT TO SCALE



UNIVERSITY OF NEW HAMPSHIRE  
 PLANNING, DESIGN AND CONSTRUCTION GUIDELINES



Redi-Rock® International, LLC



Project Status:	CONSTRUCTION DOCUMENTS
Project No:	1329
Drawn By:	JRI
Checked By:	EJU
Issue Date:	NOVEMBER 25, 2014

Issues	No.	Date	Description

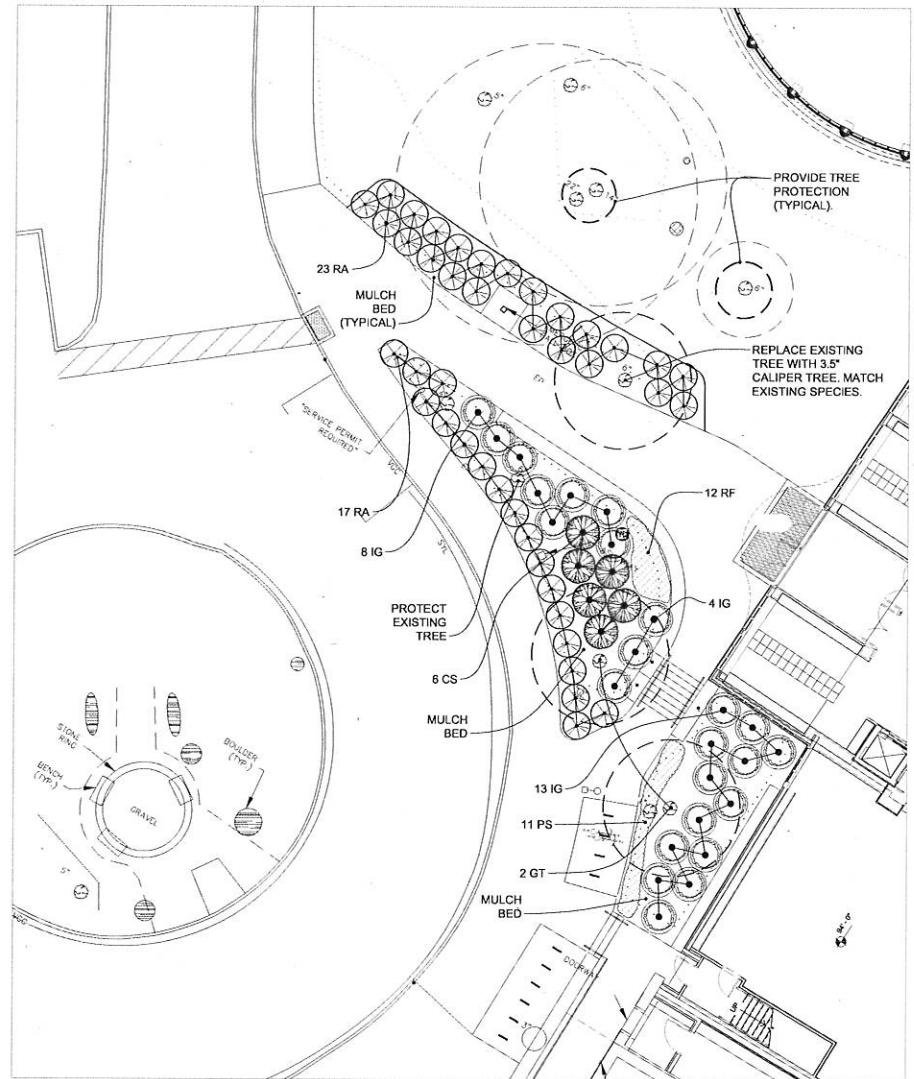
Revisions	No.	Date	Description

Drawing Title  
 CIVIL DETAILS

Drawing Number  
 C3.1

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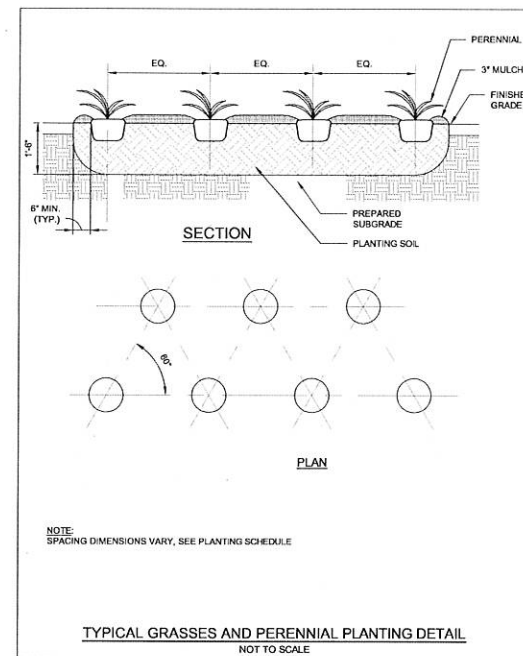
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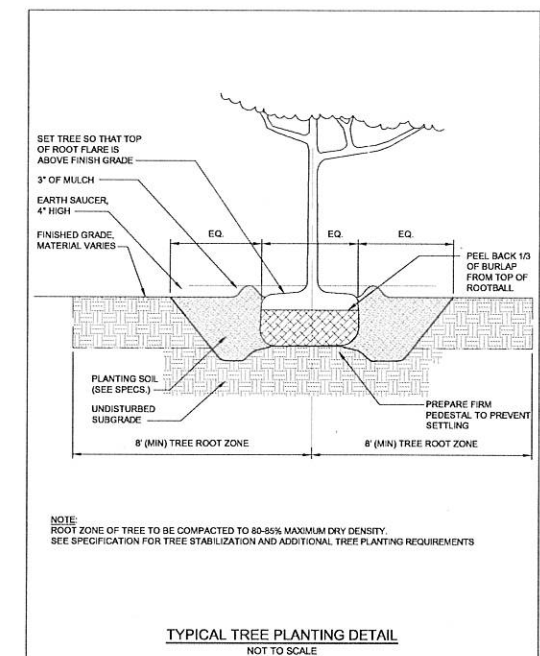
**LANDSCAPING PLAN**  
1" = 20'-0"

**PLANT LIST**

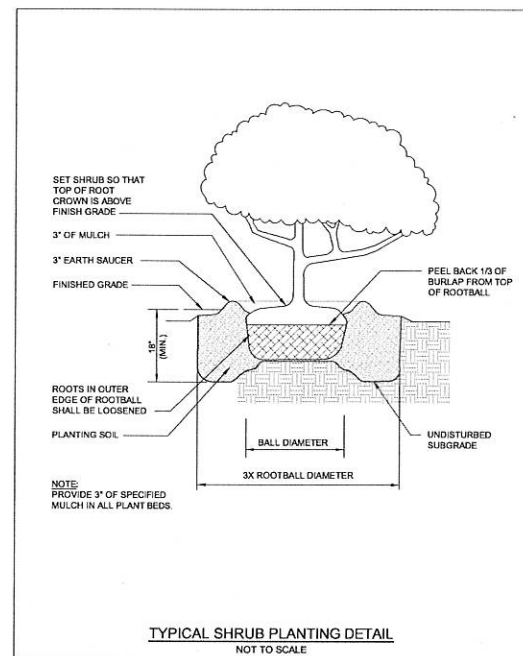
Symbol	Latin Name	Common Name	Size	Notes
GT	<i>Gleditsia triacanthos inermis</i> 'skyline'	Skyline Honeylocust	3-3.5" cal.	B&B
IG	<i>Ilex glabra</i> 'Shamrock'	Inkberry	30-36" ht.	5" o.c.
CS	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	30-36" ht.	5" o.c.
RA	<i>Rhus aromatica</i> 'Gro-Low'	Grow Low Sumac	#3 pot	4" o.c.
PA	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Fountain Grass	#2 pot	18" o.c.
RF	<i>Rudbeckia fulgida</i> var. <i>fulgida</i>	Black-eyed Susan	#2 pot	18" o.c.



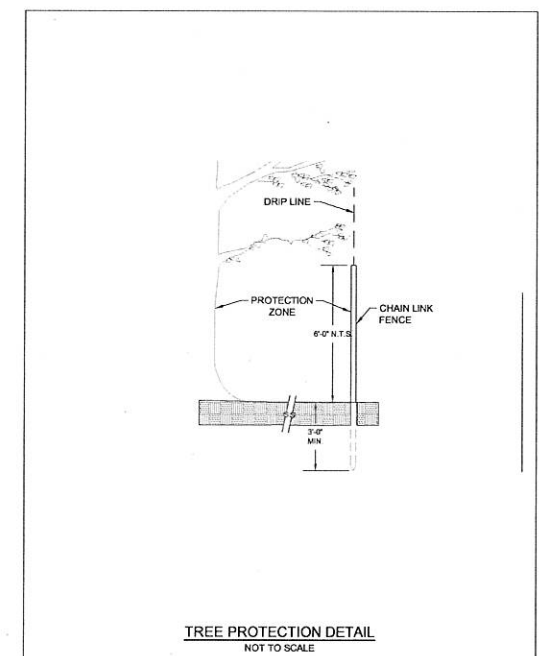
**TYPICAL GRASSES AND PERENNIAL PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL TREE PLANTING DETAIL**  
NOT TO SCALE

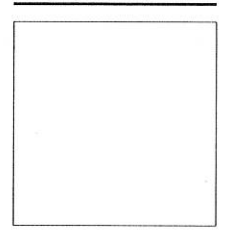


**TYPICAL SHRUB PLANTING DETAIL**  
NOT TO SCALE



**TREE PROTECTION DETAIL**  
NOT TO SCALE

Key Plan



Project Status: CONSTRUCTION DOCUMENTS

Project No: 1329

Drawn By: FM

Checked By: JTB

Issue Date: NOVEMBER 25, 2014

Issues

No.	Date	Description

Revisions

No.	Date	Description

Drawing Title  
**PLANTING PLAN & DETAILS**

AS NOTED

Drawing Number  
**L1.0**

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11/25/2014 4:03:32 PM  
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**PHASING LEGEND**

<b>PHASE 1 - 5/13/2015 THRU 8/11/2015</b>	
	PHASE 1A - COMPLETED 6/09/2015
	PHASE 1B - COMPLETED 8/07/2015
	PHASE 1C - COMPLETED 8/11/2015
<b>PHASE 2 - 5/13/2015 THRU 8/27/2015</b>	
	PHASE 2 - COMPLETED 8/27/2015
<b>PHASE 3 - 5/13/2015 THRU 9/30/2015</b>	
	PHASE 3 - COMPLETED 9/30/2015
<b>PHASE 4 - 5/13/2015 THRU 12/21/2015</b>	
	PHASE 4 - COMPLETED 12/21/2015
	TEMPORARY PARTITION
	NOT AN ENTRANCE - NO ENTRY TO BUILDING DURING THIS PHASE

Key Plan



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Project Status: CONSTRUCTION DOCUMENTS

Project No: 1329

Drawn By: KH

Checked By: JL

Issue Date: November 25, 2014

Issues

No.	Date	Description

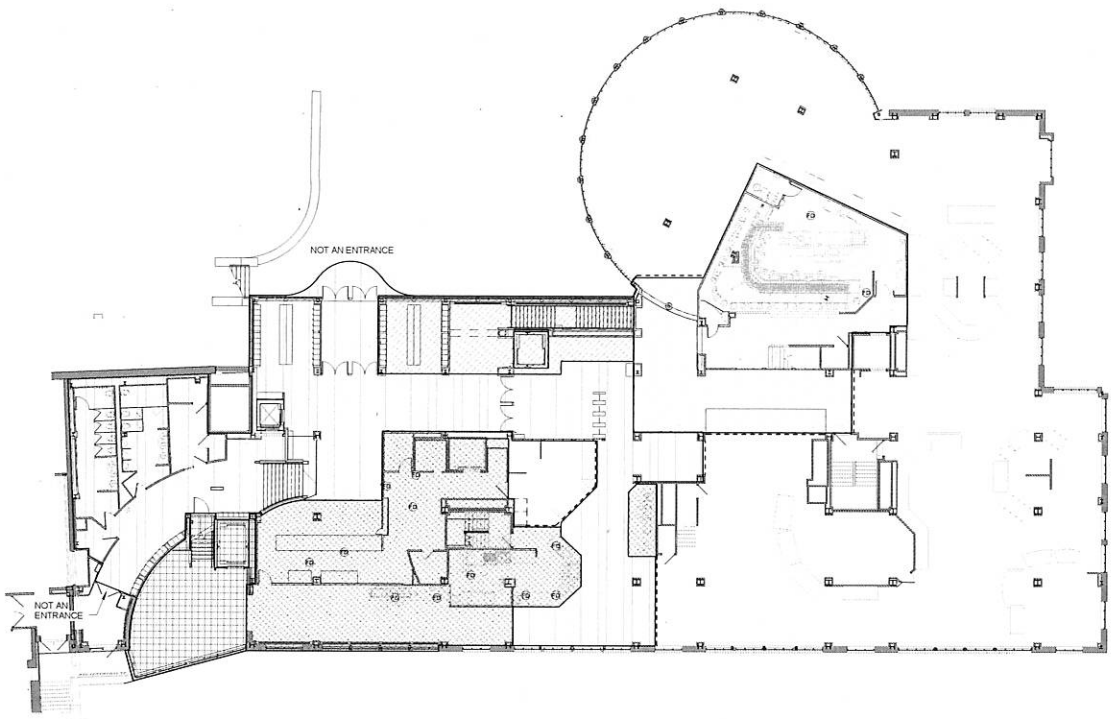
Revisions

No.	Date	Description

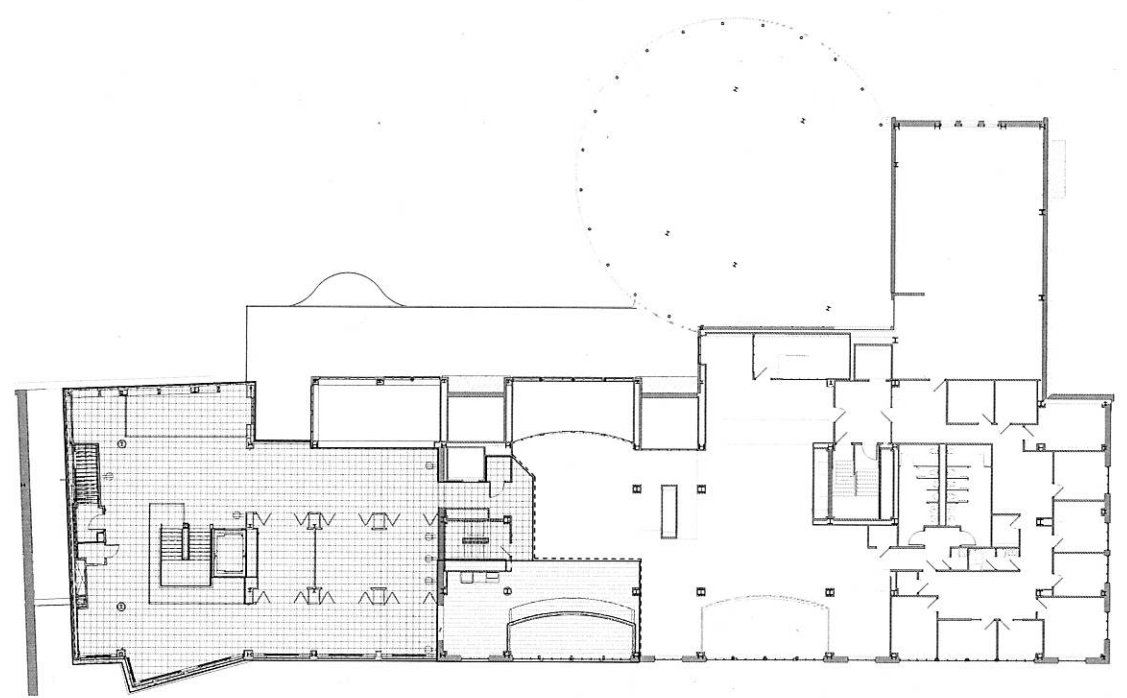
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**PHASE 1 PLANS**

1/16" = 1'-0"

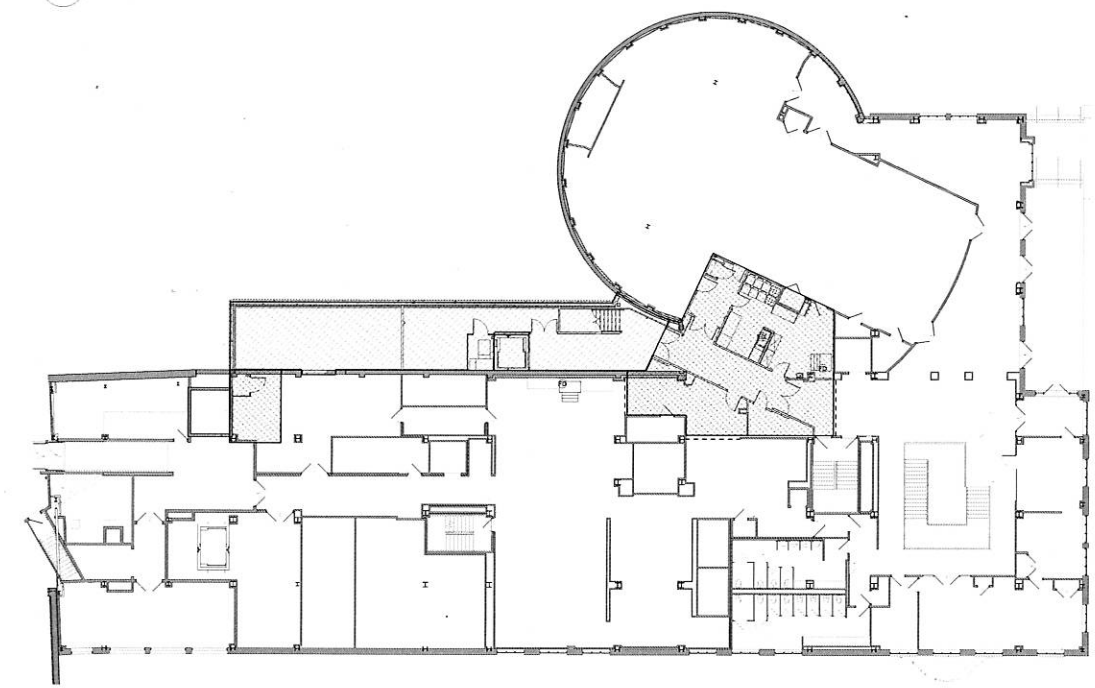
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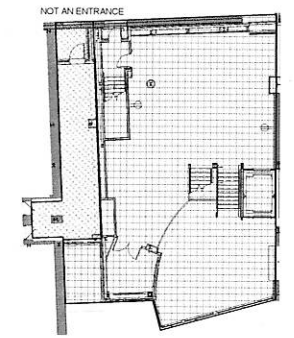
**3 SECOND FLOOR PHASE 1**  
SCALE: 1/16" = 1'-0"



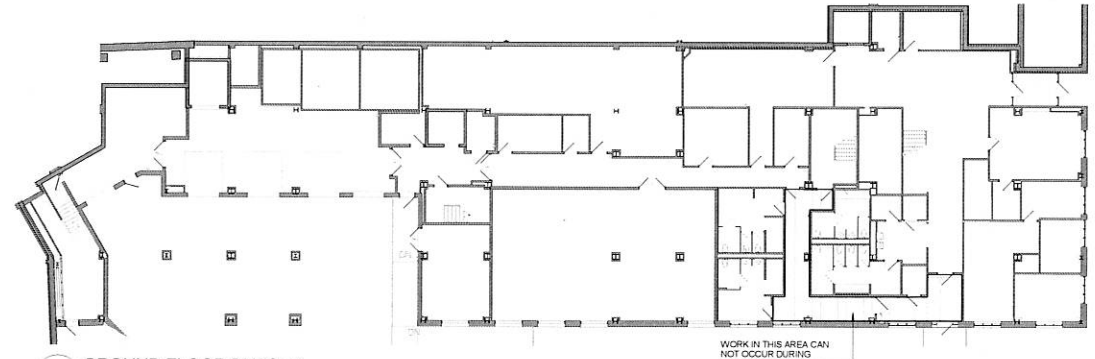
**5 THIRD FLOOR PHASE 1**  
SCALE: 1/16" = 1'-0"



**2 FIRST FLOOR PHASE 1**  
SCALE: 1/16" = 1'-0"



**4 UPPER TERRACE PHASE 1**  
SCALE: 1/16" = 1'-0"



**1 GROUND FLOOR PHASE 1**  
SCALE: 1/16" = 1'-0"

WORK IN THIS AREA CAN  
NOT OCCUR DURING  
BUSINESS HOURS

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11/27/2014 9:52:40 AM  
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**PHASING LEGEND**

**PHASE 1 - 5/13/2015 THRU 8/11/2015**

PHASE 1A - COMPLETED 5/30/2015

PHASE 1B - COMPLETED 8/07/2015

PHASE 1C - COMPLETED 8/11/2015

**PHASE 2 - 5/13/2015 THRU 8/27/2015**

PHASE 2 - COMPLETED 8/27/2015

**PHASE 3 - 5/13/2015 THRU 9/30/2015**

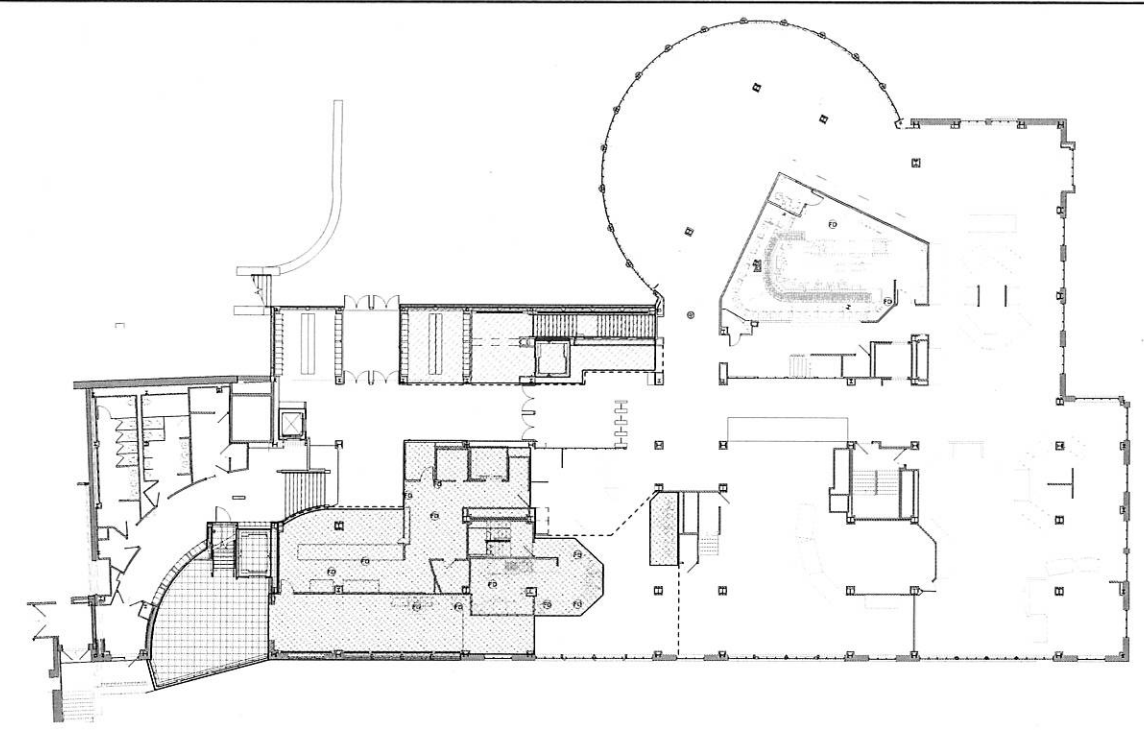
PHASE 3 - COMPLETED 9/30/2015

**PHASE 4 - 5/13/2015 THRU 12/21/2015**

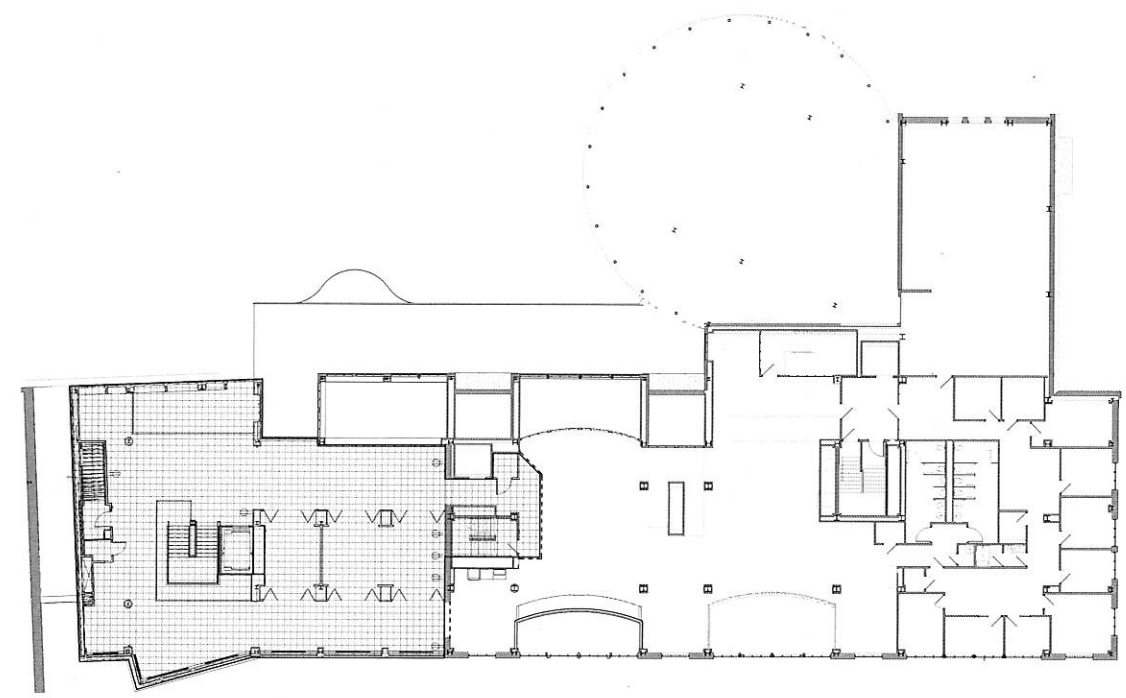
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--- TEMPORARY PARTITION

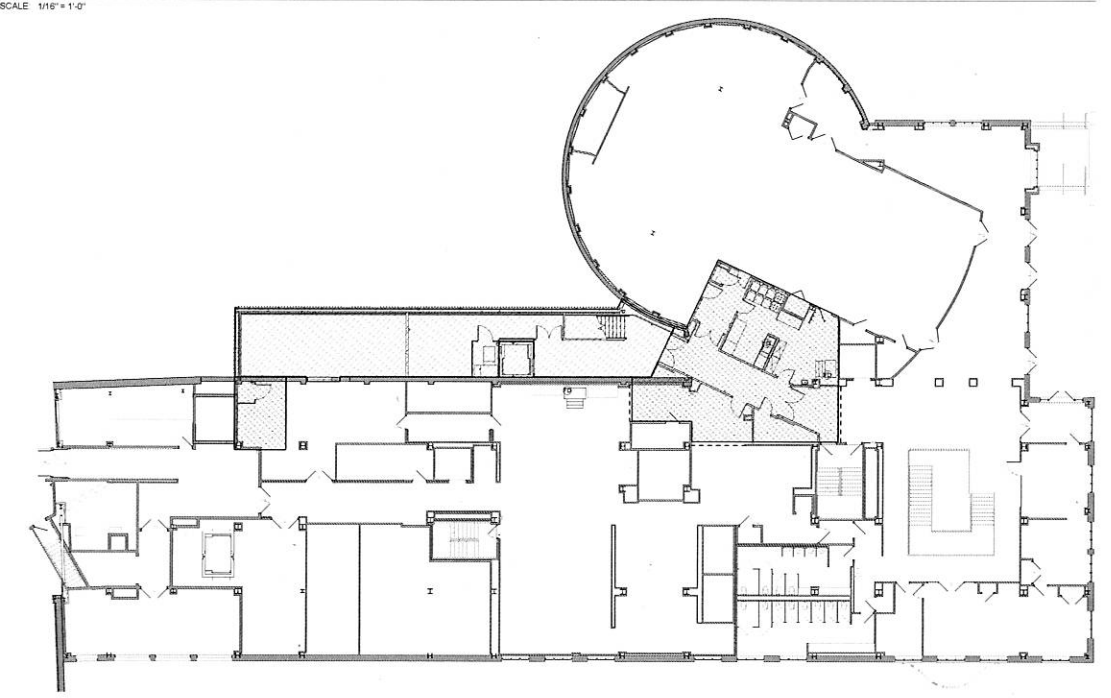
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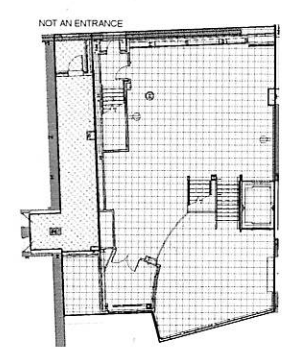
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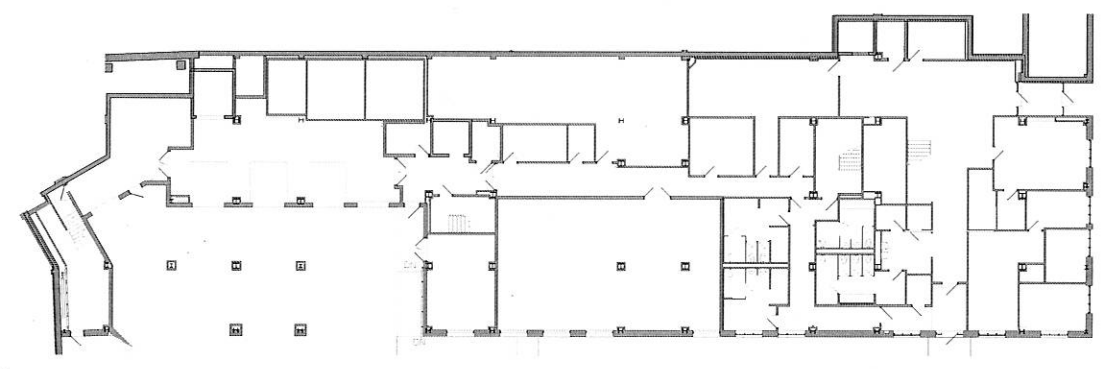
4 THIRD FLOOR PHASE 2  
SCALE 1/16" = 1'-0"



1 FIRST FLOOR PHASE 2  
SCALE 1/16" = 1'-0"

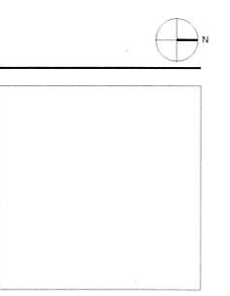


5 UPPER TERRACE PHASE 2  
SCALE 1/16" = 1'-0"



2 GROUND FLOOR PHASE 2 - ALL WORK COMPLETE  
SCALE 1/16" = 1'-0"

Key Plan



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18 CHANCERY STREET  
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617-538-0033  
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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues

No.	Date	Description

Revisions

No.	Date	Description

Drawing Title  
PHASE 2 PLANS

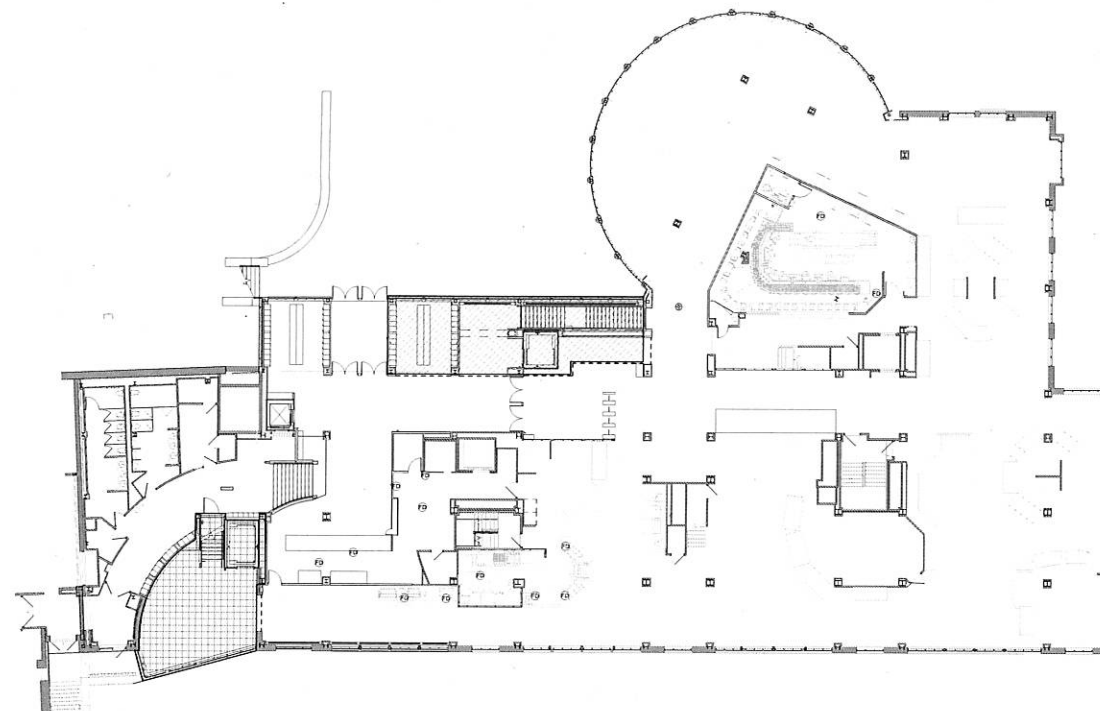
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Drawing Number  
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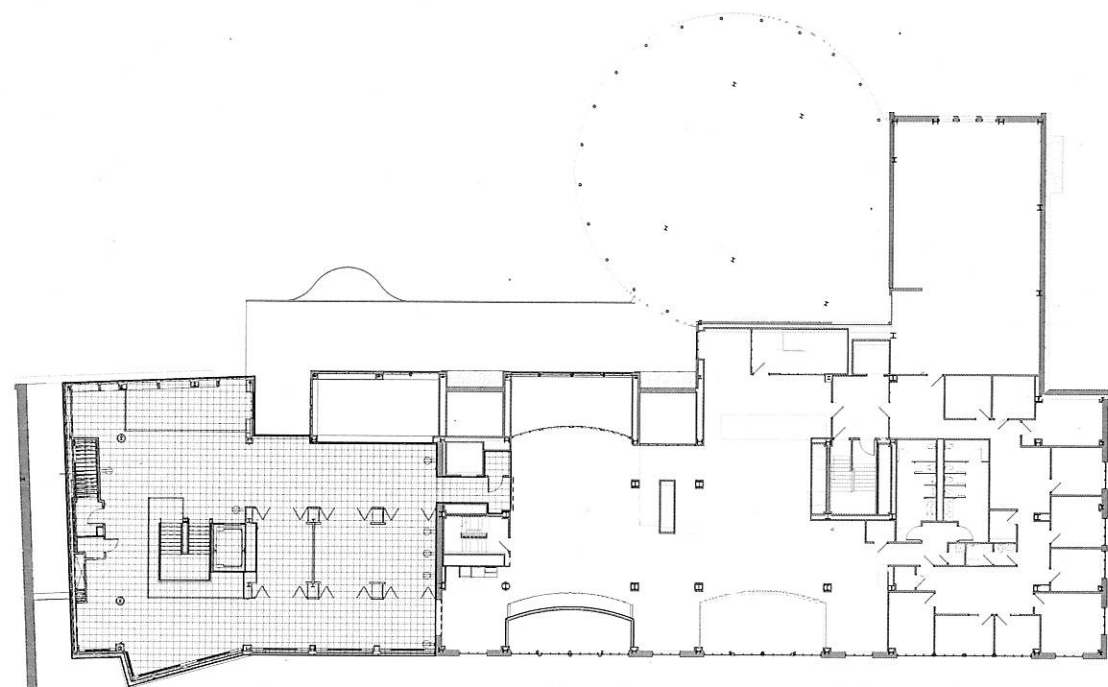
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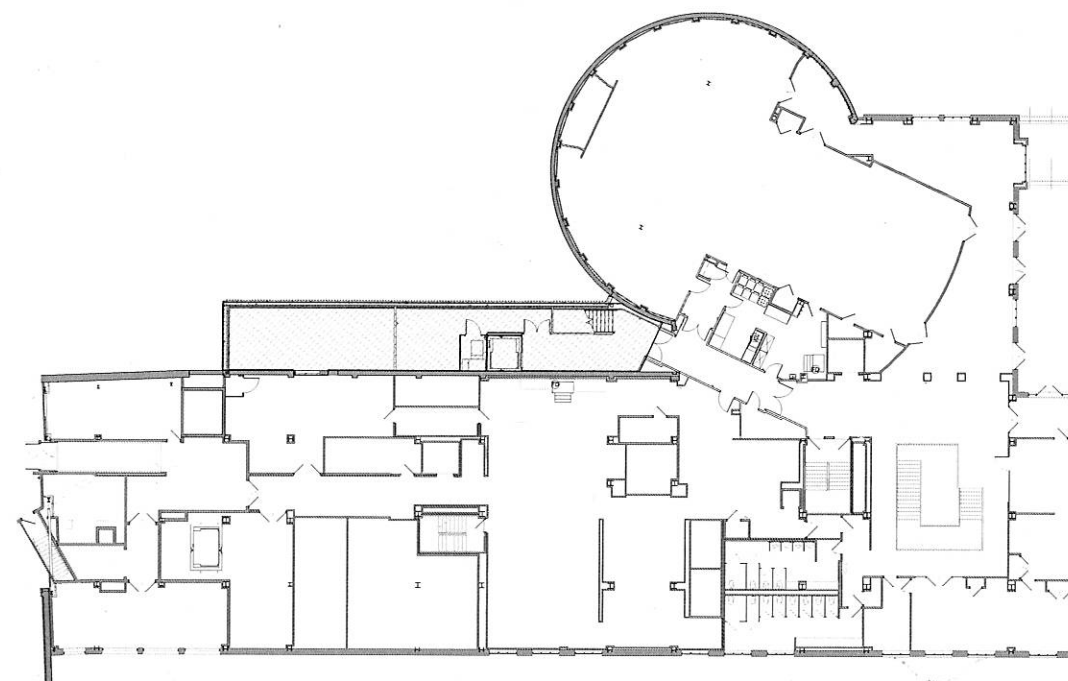
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	PHASE 1A - COMPLETED 6/30/2015
	PHASE 1B - COMPLETED 8/07/2015
	PHASE 1C - COMPLETED 8/11/2015
<b>PHASE 2 - 5/13/2015 THRU 8/27/2015</b>	
	PHASE 2 - COMPLETED 8/27/2015
<b>PHASE 3 - 5/13/2015 THRU 9/30/2015</b>	
	PHASE 3 - COMPLETED 9/30/2015
<b>PHASE 4 - 5/13/2015 THRU 12/21/2015</b>	
	PHASE 4 - COMPLETED 12/21/2015
	TEMPORARY PARTITION
	NOT AN ENTRANCE
	NO ENTRY TO BUILDING DURING THIS PHASE



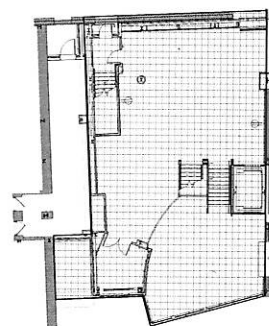
3 SECOND FLOOR PHASE 3  
SCALE: 1/16" = 1'-0"



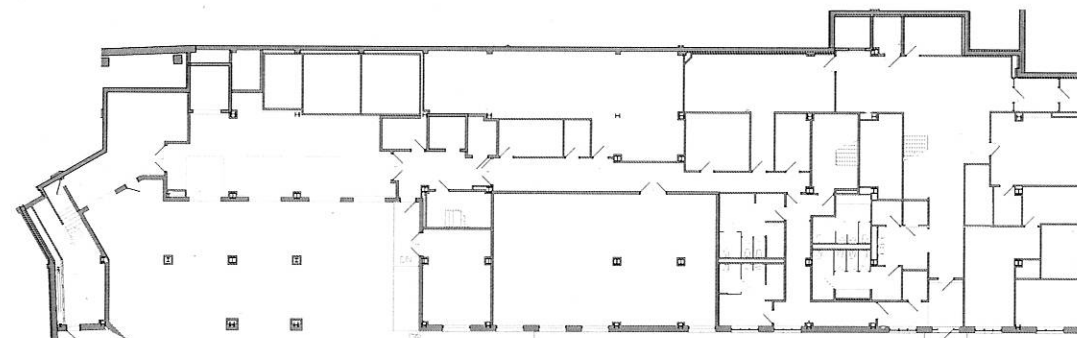
5 THIRD FLOOR PHASE 3  
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR PHASE 3  
SCALE: 1/16" = 1'-0"



4 UPPER TERRACE PHASE 3  
SCALE: 1/16" = 1'-0"



1 GROUND FLOOR PHASE 3 - ALL WORK COMPLETE  
SCALE: 1/16" = 1'-0"

Key Plan



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617-338-8833 fax  
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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

No.	Date	Description

No.	Date	Description

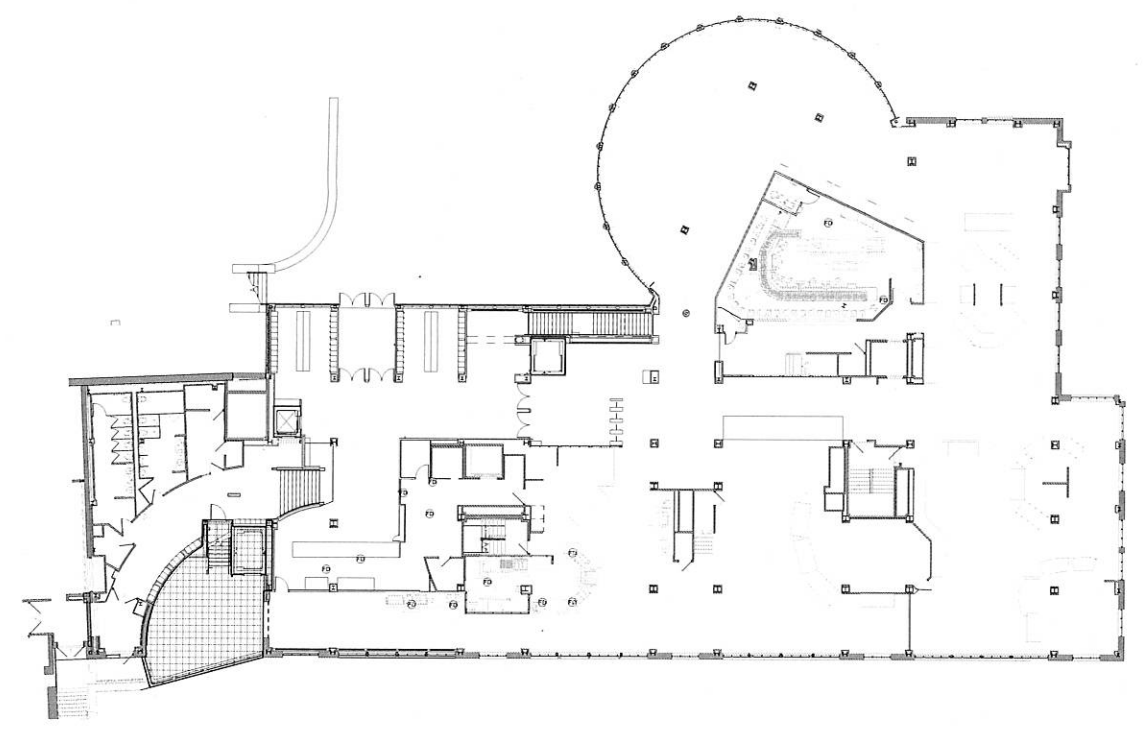
Drawing Title  
PHASE 3 PLANS

1/16" = 1'-0"

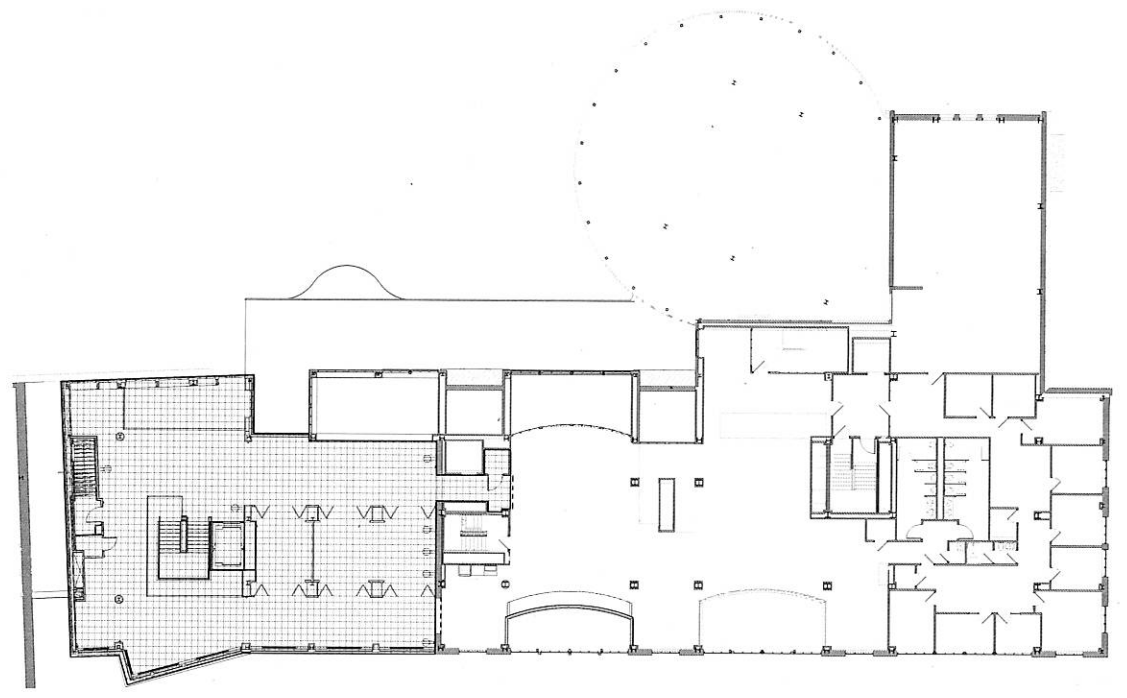
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**PHASING LEGEND**

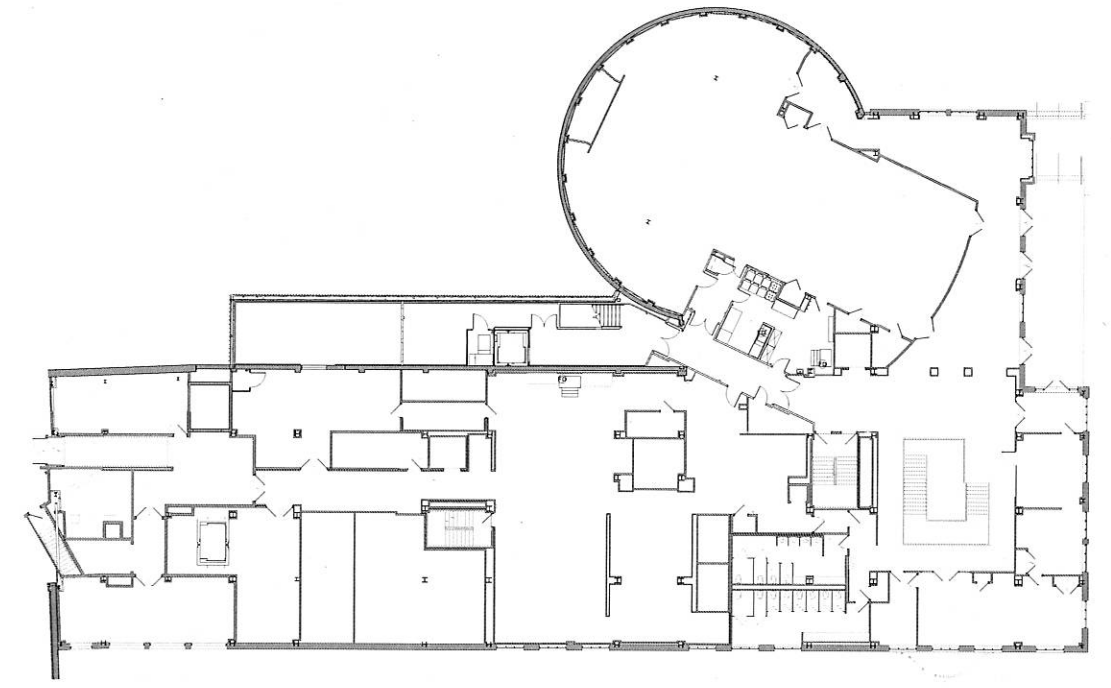
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	PHASE 1B - COMPLETED 8/07/2015
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PHASE 2 - 5/13/2015 THRU 8/27/2015	
	PHASE 2 - COMPLETED 8/27/2015
PHASE 3 - 5/13/2015 THRU 9/30/2015	
	PHASE 3 - COMPLETED 9/30/2015
PHASE 4 - 5/13/2015 THRU 12/21/2015	
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	TEMPORARY PARTITION
	NOT AN ENTRANCE - NO ENTRY TO BUILDING DURING THIS PHASE



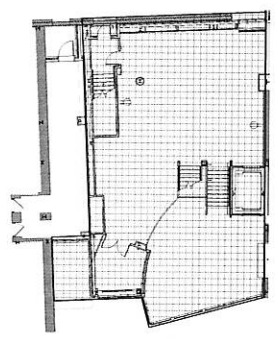
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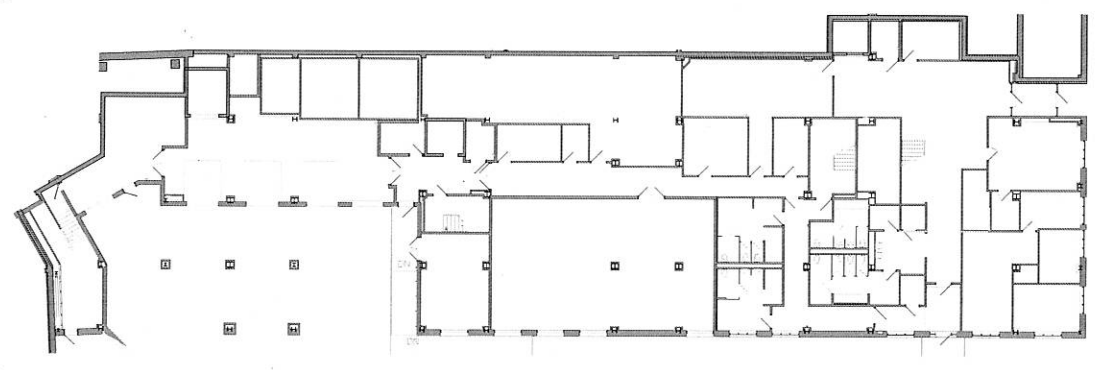
**5 THIRD FLOOR PHASE 4**  
SCALE: 1/16" = 1'-0"



**2 FIRST FLOOR PHASE 4 - ALL WORK COMPLETE**  
SCALE: 1/16" = 1'-0"



**4 UPPER TERRACE PHASE 4**  
SCALE: 1/16" = 1'-0"



**1 GROUND FLOOR PHASE 4 - ALL WORK COMPLETE**  
SCALE: 1/16" = 1'-0"

Key Plan



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85 CALVIN STREET  
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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues

No.	Date	Description

Revisions

No.	Date	Description

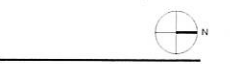
Drawing Title  
**PHASE 4 PLANS**

1/16" = 1'-0"

Drawing Number  
**A0.05**

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Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

No.	Date	Description

No.	Date	Description

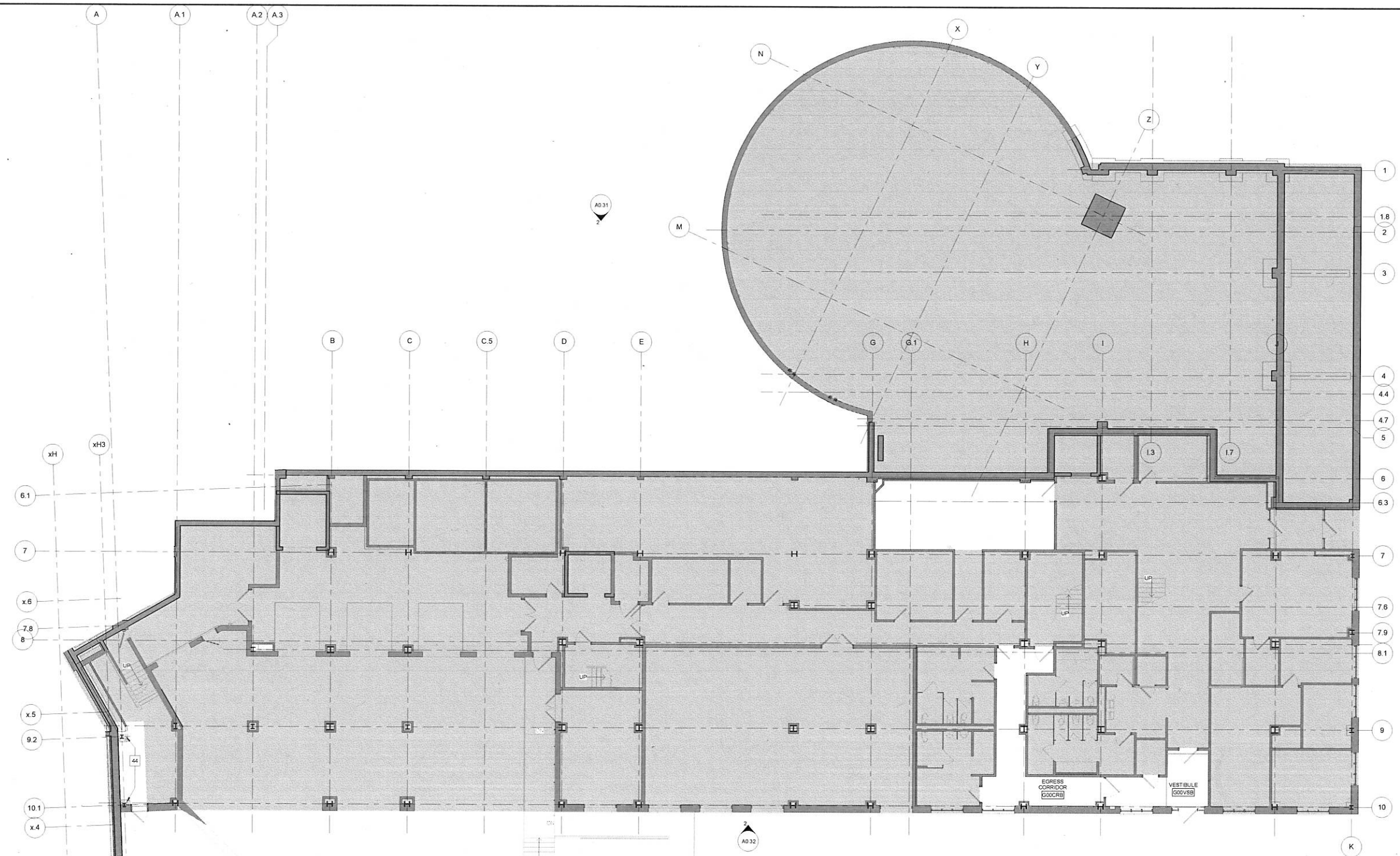
Drawing Title

**DEMO GROUND FLOOR PLAN**

1/8" = 1'-0"

Drawing Number

**A0.10**



**1 GROUND FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

KEYNOTES - DEMO PLAN	
NO.	NOTE
1	REMOVE CANOPY AND ALL ASSOCIATED CONSTRUCTION INCLUDING FOUNDATIONS
1A	REMOVE ENTRY MAT SYSTEM
2	REMOVE BUILT-IN CUBBIES/LOCKERS AND TILE BASE. SALVAGE LOCKERS FOR UNH USE.
3	REMOVE SECURITY GRILL
4	REMOVE LIFT AND ASSOCIATED WIRING
5	DEMO STAIR AND SALVAGE GUARDRAIL FOR RE-USE
5A	DEMO STAIR AND RAILINGS
6	DEMO 3" x 3" GMB WALL STAND AND TILE BASE. SAWCUT FOUNDATION WALL FOR NEW OPENING. SEE STRUCTURAL.
7	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 42'-0"
8	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 42'-0"
8A	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 42'-0"
8B	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 42'-0"
8C	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 42'-0"
8D	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 42'-0"
9	REMOVE AREA DRAINS TYP OF 3. SEE PLUMBING DWGS
10	REMOVE 4" CONCRETE TOPPING SLAB DRAINAGE BOARD AND WATERPROOFING MEMBRANE. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN
10A	REMOVE 4" CONCRETE TOPPING SLAB PROTECT WATERPROOFING FOR NEW DRAIN SEE PLUMB DWGS. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN

KEYNOTES - DEMO PLAN	
NO.	NOTE
10B	CUT TOPPING SLAB, STRUCTURAL SLAB, BRICK VENEER, BACK-UP SYSTEM AND CONC CAP FOR INSTALLATION OF NEW STEEL COLUMN. SEE STRUCT DWGS
11	REMOVE STEEL PIPE LADDER AND 18" X 18" CONC PAVER
12	REMOVE AND SALVAGE SAFETY TIE-OFF ANCHOR
13	DEMO ROOF DRAIN. SEE PLUMBING DWGS
14	REMOVE FULLY ADHERED EPDM ROOFING PROTECTION BOARD, RIGID INSULATION, METAL DECK WITH FIREPROOFING AND FIREPROOFING FROM THE TOP FLANGE OF BEAMS SPANNING NORTH/SOUTH DIRECTION TO FACILITATE WELDING OF NEW STRUCTURAL SUPPORT. SEE STRUCT DWGS
15	REMOVE BLOCKING AND METAL FASCIA AT ROOF EDGE TYP
16	REMOVE GALV AREAWAY GRATING & SHELF ANGLES
17	REMOVE EXHAUST FANS AND CURB W/ EPDM FLASHING AND WALKWAY PADS TO BE RELOCATED
18	DEMO VENT
19	DEMO LIGHT FIXTURE
20	DEMO FLOOR STRUCTURE THIS AREA FOR NEW HOISTWAY. SEE STRUCT DWGS
21	DEMO CONCRETE PATIO AND STEEL GUARD RAILING
22	REMOVE CASEWORK. SALVAGE STONE TOP TO BE RE-INSTALLED. SEE MEP FOR DISCONNECTS
23A	REMOVE GUARDRAIL AND WOOD CURB AND SALVAGE GUARDRAIL. RE-USE
24	REMOVE FIN TUBE. SEE MECH DWGS

KEYNOTES - DEMO PLAN	
NO.	NOTE
25	REMOVE FIRE PULL STATION. SEE ELEC DWGS
27	REMOVE AND SALVAGE LIGHTNING PROTECTION SYSTEM. SEE ELEC DWGS
28	REMOVE AND TURN GREEN ROOF TRAYS OVER TO UNH
29	REMOVE SLOPED STONE CAP. SEE DEMO ELEVATIONS
30	DEMO FINISH FLOORING IN HATCHED AREA
31	REMOVE AND SALVAGE TURNSTYLES TO BE RE-USED BY UNH
32	DEMO CANOPY FOLDAWAY
33	REMOVE 10' HEIGHT WALL AND ASSOCIATED COUNTERS
34	DEMO CERAMIC TILE ON THIS WALL
35	REMOVE AND SALVAGE FCC TO BE RE-USED
36	DEMO FIRESHUTTER AND TRACK - SEE ELEC DWGS
37	REMOVE DOOR FRAME, DOOR & HARDWARE
37A	REMOVE DOORS AND FRAME. SALVAGE FOR RE-USE
37C	REMOVE DOOR
38	REMOVE BELOW GRADE RIGID INSULATION
39	REMOVE DOOR FRAMES, DOORS, GLAZING AND HARDWARE
39A	REMOVE FRAMES AND GLAZING
40	REMOVE AND SALVAGE DOOR AND FRAME FOR RE-USE (ALTERNATE #1)
41	REMOVE TOILET PARTITIONS. SALVAGE FOR RE-USE
43	DEMO MASONRY SILL
44	DEMO BACK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE. SEE STRUCT DWGS

KEYNOTES - DEMO PLAN	
NO.	NOTE
45	DEMO BACK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE AND COLUMN REINFORCEMENT. SEE STRUCT DWGS
46	REMOVE AND SALVAGE DIEH MACHINE FOR OWNER. PROTECT FLOOR DURING REMOVAL CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
47	REMOVE ACCUMULATOR, PROTECT FLOOR DURING REMOVAL
48	RELOCATE PULLER EXTRACTOR
49	REMOVE HOLLOWAY PLAQUE AND SAVE FOR RE-INSTALLATION
50	REMOVE CABINET UNIT HEATER. SEE MECH DWGS
51	DEMO PAVED SIDEWALK. SEE CIVIL DWGS
55	SALVAGE CASEWORK FOR RE-USE
56	REMOVE EXISTING FLOOR FRAMING AND CONSTRUCTION DOWN TO LOWER TERRACE. SEE STRUCT DWGS
57	REMOVE AND SALVAGE ICE MACHINE TO BE RELOCATED
58	SALVAGE 12"X12" PIECE OF WALL WITH SPECIALTY PAINT TO BE CUSTOM MATCHED BY MASTER COATING TECHNOLOGIES. SEE RS-1 REMARKS ON AS 10 FINISH LEGEND FOR MASTER COATING TECHNOLOGIES AND CONTACT INFORMATION
60	REMOVE VIDEO MONITOR AND MOUNTING BRACKETS. RETURN TO UNH
61	REMOVE KITCHEN HOOD. SEE MECH DWGS. SALVAGE HOOD FOR OWNER. CRATE EQUIPMENT, COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
62	TRENCH CONC SLAB FOR NEW PLUMBING - SEE PLUMB DWGS
63	REMOVE ROOF OPENING FOR NEW EXHAUST FAN. SEE MECHANICAL AND STRUCTURAL

**GENERAL DEMO NOTES**

A. MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND OR SURFACES. REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS.

B. PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SLATED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK.

C. PROVIDE PROTECTION, TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO CONTAIN DUST WITHIN PROTECTED WORK AREAS.

D. COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER.

E. PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER.

F. SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND EXISTING OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING.

G. SALVAGE ALL ZINC TRIM SIDING FOR RE-USE.

H. COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING.

I. SALVAGE DOORS AND DOOR HARDWARE FOR REUSE BY UNH.

- REMOVE TOPPING SLAB
- REMOVE FINISHED FLOOR
- REMOVE TOPPING SLAB. PROTECT WATERPROOFING
- REMOVE CONCRETE SLAB
- REMOVE FLOOR FRAMING AND CONSTRUCTION
- NO WORK THIS AREA

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Key Plan



**MDS** architecture  
planning  
interiors

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16 SAUNDERS STREET  
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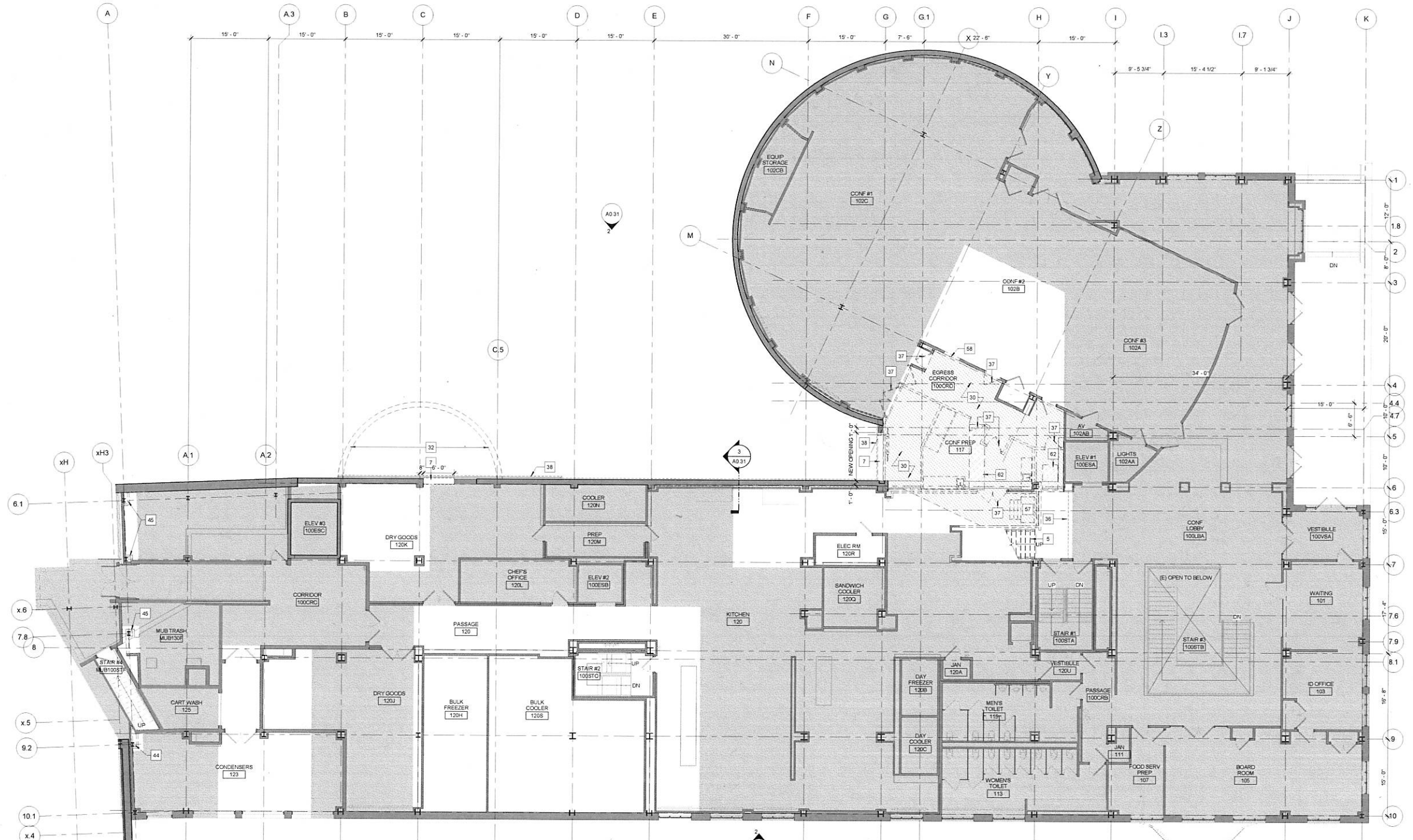
Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues	No	Date	Description

Revisions	No	Date	Description

Drawing Title  
**DEMO FIRST FLOOR PLAN**

1/8" = 1'-0"  
Drawing Number  
**A0.11**



**1 FIRST FLOOR DEMOLITION PLAN**  
SCALE 1/8" = 1'-0"

KEYNOTES - DEMO PLAN	NO.	NOTE
	1	REMOVE CANOPY AND ALL ASSOCIATED CONSTRUCTION INCLUDING FOUNDATIONS
	1A	REMOVE ELEVATOR MAT SYSTEM
	2	REMOVE BUILT-IN CUBBIELOCKERS AND TILE BASE. SALVAGE LOCKERS FOR UNH USE
	3	REMOVE SECURITY GRILL
	4	REMOVE LEFT AND ASSOCIATED WIRING
	5	DEMO STAIR AND SALVAGE GUARDRAIL FOR RE-USE
	5A	DEMO STAIR AND RAILINGS
	6	DEMO 3" - 3" GWB WALL STAND AND TILE BASE
	7	SAWCUT FOUNDATION WALL FOR NEW OPENING. SEE STRUCTURAL
	8	DEMO WALL BRICK AND CAST STONE 42" HIGH WALL ABOVE UPPER TERRACE LEVEL
	8A	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 82' - 0"
	8B	DEMO RAILING
	8C	DEMO BRICK VENEER AND MASCHRY DOWN TO LOWER TERRACE @ 82' - 0"
	8D	DEMO BRICK AND CMU BACKUP DOWN TO 10' ABOVE UPPER TERRACE
	9	REMOVE AREA DRAINS. TYP OF 3. SEE PLUMBING DWGS
	10	REMOVE 4" CONCRETE TOPPING SLAB DRAINAGE BOARD AND WATERPROOFING MEMBRANE. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN
	10A	REMOVE 4" CONC TOPPING SLAB PROTECT WATERPROOFING. FOR NEW DRAIN SEE PLUMB DWGS. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN

KEYNOTES - DEMO PLAN	NO.	NOTE
	10B	CUT TOPPING SLAB. STRUCTURAL SLAB BRICK VENEER. BACK-UP SYSTEM AND CONC CAP FOR INSTALLATION OF NEW STEEL COLUMN. SEE STRUCT DWGS
	11	REMOVE STEEL PIPE LADDER AND 18" X 18" CONC FRAISER
	12	REMOVE AND SALVAGE SAFETY TIE-OFF ANCHOR
	13	DEMO ROOF DRAIN. SEE PLUMBING DWGS
	14	REMOVE FULLY ADHERED EPDM ROOFING. PROTECT BOARD. RIGID INSULATION. METAL DECK WITH FIREPROOFING AND FIREPROOFING FROM THE TOP FLANGE OF BEAMS SPANNING NORTH/SOUTH DIRECTION TO FACILITATE HOLDING OF NEW STRUCTURAL SUPPORT. SEE STRUCT DWGS
	15	REMOVE BLOCKING AND METAL FASCIA AT ROOF EDGE TYP
	16	REMOVE GALV. AREAWAY GRATING & SHELF ANGLES
	17	REMOVE EXHAUST FANS AND CURB W/ EPDM FLASHING AND WALKWAY PADS TO BE RELOCATED
	18	DEMO VENT
	19	DEMO LIGHT FIXTURE
	20	DEMO FLOOR STRUCTURE THIS AREA FOR NEW HOISTWAY. SEE STRUCT DWGS
	21	DEMO CONCRETE PATIO AND STEEL GUARD RAILING
	22	REMOVE CASEWORK. SALVAGE STONE TOP TO BE REINSTALLED. SEE MEP FOR DISCONNECTS
	23A	REMOVE GUARDRAIL AND WOOD CURB AND SALVAGE GUARDRAIL FOR RE-USE
	24	REMOVE FIN TUBE. SEE MECH DWGS

KEYNOTES - DEMO PLAN	NO.	NOTE
	26	REMOVE FIRE PULL STATION. SEE ELEC DWGS
	27	REMOVE AND SALVAGE LIGHTNING PROTECTION SYSTEM. SEE ELEC DWGS
	28	REMOVE AND TURN GREEN ROOF TRAYS OVER TO UNH
	29	REMOVE SLOPED STONE CAP. SEE DEMO ELEVATIONS
	30	DEMO FINISH FLOORING IN HATCHED AREA
	31	REMOVE AND SALVAGE TURNSTILES TO BE RE-USED BY UNH
	32	DEMO CANOPY FOUNDATION
	33	REMOVE 1/2" HEIGHT WALL AND ASSOCIATED COUNTERS
	34	DEMO CERAMIC TILE ON THIS WALL
	35	REMOVE AND SALVAGE FEC TO BE RE-USED
	36	DEMO FRESH-UTTER AND TRACK. SEE ELEC DWGS
	37A	REMOVE DOOR FRAME, DOOR, & HARDWARE
	37B	REMOVE DOORS AND FRAME. SALVAGE FOR RE-USE
	37C	REMOVE DOOR
	38	REMOVE BELOW GRADE RIGID INSULATION
	39	REMOVE DOOR FRAMES, DOORS, GLAZING AND HARDWARE
	39A	REMOVE FRAMES AND GLAZING
	40	REMOVE AND SALVAGE DOOR AND FRAME FOR RE-USE (ALTERNATE #1)
	41	REMOVE TOILET PARTITIONS. SALVAGE FOR RE-USE
	43	DEMO MASONRY SILL
	44	DEMO BACK COLUMN ENCLOSURE AND REMOVE PREPARED FOR INSTALLATION OF NEW STRUCTURAL BRACE. SEE STRUCT DWGS

KEYNOTES - DEMO PLAN	NO.	NOTE
	45	DEMO BACK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE AND COLUMN. SEE STRUCT DWGS
	46	REMOVE AND SALVAGE DISH MACHINE FOR CHAIRS. PROTECT FLOOR DURING REMOVAL. CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
	47	REMOVE ACCUMULATOR. PROTECT FLOOR DURING REMOVAL
	48	RELOCATE PULPER EXTRACTOR
	49	REMOVE HOLLOWAY PLUQUE AND SAVE FOR RE-INSTALLATION
	50	REMOVE CABINET UNIT HEATER. SEE MECH DWGS
	51	DEMO PAVED SIDEWALK. SEE CIVIL DWGS
	55	SALVAGE CASEWORK FOR RE-USE
	56	REMOVE EXISTING FLOOR FRAMING AND CONSTRUCTION DOWN TO LOWER TERRACE. SEE STRUCT DWGS
	57	REMOVE AND SALVAGE ICE MACHINE TO BE RELOCATED
	58	SALVAGE 12" X 12" PIECE OF WALL WITH SPECIALTY PAINT TO BE CUSTOM MATCHED BY MASTER COATING TECHNOLOGIES. SEE PS-1 REMARKS ON A9 TO FINISH LEGEND FOR MASTER COATING TECHNOLOGIES AND CONTACT INFORMATION
	60	REMOVE VIDEO MONITOR AND MOUNTING BRACKETS. RETURN TO UNH
	61	REMOVE KITCHEN HOOD. SEE MECH DWGS. SALVAGE HOOD FOR OWNER. CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
	62	TRENCH CONC SLAB FOR NEW PLUMBING. SEE PLUMB DWGS
	63	ENLARGE ROOF OPENING FOR NEW EXHAUST FAN. SEE MECHANICAL AND STRUCTURAL

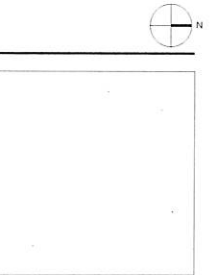
GENERAL DEMO NOTES	
NO.	NOTE
A	MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND OR SURFACES. REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS
B	PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SLATED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK
C	PROVIDE PROTECTION, TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO CONTAIN DUST WITHIN PROTECTED WORK AREAS
D	COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER
E	PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER
F	SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND SALVAGE OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING
G	SALVAGE ALL ZINC TRIM SIDING FOR RE-USE
H	COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING
I	SALVAGE DOORS AND DOOR HARDWARE FOR RE-USE BY UNH

	REMOVE TOPPING SLAB
	REMOVE FINISHED FLOOR
	REMOVE TOPPING SLAB
	REMOVE CONCRETE SLAB
	REMOVE FLOOR FRAMING AND CONSTRUCTION
	NO WORK THIS AREA

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Key Plan



**MDS** architecture  
planning  
interiors

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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues

No	Date	Description

Revisions

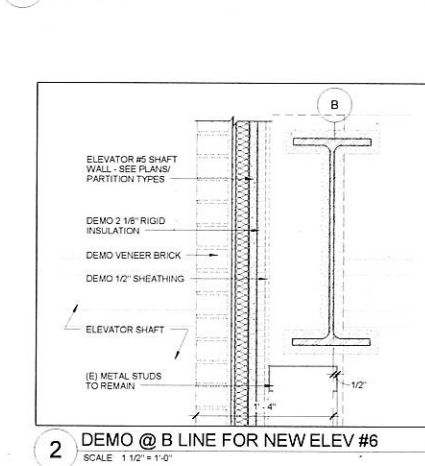
No	Date	Description

Drawing Title  
**DEMO SECOND FLOOR PLAN**

As indicated  
Drawing Number  
**A0.12**



**1 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**KEYNOTES - DEMO PLAN**

NO.	NOTE
1	REMOVE CANOPY AND ALL ASSOCIATED CONSTRUCTION INCLUDING FOUNDATIONS
1A	REMOVE ENTRY MAT SYSTEM
2	REMOVE BUILT-IN CURB/LOCKERS AND TILE BASE. SALVAGE LOCKERS FOR UNH USE
3	REMOVE SECURITY GRILL
4	REMOVE LIFT AND ASSOCIATED WIRING
5	DEMO STAIR AND SALVAGE GUARDRAIL FOR RE-USE
5A	DEMO STAIR AND RAILINGS
6	DEMO 3'-3 1/2" GWS WALL STAND AND TILE BASE
7	SAW-CUT FOUNDATION WALL FOR NEW OPENING. SEE STRUCTURAL
8	DEMO WALL, BRICK AND CAST STONE 42" HIGH WALL ABOVE UPPER TERRACE LEVEL
8A	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 32'-0"
8B	DEMO RAILING
8C	DEMO BRICK VENEER AND MASONRY DOWN TO LOWER TERRACE @ 32'-0"
8D	DEMO BRICK AND CMU BACKUP DOWN TO 10" ABOVE UPPER TERRACE
9	REMOVE AREA DRAINS. TYP OF 3. SEE PLUMBING DWGS
10	REMOVE 4" CONCRETE TOPPING SLAB, DRAINAGE BOARD AND WATERPROOFING MEMBRANE. SAW-CUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN
10A	REMOVE 4" CONCRETE TOPPING SLAB. PROTECT WATERPROOFING FOR NEW DRAIN. SEE PLUMB DWGS. SAW-CUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN

**KEYNOTES - DEMO PLAN**

NO.	NOTE
10B	CUT TOPPING SLAB, STRUCTURAL SLAB, BRICK VENEER, BACK-UP SYSTEM AND CONC CAP FOR INSTALLATION OF NEW STEEL COLUMN. SEE STRUCT DWGS
11	REMOVE STEEL PIPE LADDER AND 18" X 18" CONC. PAVER
12	REMOVE AND SALVAGE SAFETY TIE-OFF ANCHOR
13	DEMO ROOF DRAIN. SEE PLUMBING DWGS
14	REMOVE FULLY ADHERED EPDM ROOFING PROTECTION BOARD, RIGID INSULATION, METAL DECK WITH FIREPROOFING AND FIREPROOFING FROM THE TOP FLANGE OF BEAMS SPANNING NORTH/SOUTH DIRECTION TO FACILITATE WELDING OF NEW STRUCTURAL SUPPORT. SEE STRUCT DWGS
15	REMOVE BLOCKING AND METAL FASCIA AT ROOF EDGE TYP
16	REMOVE GALV. AREAWAY GRATING & SHELF ANGLES
17	REMOVE EXHAUST FANS AND CURB W/ EPDM FLASHING AND WALKWAY PADS TO BE RELOCATED
18	DEMO VENT
19	DEMO LIGHT FIXTURE
20	DEMO FLOOR STRUCTURE. THIS AREA FOR NEW HOISTWAY. SEE STRUCT DWGS
21	DEMO CONCRETE PATIO AND STEEL GUARD RAILING
22	REMOVE CASEWORK, SALVAGE STONE TOP TO BE RE-INSTALLED. SEE MEP FOR DISCONNECTS
22A	REMOVE GUARDRAIL AND WOOD CURB AND SALVAGE GUARDRAIL. RE-USE
24	REMOVE FIN TUBE. SEE MECH DWGS

**KEYNOTES - DEMO PLAN**

NO.	NOTE
25	REMOVE FIRE PULL STATION. SEE ELEC DWGS
27	REMOVE AND SALVAGE LIGHTNING PROTECTION SYSTEM. SEE ELEC DWGS
28	REMOVE AND TURN GREEN ROOF TRAYS OVER TO UNH
29	REMOVE SLOPED STONE CAP. SEE DEMO ELEVATIONS
30	DEMO FINISH FLOORING IN HATCHED AREA
31	REMOVE AND SALVAGE TURNSTYLES TO BE RE-USED BY UNH
32	DEMO CANOPY FOUNDATION
33	REMOVE 10" HEIGHT WALL AND ASSOCIATED COUNTERS
34	DEMO CERAMIC TILE ON THIS WALL
35	REMOVE AND SALVAGE FEC TO BE RE-USED
36	DEMO FIRE-RESISTANT TRACK - SEE ELEC DWGS
37	REMOVE DOOR FRAME, DOOR, & HARDWARE FOR RE-USE
37A	REMOVE DOORS AND FRAME. SALVAGE FOR RE-USE
37C	REMOVE DOOR
38	REMOVE BELOW GRADE RIGID INSULATION
39	REMOVE DOOR FRAMES, DOORS, GLAZING AND HARDWARE
39A	REMOVE FRAMES AND GLAZING
40	REMOVE AND SALVAGE DOOR AND FRAME FOR RE-USE (ALTERNATE #1)
41	REMOVE TOILET PARTITIONS. SALVAGE FOR RE-USE
43	DEMO MASONRY SILL
44	DEMO BACK COLUMN ENCLASURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE. SEE STRUCT DWGS

**KEYNOTES - DEMO PLAN**

NO.	NOTE
45	DEMO BACK COLUMN ENCLASURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE AND COLUMN
46	REMOVE AND SALVAGE DISH MACHINE FOR OWNER. PROTECT FLOOR DURING REMOVAL. CRATE EQUIPMENT, COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
47	REMOVE ACCUMULATOR. PROTECT FLOOR DURING REMOVAL
48	RELOCATE PULPER EXTRACTOR
49	REMOVE HOLLOWAY PLAQUE AND SAVE FOR RE-INSTALLATION
50	REMOVE CABINET UNIT HEATER. SEE MECH DWGS
51	DEMO PAVED SIDEWALK. SEE CIVIL DWGS
52	SALVAGE CASEWORK FOR RE-USE
53	REMOVE EXISTING FLOOR FRAMING AND CONSTRUCTION DOWN TO LOWER TERRACE. SEE STRUCT DWGS
57	REMOVE AND SALVAGE ICE MACHINE TO BE RELOCATED
58	SALVAGE 12"x12" PIECE OF WALL WITH SPECIALTY PAINT TO BE CUSTOM MATCHED BY MASTER COATING TECHNOLOGIES. SEE PB-1 REMARKS ON A8 TO FINISH LEAD FOR MASTER COATING TECHNOLOGIES AND CONTACT INFORMATION
60	REMOVE VIDEO MONITOR AND MOUNTING BRACKETS. RETURN TO UNH
61	REMOVE KITCHEN HOOD. SEE MECH DWGS. SALVAGE HOOD FOR OWNER. CRATE EQUIPMENT, COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
62	TRENCH CONC SLAB FOR NEW PLUMBING - SEE PLUMB DWGS
63	ENLARGE ROOF OPENING FOR NEW EXHAUST FAN. SEE MECHANICAL AND STRUCTURAL

**GENERAL DEMO NOTES**

A. MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND OR SURFACES. REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS

B. PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SCHEDULED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK

C. PROVIDE PROTECTION, TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO CONTAIN DUST WITHIN PROTECTED WORK AREAS

D. COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER

E. PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER

F. SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND SALVAGE OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING

G. SALVAGE ALL ZINC TRIM SIDING FOR RE-USE

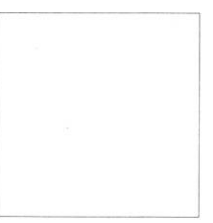
H. COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING

I. SALVAGE DOORS AND DOOR HARDWARE FOR RE-USE BY UNH

- REMOVE TOPPING SLAB
- REMOVE FINISHED FLOOR
- REMOVE TOPPING SLAB, PROTECT WATERPROOFING
- REMOVE CONCRETE SLAB
- REMOVE FLOOR FRAMING AND CONSTRUCTION
- NO WORK THIS AREA

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Key Plan



**MDS** architecture  
interiors  
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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
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Issue Date: November 25, 2014

Issues

No.	Date	Description

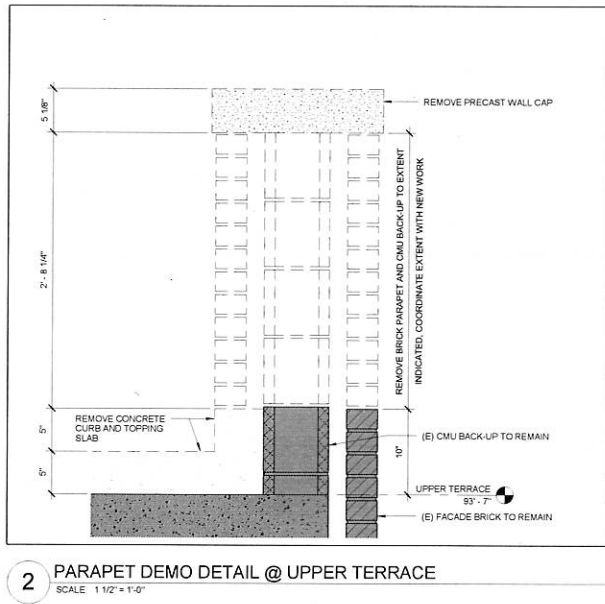
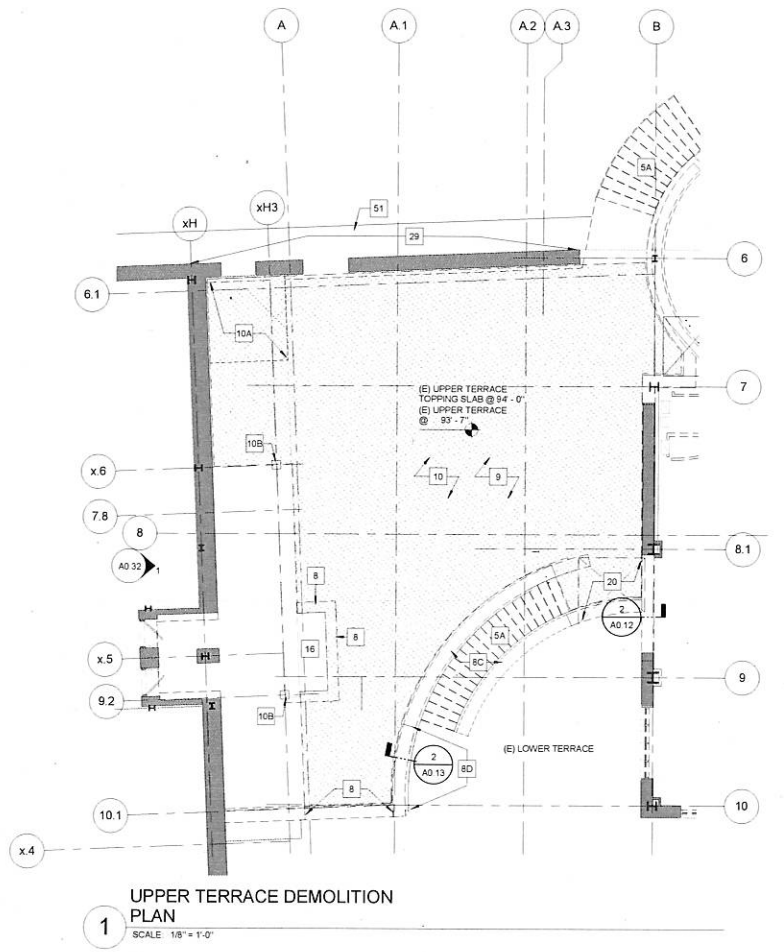
Revisions

No.	Date	Description

Drawing Title  
**DEMO UPPER TERRACE PLAN**

As indicated

Drawing Number  
**A0.13**



KEYNOTES - DEMO PLAN	
NO.	NOTE
1	REMOVE CANOPY AND ALL ASSOCIATED CONSTRUCTION INCLUDING FOUNDATIONS
1A	REMOVE ENTRY MAT SYSTEM
2	REMOVE BUILT-IN CUBBIES/LOCKERS AND TILE BASE. SALVAGE LOCKERS FOR UNH USE
3	REMOVE SECURITY GRILL
4	REMOVE LIFT AND ASSOCIATED WIRING
5	DEMO STAIR AND SALVAGE GUARDRAIL FOR RE-USE
5A	DEMO STAIR AND RAILINGS
6	DEMO 3'-3 3/4" GIBB WALL STAND AND TILE BASE
7	SAWCUT FOUNDATION WALL FOR NEW OPENING. SEE STRUCTURAL
8	DEMO WALL BRICK AND CAST STONE 42" HIGH WALL ABOVE UPPER TERRACE LEVEL
8A	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 92'-7"
8B	DEMO RAILING
8C	DEMO BRICK VENEER AND MASONRY DOWN TO LOWER TERRACE @ 92'-7"
8D	DEMO BRICK AND CMU BACKUP DOWN TO 10' ABOVE UPPER TERRACE
9	REMOVE AREA DRAINS. TYP OF 3. SEE PLUMBING DWGS
10	REMOVE 4" CONCRETE TOPPING SLAB. DRAINAGE BOARD AND WATERPROOFING MEMBRANE. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN
10A	REMOVE 4" CONC TOPPING SLAB. PROTECT WATERPROOFING FOR NEW DRAIN. SEE PLUMB DWGS. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN

KEYNOTES - DEMO PLAN	
NO.	NOTE
10B	CUT TOPPING SLAB. STRUCTURAL SLAB BRICK VENEER. BACK-UP SYSTEM AND CONC CAP FOR INSTALLATION OF NEW STEEL COLUMN. SEE STRUCT DWGS
11	REMOVE STEEL PIPE LADDER AND 18" X 18" CONC. PAVES
12	REMOVE AND SALVAGE SAFETY TIE OFF ANCHOR
13	DEMO ROOF DRAIN. SEE PLUMBING DWGS
14	REMOVE FULLY ADHERED EPDM ROOFING PROTECTION BOARD. RIGID INSULATION. METAL DECK WITH FIREPROOFING AND FIREPROOFING FROM THE TOP FLANGE OF BEAMS SPANNING NORTH/SOUTH DIRECTION TO FACILITATE WELDING OF NEW STRUCTURAL SUPPORT. SEE STRUCT DWGS
15	REMOVE BLOCKING AND METAL FASCIA AT ROOF EDGE TYP
16	REMOVE GALV. AREAWAY GRATING & SHELF ANCHORS
17	REMOVE EXHAUST FANS AND CURB W/ EPDM FLASHING AND WALKWAY PADS TO BE RELOCATED
18	DEMO VENT
19	DEMO LIGHT FIXTURE
20	DEMO FLOOR STRUCTURE THIS AREA FOR NEW HOISTWAY. SEE STRUCT DWGS
21	DEMO CONCRETE PATIO AND STEEL GUARD RAILING
22	REMOVE CASEWORK. SALVAGE STONE TOP TO BE REINSTALLED. SEE MEP FOR DISCONNECTS
23A	REMOVE GUARDRAIL AND WOOD CURB AND SALVAGE GUARDRAIL. RE-USE
24	REMOVE FIN TUBE. SEE MECH DWGS

KEYNOTES - DEMO PLAN	
NO.	NOTE
25	REMOVE FIRE PULL STATION. SEE ELEC DWGS
27	REMOVE AND SALVAGE LIGHTNING PROTECTION SYSTEM. SEE ELEC DWGS
28	REMOVE AND TURN GREEN ROOF TRAYS OVER TO UH
29	REMOVE SLOPED STONE CAP. SEE DEMO ELEVATIONS
30	DEMO FINISH FLOORING IN HATCHED AREA
31	REMOVE AND SALVAGE TURNSTILES TO BE RE-USED BY UNH
32	DEMO CANOPY FOUNDATION
33	REMOVE 1/2" HEIGHT WALL AND ASSOCIATED COUNTERTOPS
34	DEMO CERAMIC TILE ON THIS WALL
35	REMOVE AND SALVAGE FEC TO BE RE-USED
36	DEMO FRESHWATER TRACK. SEE ELEC DWGS
37	REMOVE DOOR FRAME, DOOR & HARDWARE
37A	REMOVE DOORS AND FRAME. SALVAGE FOR RE-USE
37C	REMOVE DOOR
38	REMOVE BELOW GRADE RIGID INSULATION
39	REMOVE DOOR FRAMES, DOORS, GLAZING AND HARDWARE
39A	REMOVE FRAMES AND GLAZING
40	REMOVE AND SALVAGE DOOR AND FRAME FOR RE-USE (ALTERNATE #1)
41	REMOVE TOILET PARTITIONS. SALVAGE FOR RE-USE
43	DEMO MASONRY SILL
44	DEMO BACK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE. SEE STRUCT DWGS

KEYNOTES - DEMO PLAN	
NO.	NOTE
45	DEMO BACK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE AND COLUMN REINFORCEMENT. SEE STRUCT DWGS
46	REMOVE AND SALVAGE DISH MACHINE FOR OWNER. PROTECT FLOOR DURING REMOVAL. CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
47	REMOVE ACCUMULATOR. PROTECT FLOOR DURING REMOVAL
48	RELOCATE PULPER EXTRACTOR
49	REMOVE HOLLOWAY PLAQUE AND SAVE FOR RE-INSTALLATION
50	REMOVE CABINET UNIT HEATER. SEE MECH DWGS
51	DEMO PAVED SIDEWALK. SEE CIVIL DWGS
55	SALVAGE CASEWORK FOR RE-USE
56	REMOVE EXISTING FLOOR FRAMING AND CONSTRUCTION DOWN TO LOWER TERRACE. SEE STRUCT DWGS
57	REMOVE AND SALVAGE ICE MACHINE TO BE RELOCATED
58	SALVAGE 12"x12" PIECE OF WALL WITH SPECIALTY PAINT TO BE CUSTOM MATCHED BY MASTER COATING TECHNOLOGIES. SEE PS-4 REMARKS ON A9 TO FINISH LEGEND FOR MASTER COATING TECHNOLOGIES AND CONTACT INFORMATION
60	REMOVE VIDEO MONITOR AND MOUNTING BRACKETS. RETURN TO UNH
61	REMOVE KITCHEN HOOD. SEE MECH DWGS. SALVAGE HOOD FOR OWNER. CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
62	TRENCH CONC SLAB FOR NEW PLUMBING. SEE PLUMB DWGS
63	ENLARGE ROOF OPENING FOR NEW EXHAUST FAN. SEE MECHANICAL AND STRUCTURAL

**GENERAL DEMO NOTES**

A. MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND/OR SURFACES. REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS

B. PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SLATED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK.

C. PROVIDE PROTECTION, TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO CONTAIN DUST WITHIN PROTECTED WORK AREAS

D. COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER

E. PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER

F. SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND SALVAGE OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING

G. SALVAGE ALL ZINC TRIM SIDING FOR RE-USE

H. COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING

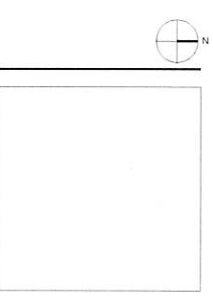
I. SALVAGE DOORS AND DOOR HARDWARE FOR RE-USE BY UNH.

- REMOVE TOPPING SLAB
- REMOVE FINISHED FLOOR
- REMOVE TOPPING SLAB. PROTECT WATERPROOFING
- REMOVE CONCRETE SLAB
- REMOVE FLOOR FRAMING AND CONSTRUCTION

NO WORK THIS AREA



Key Plan



**MDS** architecture  
interiors  
MILLER DYER SPEARS INC.  
89 CALVERT STREET  
BOSTON, MA 02111  
617-552-3300  
617-552-0010  
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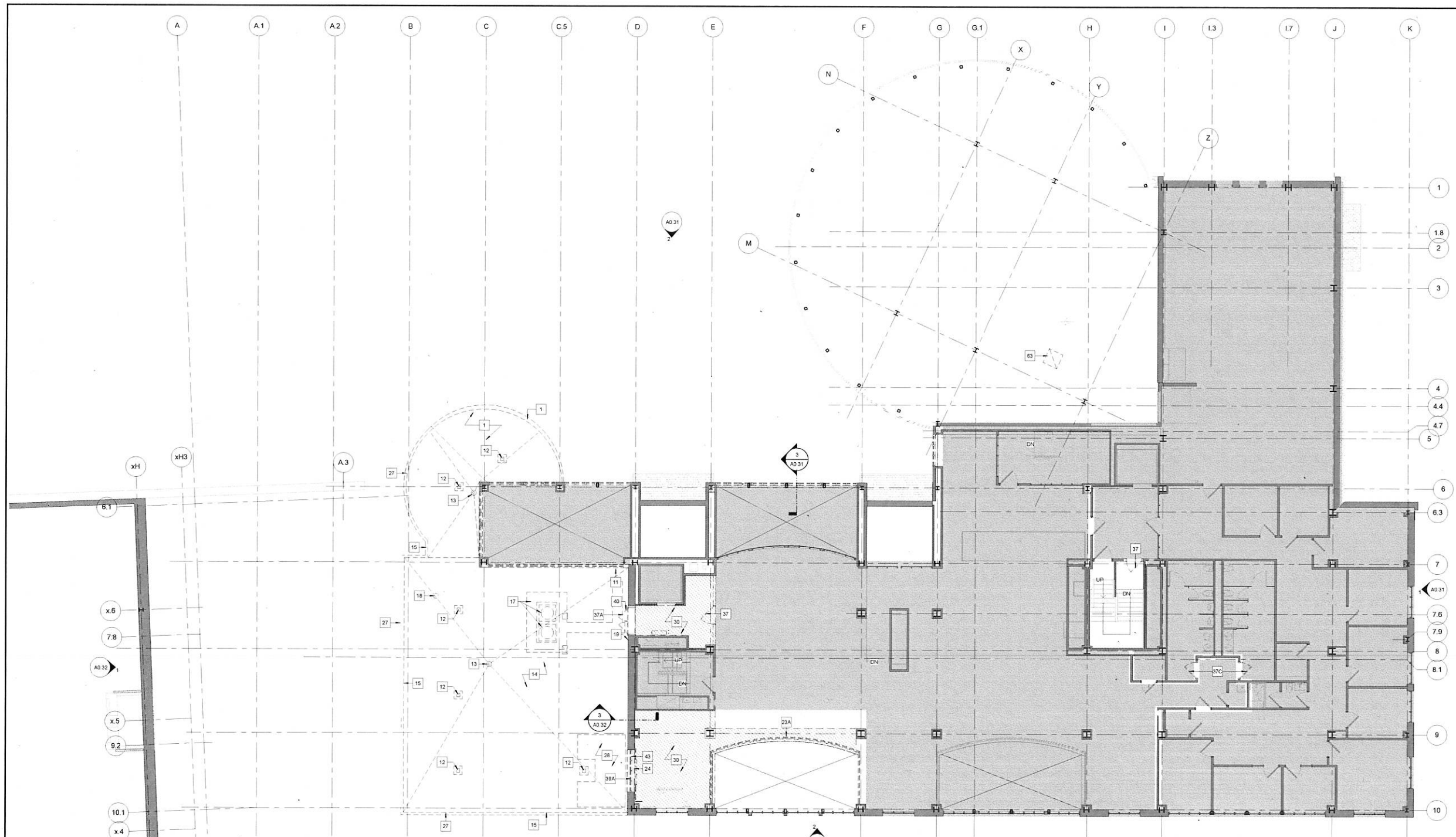
Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues	No.	Date	Description

Revisions	No.	Date	Description

Drawing Title  
**DEMO THIRD FLOOR PLAN**

1/8" = 1'-0"  
Drawing Number  
**A0.14**



**1 THIRD FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

KEYNOTES - DEMO PLAN	
NO.	NOTE
1	REMOVE CANOPY AND ALL ASSOCIATED CONSTRUCTION INCLUDING FOUNDATIONS
1A	REMOVE ENTRY MAT SYSTEM
2	REMOVE BUILT-IN CUBBIES, LOCKERS AND TILE BASE. SALVAGE LOCKERS FOR UNH USE.
3	REMOVE SECURITY GRILL
4	REMOVE LIFT AND ASSOCIATED WIRING
5	DEMO STAIR AND SALVAGE GUARDRAIL FOR RE-USE
5A	DEMO STAIR AND RAILINGS
6	DEMO 3" x 5" GWS WALL STAND AND TILE BASE
7	SAWCUT FLOORING WALL FOR NEW GREENGLASS. SEE STRUCTURAL
8	DEMO WALL, BRICK AND CAST STONE 42" HIGH WALL ABOVE UPPER TERRACE LEVEL
8A	DEMO BRICK VENEER THIS WALL DOWN TO LOWER TERRACE @ 52'-0"
8B	DEMO RAILING
8C	DEMO BRICK VENEER AND MASONRY DOWN TO LOWER TERRACE @ 52'-0"
8D	DEMO BRICK AND CMU BACKUP DOWN TO 10" ABOVE UPPER TERRACE
9	REMOVE AREA DRAINS, TYP OF 3. SEE PLUMBING DWGS
10	REMOVE 4" CONCRETE TOPPING SLAB, DRAINAGE BOARD AND WATERPROOFING MEMBRANE. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN
10A	REMOVE 4" CONG TOPPING SLAB PROTECT WATERPROOFING FOR NEW DRAIN. SEE PLUMB DWGS. SAWCUT SLAB AT PERIMETER WHERE ADJACENT WALL CONSTRUCTION IS SCHEDULED TO REMAIN

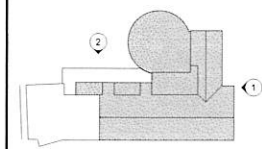
KEYNOTES - DEMO PLAN	
NO.	NOTE
10B	CUT TOPPING SLAB, STRUCTURAL SLAB, BRICK VENEER, BACKUP SYSTEM AND CONG CAP FOR INSTALLATION OF NEW STEEL COLUMN. SEE STRUCT DWGS
11	REMOVE STEEL PIPE LADDER AND 18" X 18" CONG PAVER
12	REMOVE AND SALVAGE SAFETY TIE-OFF ANCHOR
13	DEMO ROOF DRAIN. SEE PLUMBING DWGS
14	REMOVE FULLY ADHERED EPDM ROOFING PROTECTION BOARD, RIGID INSULATION, METAL DECK WITH FIREPROOFING AND FIREPROOFING FROM THE TOP FLANGE OF BEAMS SPANNING NORTH/SOUTH DIRECTION TO FACILITATE WELDING OF NEW STRUCTURAL SUPPORT. SEE STRUCT DWGS
15	REMOVE SLOTTING AND METAL FASCIA AT ROOF EDGE TYP
16	REMOVE GALV AREAWAY GRATING & SHELF ANGLES
17	REMOVE EXHAUST FANS AND CURB W/ EPDM FLASHING AND WALKWAY PADS TO BE RELOCATED
18	DEMO VENT
19	DEMO LIGHT FIXTURE
20	DEMO FLOOR STRUCTURE THIS AREA FOR NEW HOISTWAY. SEE STRUCT DWGS
21	DEMO CONCRETE PATIO AND STEEL GUARD RAILING
22	REMOVE CASEWORK, SALVAGE STONE TOP TO BE REINSTALLED. SEE MEP FOR DISCONNECTS
23A	REMOVE GUARDRAIL AND WOOD CURB AND SALVAGE GUARDRAIL FOR RE-USE
24	REMOVE FIN TUBE. SEE MECH DWGS

KEYNOTES - DEMO PLAN	
NO.	NOTE
25	REMOVE FIRE PULL STATION. SEE ELEC DWGS
27	REMOVE AND SALVAGE LIGHTNING PROTECTION SYSTEM. SEE ELEC DWGS
28	REMOVE AND TURN GREEN ROOF TRAYS OVER TO UNH
29	REMOVE SLOPED STONE CAP. SEE DEMO ELEVATIONS
30	DEMO FINISH FLOORING IN HATCHED AREA
31	REMOVE AND SALVAGE TURNSTYLES TO BE RE-USED BY UNH
32	DEMO CANOPY FOUNDATION
33	REMOVE 10' HIGH WALL AND ASSOCIATED COUNTERS
34	DEMO CERAMIC TILE ON THIS WALL
35	REMOVE AND SALVAGE REC TO BE RE-USED
36	DEMO FIRE SHUTTER AND TRACK. SEE ELEC DWGS
37	REMOVE DOOR FRAME, DOOR & HARDWARE
37A	REMOVE DOORS AND FRAME. SALVAGE FOR RE-USE
37C	REMOVE DOOR
38	REMOVE BELOW GRADE RIGID INSULATION
39	REMOVE DOOR FRAMES, DOORS, GLAZING AND HARDWARE
39A	REMOVE FRAMES AND GLAZING
40	REMOVE AND SALVAGE DOOR AND FRAME FOR RE-USE (ALTERNATE #1)
41	REMOVE TOILET PARTITIONS. SALVAGE FOR RE-USE
43	DEMO MASONRY SILL
44	DEMO BRK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE. SEE STRUCT DWGS

KEYNOTES - DEMO PLAN	
NO.	NOTE
45	DEMO BRK COLUMN ENCLOSURE AND REMOVE FIREPROOFING FOR INSTALLATION OF NEW STRUCTURAL BRACE AND COLUMN REINFORCEMENT. SEE STRUCT DWGS
46	REMOVE AND SALVAGE DISH MACHINE FOR OWNER. PROTECT FLOOR DURING REMOVAL. CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
47	REMOVE ACCUMULATOR. PROTECT FLOOR DURING REMOVAL
48	RELOCATE PULPER EXTRACTOR
49	REMOVE HOLLOWAY PLAQUE AND SAVE FOR RE-INSTALLATION
50	REMOVE CABINET UNIT HEATER. SEE MECH DWGS
51	DEMO PAVED SIDEWALK. SEE CIVIL DWGS
55	SALVAGE CASEWORK FOR RE-USE
56	REMOVE EXISTING FLOOR FRAMING AND CONSTRUCTION DOWN TO LOWER TERRACE. SEE STRUCT DWGS
57	REMOVE AND SALVAGE ICE MACHINE TO BE RELOCATED
58	SALVAGE 12" X 12" PIECE OF WALL WITH SPECIALTY PAINT TO BE CUSTOM MATCHED BY MASTER COATING TECHNOLOGIES. SEE RS-1 REMARKS ON AS 10 FINISH LEGEND FOR MASTER COATING TECHNOLOGIES AND CONTACT INFORMATION
60	REMOVE VIDEO MONITOR AND MOUNTING BRACKET'S RETURN TO UNH
61	REMOVE KITCHEN HOOD. SEE MECH DWGS. SALVAGE HOOD FOR OWNER. CRATE EQUIPMENT. COORDINATE WITH UNH TO TRANSPORT TO UNH TRUCK
62	TRENCH CONG SLAB FOR NEW PLUMBING. SEE PLUMB DWGS
63	ENLARGE ROOF OPENING FOR NEW EXHAUST FAN. SEE MECHANICAL AND STRUCTURAL

GENERAL DEMO NOTES	
A	MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND/OR SURFACES. REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS
B	PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SLATED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK
C	PROVIDE PROTECTION TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO CONTAIN DUST WITHIN PROTECTED WORK AREAS
D	COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER
E	PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER
F	SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND SALVAGE OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING
G	SALVAGE ALL ZINC TRIM SIDING FOR RE-USE
H	COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING
I	SALVAGE DOORS AND DOOR HARDWARE FOR REUSE BY UNH
	REMOVE TOPPING SLAB
	REMOVE FINISHED FLOOR
	REMOVE TOPPING SLAB, PROTECT WATERPROOFING
	REMOVE CONCRETE SLAB
	REMOVE FLOOR FRAMING AND CONSTRUCTION
	NO WORK THIS AREA

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Key Plan



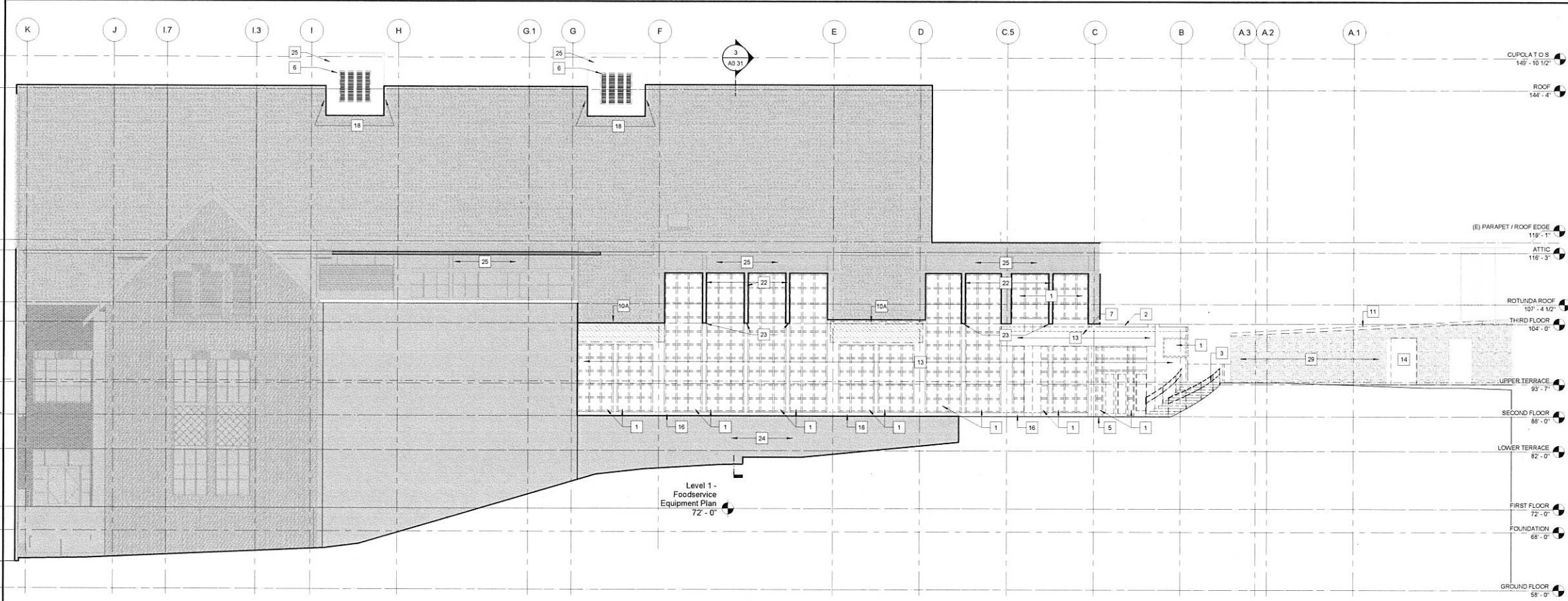
Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH, MS  
Checked By: JL  
Issue Date: November 25, 2014

Issue	No	Date	Description

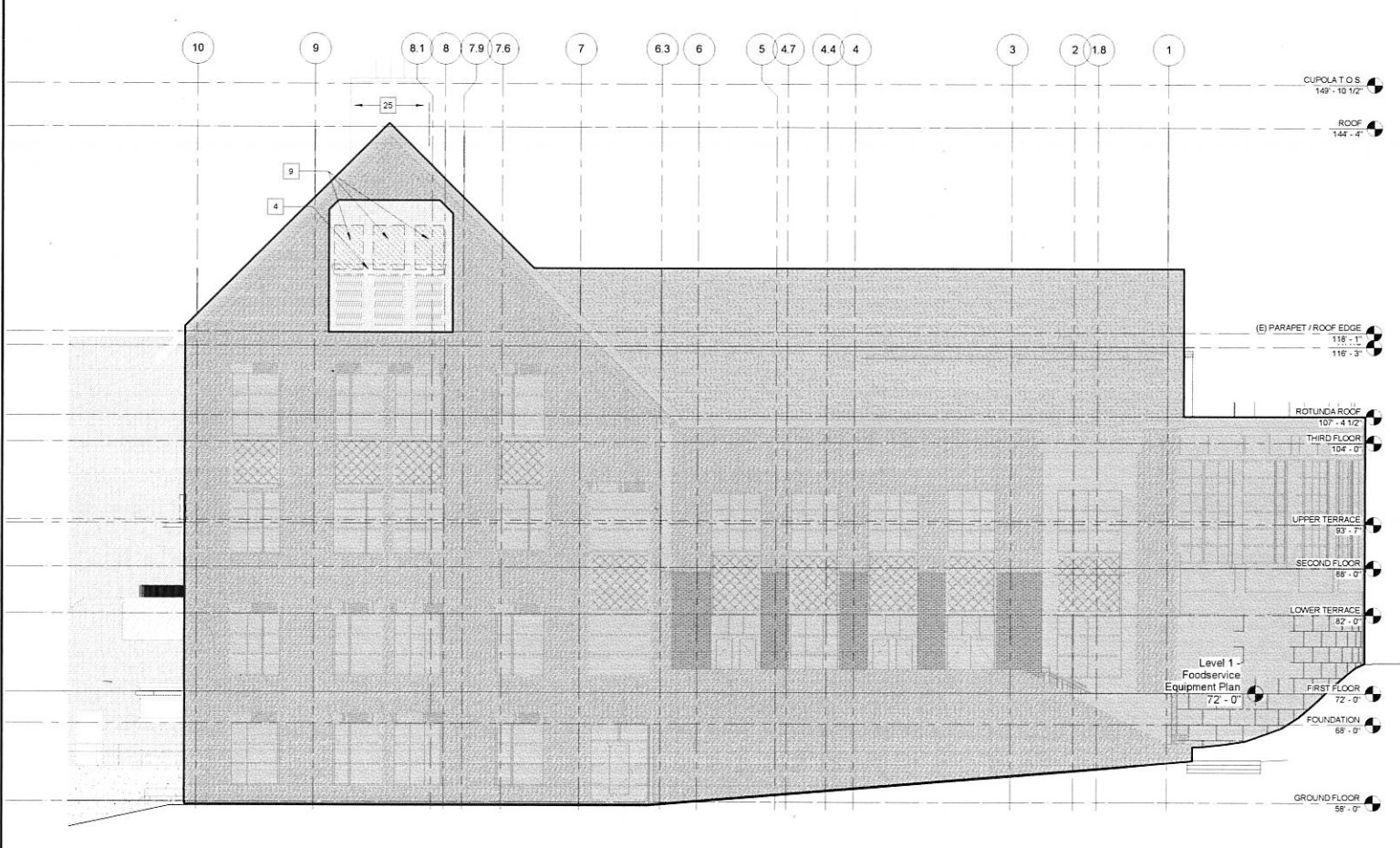
Revisions	No	Date	Description

Drawing Title  
**DEMO EXTERIOR ELEVATIONS**

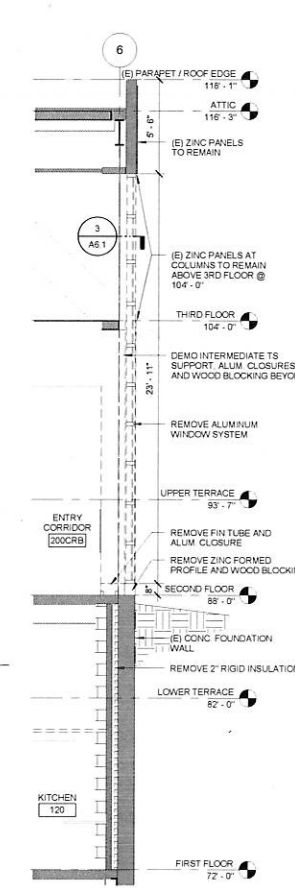
As indicated  
Drawing Number  
**A0.31**



**2 WEST DEMOLITION ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 NORTH DEMOLITION ELEVATION**  
SCALE: 1/8" = 1'-0"

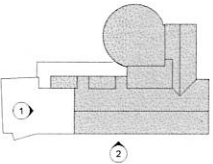


**3 DEMO SECTION @ WEST**  
SCALE: 1/4" = 1'-0"

NO.	NOTE
1	DEMO ALUMINUM STOREFRONT WINDOWS
2	DEMO ENTRANCE CANOPY STRUCTURE
3	DEMO CONC STAIR AND STEEL RAILING
4	REMOVE AND SALVAGE BRICK LINTEL COURSE
5	REMOVE ENTRY ORNLE
6	DEMO LOUVER
7	REMOVE AND SALVAGE RAISED LETTER SIGNAGE FOR RE-USE
8	DEMO WALL BRICK AND CAST STONE 42 HIGH WALL ABOVE UPPER TERRACE LEVEL
9	DEMO WALL THIS AREA FOR NEW WALL OPENING. REFER TO LINTEL SCHEDULE
10A	CUTBACK ROOF OVERHANG IN PREPARATION FOR ADDITION AND ASSOCIATED FLASHING TIE-IN
11	REMOVE GRANITE CAP FOR RECONSTRUCTION SEE WALL SECTION
12	LADDER TO BE REMOVED
13	REMOVE AND SALVAGE ZINC METAL PANELS FOR RE-USE THIS AREA
14	PROVIDE NEW MASONRY OPENING IN STONE WALL
15	REMOVE AND SALVAGE STEEL PIPE GUARDRAIL
16	DEMO ZINC FORMED PROFILE AND WOOD BLOCKING
17	DEMO ALUMINUM CLOSURE SYSTEM
18	PROJECT (E) SLATE ROOFING DURING DEMO
19	DEMO EPDM PROTECTION BOARD AND THRU-WALL FLASHING
20	DEMO WINDOW SILL DOWN TO THIRD FLOOR LEVEL
21	DEMO ZINC PANEL COPING AND 5/8" PLY BACKING
22	(E) STRUCTURAL TUBE ALUM CLOSURE & BACK-UP TO REMAIN
23	CUT & DEMO STRUCTURAL TUBES ALUM CLOSURE & BACK-UP BELOW THIRD FLOOR LEVEL. PROVIDE TEMPORARY SUPPORT FOR STEEL TUBES BEFORE INSTALLATION OF NEW BEAMS
24	(E) FOUNDATION WALL TO REMAIN
25	(E) ZINC PANELS TO REMAIN
26	REMOVE & SALVAGE DOOR FOR RE-USE
27	(E) BRICK TO REMAIN
28	(E) MASONRY SILL TO REMAIN
29	(E) STONE WALL TO REMAIN
30	REMOVE ZINC COLUMN COVER AND SUPPORTING CONSTRUCTION

GENERAL DEMO NOTES	
A	MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND OR SURFACES. REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS
B	PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SLATED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK
C	PROVIDE PROTECTION, TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO OCCURANT DUST WITHIN PROTECTED WORK AREAS
D	COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER
E	PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER
F	SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND SALVAGE OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING
G	SALVAGE ALL ZINC TRIM SIDING FOR RE-USE
H	COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING
I	SALVAGE DOORS AND DOOR HARDWARE FOR REUSE BY UNH
	REMOVE TOPPING SLAB
	REMOVE FINISHED FLOOR
	REMOVE TOPPING SLAB. PROTECT WATERPROOFING
	REMOVE CONCRETE SLAB
	REMOVE FLOOR FRAMING AND CONSTRUCTION
	NO WORK THIS AREA

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Key Plan



Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH, MS  
Checked By: JL  
Issue Date: November 25, 2014

Issues

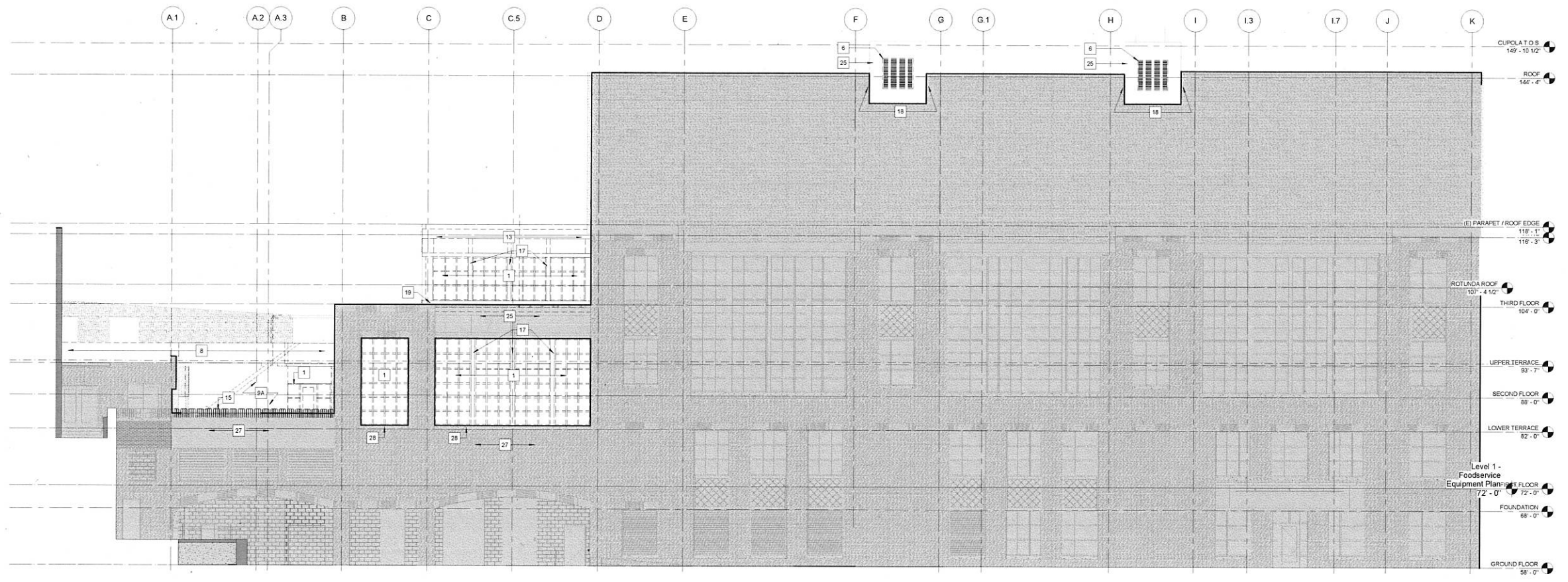
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Revisions

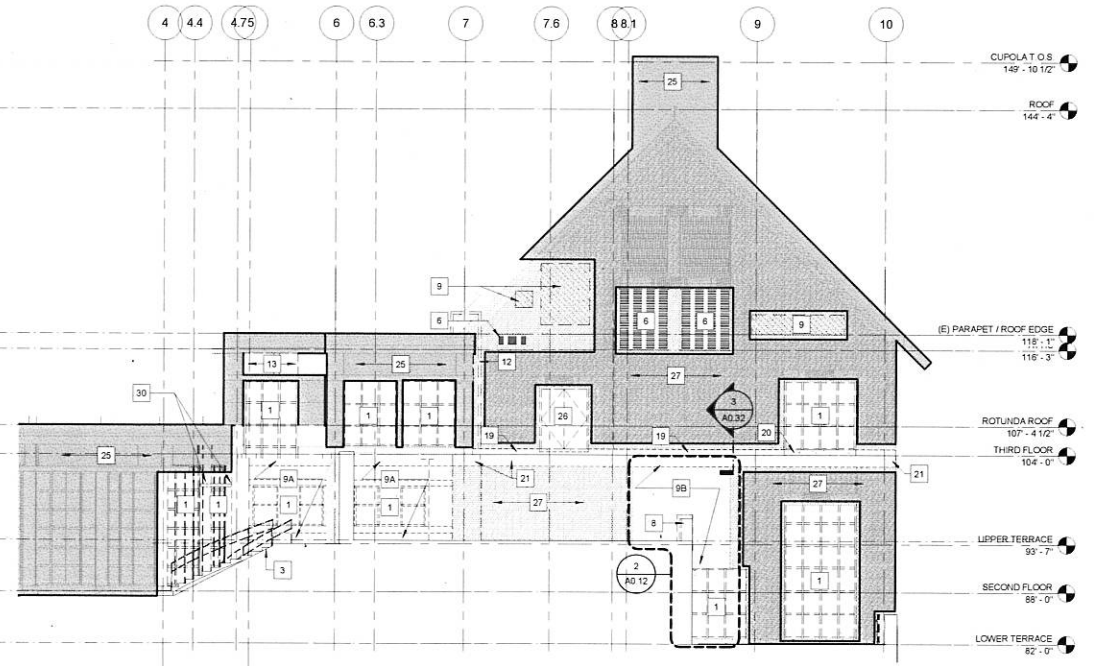
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Drawing Title  
**DEMO EXTERIOR ELEVATIONS**

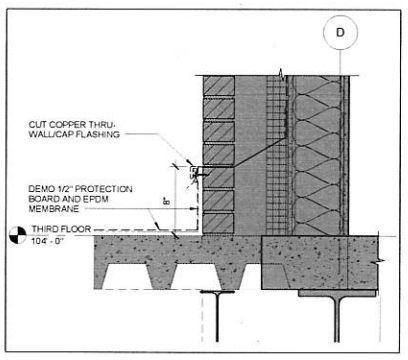
As indicated  
Drawing Number  
**A0.32**



**2 EAST DEMOLITION ELEVATION**  
SCALE 1/8" = 1'-0"



**1 SOUTH DEMOLITION ELEVATION**  
SCALE 1/8" = 1'-0"



**3 DEMO FLASHING @ THIRD FLOOR**  
SCALE 1 1/2" = 1'-0"

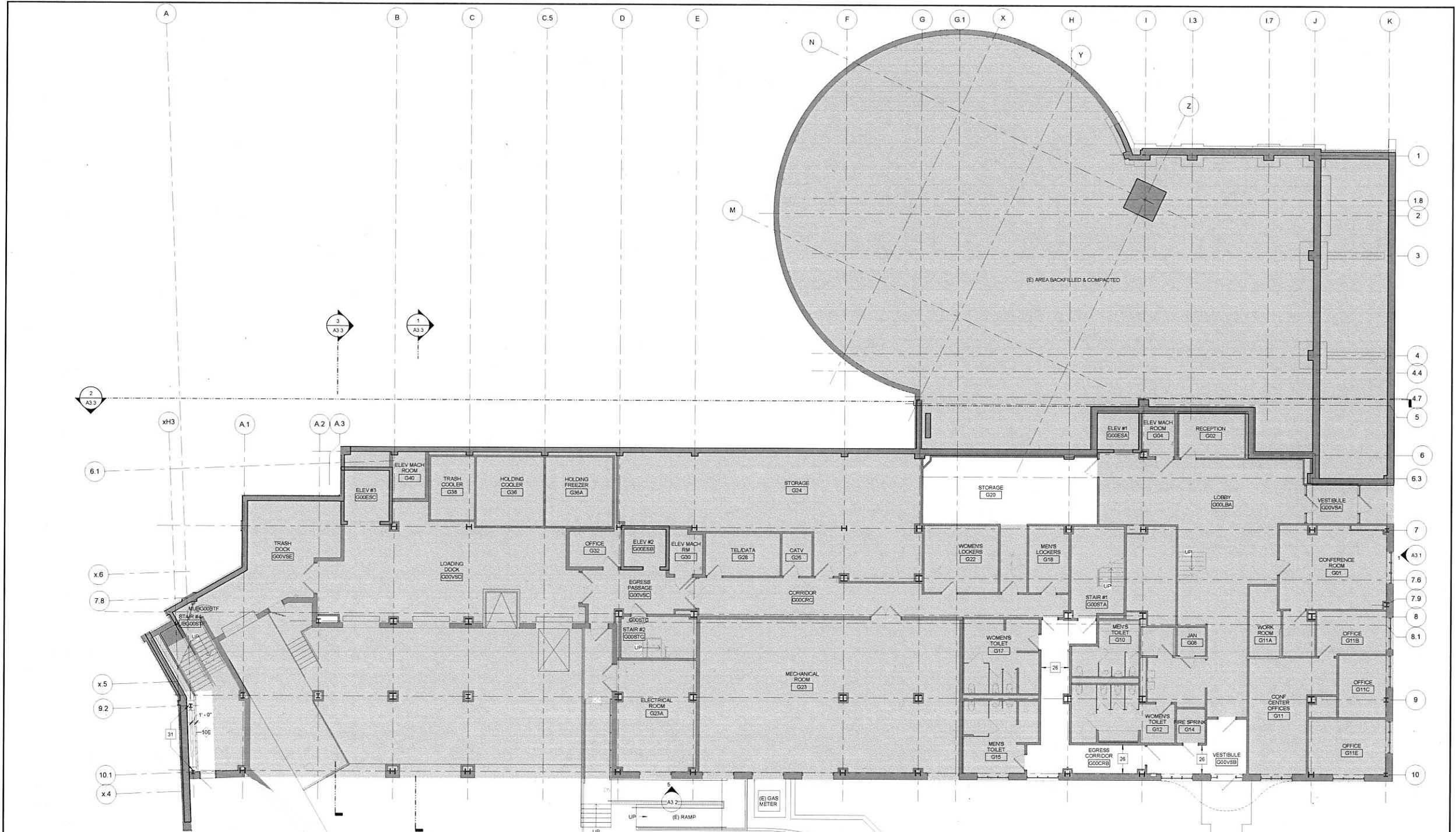
**KEYNOTES - DEMO ELEVATIONS**

NO.	NOTE
1	DEMO ALUMINUM STOREFRONT WINDOWS
2	DEMO ENTRANCE CANOPY STRUCTURE
3	DEMO CONC STAR AND STEEL RAILING
4	REMOVE AND SALVAGE BRICK LINTEL COURSE
5	REMOVE ENTRY GRILLE
6	DEMO LOUVER
7	REMOVE AND SALVAGE RAISED LETTER SIGNAGE FOR RE-USE
8	DEMO WALL BRICK AND CAST STONE 42 HIGH WALL ABOVE UPPER TERRACE LEVEL
9	DEMO WALL THIS AREA FOR NEW WALL OPENING. REFER TO LINTEL SCHEDULE
9A	DEMO WALL THIS AREA
9B	DEMO BRICK VENEER THIS AREA (E) METAL STUDS TO REMAIN
10A	CUTBACK ROOF OVERHANG IN PREPARATION FOR ADDITION AND ASSOCIATED FLASHING TIE-IN
11	REMOVE GRANITE CAP FOR RECONSTRUCTION SEE WALL SECTION
12	LADDER TO BE REMOVED
13	REMOVE AND SALVAGE ZINC METAL PANELS FOR RE-USE THIS AREA
14	PROVIDE NEW MASONRY OPENING IN STONE WALL
15	REMOVE AND SALVAGE STEEL PIPE GUARDRAIL
16	DEMO ZINC FORMED PROFILE AND WOOD BLOCKING
17	DEMO ALUMINUM CLOSURE SYSTEM
18	PROTECT (E) SLATE ROOFING DURING DEMO
19	DEMO EPDM PROTECTION BOARD AND THRU-WALL FLASHING
20	DEMO WINDOW SILL DOWN TO THIRD FLOOR LEVEL
21	DEMO ZINC PANEL CORING AND 8" FLY BACKING
22	(E) STRUCTURAL TUBE ALUM CLOSURE & BACK-UP TO REMAIN
23	CUT & DEMO STRUCTURAL TUBES ALUM CLOSURE & BACK-UP BELOW THIRD FLOOR LEVEL. PROVIDE TEMPORARY SUPPORT FOR STEEL TUBES BEFORE INSTALLATION OF NEW BEAMS
24	(E) FOUNDATION WALL TO REMAIN
25	(E) ZINC PANELS TO REMAIN
26	REMOVE & SALVAGE DOOR FOR RE-USE
27	(E) BRICK TO REMAIN
28	(E) MASONRY SILL TO REMAIN
29	(E) STONE WALL TO REMAIN
30	REMOVE ZINC COLUMN COVER AND SUPPORTING CONSTRUCTION

**GENERAL DEMO NOTES**

- MAKE ALL DEMOLITION CLEAN AND SAFE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND/OR SURFACES REFER TO ARCHITECTURAL PLANS, SPECIFICATIONS AND DETAILS FOR SPECIFIC INFORMATION REGARDING APPLICATION OF NEW MATERIALS
- PROTECT AND MAINTAIN ALL (E) BUILDING ELEMENTS AND FINISHES NOT SUITED FOR DEMOLITION IN AREAS NEAR OR ADJACENT TO DEMOLITION WORK
- PROVIDE PROTECTION, TEMPORARY ENCLOSURES AND/OR VENTILATION SYSTEMS TO CONTAIN DUST WITHIN PROTECTED WORK AREAS
- COORDINATE WORK SCHEDULE, BUILDING ACCESS, USE OF AND ACCESS TO LOADING ZONE, STAGING AND ALL REQUIRED MEP SHUTDOWNS WITH OWNER
- PROVIDE SHORING AS REQUIRED FOR NEW FLOOR OPENINGS OR MODIFICATION TO MASONRY VENEER
- SEE MEP DRAWINGS FOR CAPPING, CUTTING, DEMO AND SALVAGE OF MEP EQUIPMENT AND SYSTEMS INCLUDING LIGHTING
- SALVAGE ALL ZINC TRIM SIDING FOR RE-USE
- COORDINATE SELECT MASONRY DEMO VENEER FOR INSTALLATION OF NEW STRUCTURAL STEEL FRAMING
- SALVAGE DOORS AND DOOR HARDWARE FOR REUSE BY UNH

- REMOVE TOPPING SLAB
- REMOVE FINISHED FLOOR
- REMOVE TOPPING SLAB, PROTECT WATERPROOFING
- REMOVE CONCRETE SLAB
- REMOVE FLOOR FRAMING AND CONSTRUCTION
- NO WORK THIS AREA



**1 GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

KEYNOTES - PLAN	
NO.	NOTE
1	INTERIOR GLAZING WITH WOOD FRAME TO MATCH EXISTING
2	RAILING TO MATCH EXISTING - SEE SHEET A7.1
2A	RE-USE EXISTING RAILING
3	WOOD STORAGE CABINETS - 6'-6" HT. SEE DETAIL
4	1 HR FIRE SHUTTER AROUND STAIR ENCLOSURE
5	BUILT-IN LOCKERS W/ TILE BASE
6	SIDE FOLDING SECURITY GRILLE - ALL LOCKS OPERABLE FROM THE PUBLIC SIDE
7	TURNTILE TYP OF 4 (BY OWNER)
8	RELOCATED CHECK-IN DESK
9	3' HEIGHT HALF WALL - SEE DETAIL 27A3.02
10	RE-ROUTE HOODED DRYER VENT - SEE MECH DWGS
11	PATCH PORTION OF CONCRETE AFTER INSTALLATION OF STEEL FRAMING
12	RELOCATE ICE MACHINE AND PLUMBING ROUGH-IN
14	CHAIR RAIL - SEE DETAIL
16	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO GROUND FLOOR AND THIRD FLOOR - WORK BY OTHERS
16A	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO THIRD FLOOR - WORK BY OTHERS
18	PROVIDE HEAT LIGHTING AND FIRE PROTECTION TO ENCLOSED PASSAGEWAY - SEE MEP DWGS
19	HVAC RISER ENCLOSURE
21	NEW SLAB ON GRADE - SLOPE FLOOR TO NEW FLOOR SINKS/ FLOOR DRAINS - SEE PLUMB & STRUC DWGS
21A	SLOPE FLOOR PREP AND NEW FINISH FLOORING TO FLOOR DRAINS/SINK - SEE PLUMB
22	NEW BASEMENT (WD-1) WITH SALVAGED STONE COUNTERTOP
23	STAINLESS STEEL CONDIMENT COUNTER UNITS, SNEEZE GUARDS AND STAINLESS STEEL TOP BY FOOD SERVICE EQUIPMENT CONTRACTOR W/ 2" PANEL FACE BY MILLWORK
23A	STAINLESS STEEL GRILL COUNTER UNITS, SNEEZE GUARDS AND SOLID SURFACE TOP (ISO-2) BY FOOD SERVICE EQUIPMENT CONTRACTOR W/ W/ 2" PANEL FACE BY MILLWORK
24	OUT OF SCOPE
25	RECESSED WALL STRIKE CHANNEL
26	PROVIDE FIRESTOP SEALANT ON ALL PARTITIONS AT THE UNDERSIDE OF DECK AND SEAL ALL PENETRATION ABOVE CEILING
27	RECESSED FLOOR OUTLET - SEE ELEC DWGS
28	AUTO DOOR OPERATOR - SEE ELEC DWGS
29	SITE STAIR - SEE CIVIL DWGS
30	PATCH FLOOR AT (E) FLOOR SINK

KEYNOTES - PLAN	
NO.	NOTE
31	PATCH SPRAY-ON 1 HOUR FIREPROOFING AT COLUMN TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK
32	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL PER UL DESIGN ULX-854
32A	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL - USE UL DESIGN ULX-854
33	PROTECT NEW DIAGONAL BRACING WITH 2 HOUR SPRAY-ON FIREPROOFING
34	VERIFY DRAINAGE
35	ENTRY GRATE WITH DRAINAGE PIT - SEE STRUCT AND CIVIL DWGS
36	PATCH TILE FLOOR TO MATCH EXISTING
37	GALV. STEEL ROOF LADDER
38	2 1/2" TOPPING SLAB AND WATERPROOFING MEMBRANE
39	PREP FLOOR TO SLOPE AWAY FROM PARTITION AND TOWARD FLOOR DRAIN
40	PATCH GWB WHERE FIRE SHUTTER TRACK WAS REMOVED
41	PATCH REPAIR AND PAINT GWB WHERE WOOD DOOR/WINDOW SYSTEM HAS BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
42	PATCH REPAIR AND PAINT GWB WHERE LOCKERS OR CASEWORK HAVE BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
43	CASEWORK AND EQUIPMENT BY OTHERS - SEE PLUMB AND ELEC DWGS
44	EXISTING PLUMBING FIXTURE
45	PATCH AND REFINISH WALL
46	PATCH AND PAINT WALL AT REMOVED FIRE SHUTTER
47	TERRACE DRAIN, SEE PLB. DWGS PROVIDE NEW CONC. TOPPING SLAB TO SLOPE 1/8" MAX TO DRAIN
48	PATCH AND PAINT DIRECT APPLIED FINISH AFTER REWORKING DRAIN PIPE
49	(E) STEEL GUARDRAIL - CUT BACK AS REQ'D & RESUPPORT CUT END WITH NEW POST TO MATCH EXISTING
50	CUSTOM BANQUETTE BY MILLWORKER
51	NEW PTD W/ CHAIRRAL TO MATCH EXISTING
52	TRIM BACK CHAIRRAL TO TERMINATE AT CORNER GUARD
53	CERAMIC TILE TO MATCH EXISTING
54	CUT GWB AND INSTALL SOLID WOOD BLOCKING FOR MONITOR SUPPORT AT EXISTING WALL PATCH GWB
55	SEE FOOD SERVICE DRAWINGS FOR MODIFICATIONS TO BEVERAGE COUNTER

**GENERAL FLOOR PLAN NOTES**

A. ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL FROM COLUMN CENTERLINES OR TO THE FACE OF THE EXISTING FINISH MATERIAL UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION, AND SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS.

B. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THE ARCHITECT SHALL BE NOTIFIED OF ALL INCONSISTENCIES OR PROBLEMS IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK. VERIFY ALL CRITICAL DIMENSIONS WITHIN AND/OR RELATED TO THE EXISTING BUILDING. DIMENSIONS AND CONDITIONS INDICATED WERE DETERMINED BY VISUAL SURVEY AND/OR INFORMATION FROM EXISTING DRAWINGS.

C. ALL INDICATIONS AND NOTATIONS ON THE DRAWINGS WHICH APPLY TO ONE AREA, COMPONENT OR CONDITION SHALL APPLY TO ALL OTHER SIMILAR AREAS, COMPONENTS OR CONDITIONS UNLESS CLEARLY INDICATED OTHERWISE.

D. PROVIDE FULL HEIGHT STRUCTURAL STUDS AT ALL CORNERS AROUND DOOR JAMBS AND BORROWED LIGHT FRAMES AND BEHIND ALL WALL MOUNTED EQUIPMENT AND/OR CASEWORK.

E. THE HINGE SIDE OF ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE.

F. ALL SIZES OF EXISTING EQUIPMENT TO REMAIN TO BE VERIFIED.

G. ALL FURNITURE SHOWN IN DASHED LINE AND NOT SPECIFICALLY IDENTIFIED IS NOT PART OF THIS WORK AND IS TO BE OWNER FURNISHED AND OWNER INSTALLED.

H. ALL NEW STRUCTURAL STEEL TO BE PROTECTED WITH 1 HOUR APPLIED FIRE PROOFING U N D

**FLOOR PLAN LEGEND**

	NEW PARTITION
	EXISTING PARTITION TO REMAIN
	NEW DOOR
	EXISTING DOOR TO REMAIN
	NEW FLOOR SLAB - SEE STRUCTURAL
	NO WORK THIS AREA
	FEC - FIRE EXT. CABINET
	C01-4 CORNER GUARD - 4" HIGH STAINLESS STEEL
	C02-2 CORNER GUARD - 2" HIGH PVC (ACTUAL LENGTH TO BE 1'-6" TO EXTEND BETWEEN WALL BASE AND CHAIRRAL)
	C03-7 CORNER GUARD - 7" HIGH PVC (TO BE 7'-0" AFF. LENGTH TO BE 6'-6" IN AREAS WITH 6" WALL BASE)

Key Plan



**MDS** architecture  
planning  
interiors

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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

**Issues**

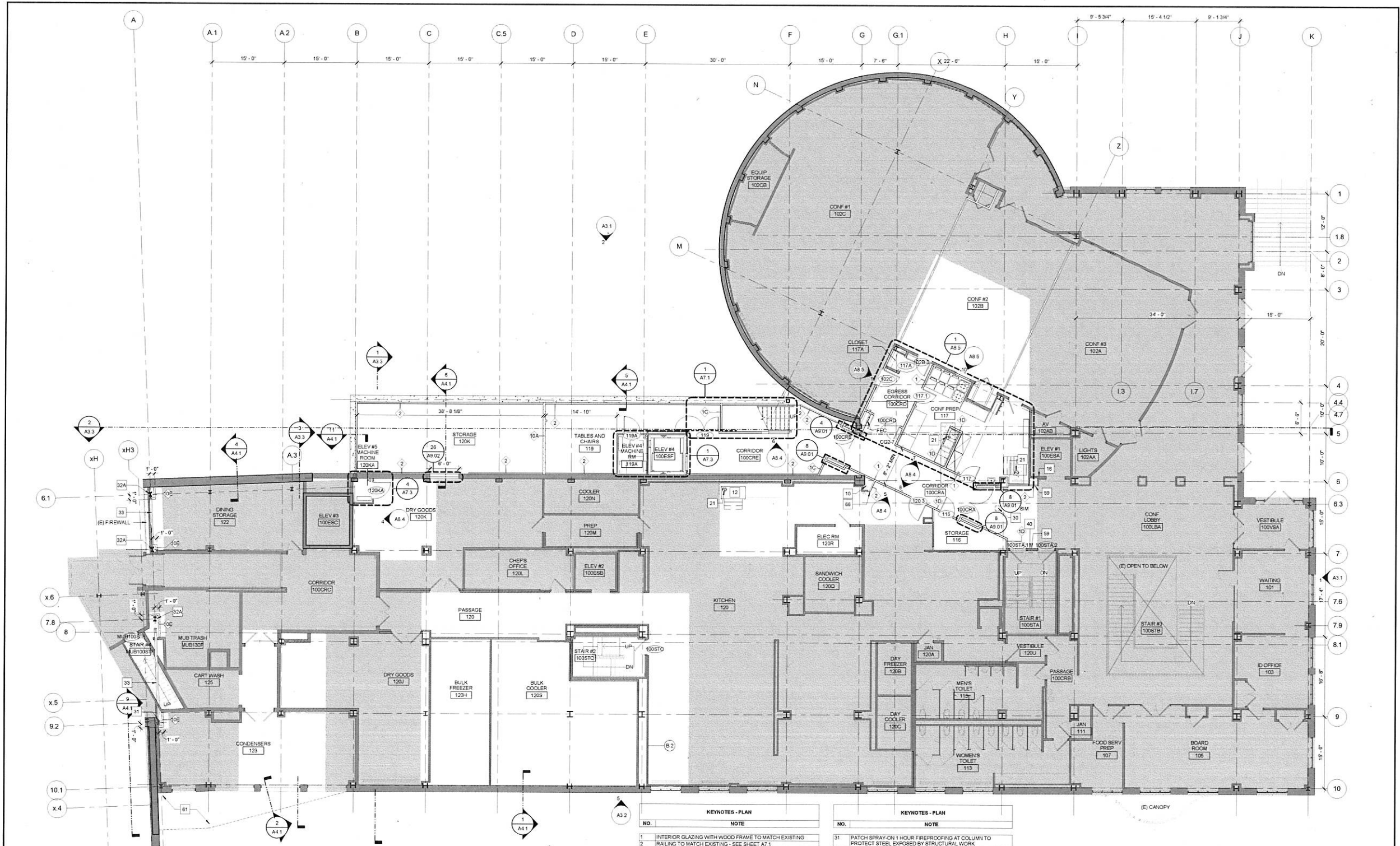
No.	Date	Description

**Revisions**

No.	Date	Description

Drawing Title  
**GROUND FLOOR PLAN**

1/8" = 1'-0"  
Drawing Number  
**A1.0**



**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

KEYNOTES - PLAN	
NO.	NOTE
1	INTERIOR GLAZING WITH WOOD FRAME TO MATCH EXISTING
2	RAILING TO MATCH EXISTING - SEE SHEET A7.1
3	RE-USE EXISTING RAILING
4	WOOD STORAGE CUBBIES - 8" x 8" HT. SEE DETAIL
5	1 HR FIRE SHUTTER AROUND STAIR ENCLOSURE
6	BUILT-IN LOCKERS W/ TILE BASE
7	TURNSTILE TYP OF 4 (BY OWNER)
8	RELOCATE CHECK-IN DESK
9	2" HEIGHT HALF WALL. SEE DETAIL 27A9.02
10	RE-ROUTE HOODED DRYER VENT. SEE MECH DWGS
11	PATCH PORTION OF CONCRETE AFTER INSTALLATION OF STEEL FRAMING
12	RELOCATE ICE MACHINE AND PLUMBING ROUGH-IN
13	CHAIR RAIL. SEE DETAIL
14	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO GROUND FLOOR. WORK BY OTHERS
15A	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO THIRD FLOOR. WORK BY OTHERS
16	PROVIDE HEAT, LIGHTING, AND FIRE PROTECTION TO ENCLOSED CASEWORK. SEE MECH DWGS
18	HVAC RISER ENCLOSURE
21	NEW SLAB ON GRADE. SLOPE FLOOR TO NEW FLOOR SINKS/ FLOOR DRAINS - SEE PLUMB & STRUC DWGS
21A	SLOPE FLOOR PREP AND NEW FINISH FLOORING TO FLOOR DRAINS/SINK. SEE PLUMB
22	NEW BASEMENT (A2-1) WITH SALVAGED STONE COUNTERTOP
23	STAINLESS STEEL CONDOMINIUM COUNTER UNITS, SNEEZE GUARDS AND STAINLESS STEEL TOP BY FOOD SERVICE EQUIPMENT CONTRACTOR AND PAVEMENT FACE BY MILLWORK
23A	STAINLESS STEEL GRILL COUNTER UNITS, SNEEZE GUARDS AND SOLID SURFACE TOP (80-2) BY FOOD SERVICE EQUIPMENT CONTRACTOR WITH W-2 PANEL FACE BY MILLWORK
24	CUT OF SCOPE
25	RECESSED WALL STRIKE CHANNEL
26	PROVIDE FIRESTOP SEALANT ON ALL PARTITIONS AT THE UNDERSIDE OF DECK AND SEAL ALL PENETRATION ABOVE CEILING
27	RECESSED FLOOR OUTLET - SEE ELEC DWGS
28	AUTO DOOR OPERATOR - SEE ELEC DWGS
29	SITE STAIR - SEE CIVIL DWGS
30	PATCH FLOOR AT (E) FLOOR SINK

KEYNOTES - PLAN	
NO.	NOTE
31	PATCH SPRAY ON 1 HOUR FIREPROOFING AT COLUMN TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK
32	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL. PER I.A. DESIGN U.L.X.584
32A	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL. USE I.L. DESIGN U.L.X.584
33	PROTECT NEW DIAGONAL BRACING WITH 2 HOUR SPRAY-ON FIREPROOFING
34	VERIFY DRAINAGE
35	ENTRY GRATE WITH DRAINAGE FIT. SEE STRUCT AND CIVIL DWGS
36	PATCH TILE FLOOR TO MATCH EXISTING
37	DAILY STEEL ROOF LADDER
38	2 1/2" TOPPING SLAB AND WATERPROOFING MEMBRANE
39	PREP FLOOR TO SLOPE AWAY FROM PARTITION AND TOWARD FLOOR DRAIN
40	PATCH GWB WHERE FIRE SHUTTER TRACK WAS REMOVED
41	PATCH, REPAIR AND PAINT GWB WHERE WOOD DOOR/WINDOW SYSTEM HAS BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
42	PATCH, REPAIR AND PAINT GWB WHERE LOCKERS OR CUSTOM BANQUETTE BY MILLWORKER
43	CASEWORK AND EQUIPMENT BY OTHERS. SEE PLUMB AND ELEC DWGS
49	EXISTING PLUMBING FIXTURE
53	EXISTING PLUMBING FIXTURE
58	PATCH AND REFINISH WALL
59	PATCH AND PAINT WALL AT REMOVED FIRE SHUTTER
60	TERACE DRAIN. SEE PLUMB DWGS. PROVIDE NEW CONC TOPPING SLAB TO SLOPE 1:50 MAX TO DRAIN
61	PATCH AND PAINT DIRECT APPLIED FINISH AFTER REWORKING
62	(E)STEEL GUARDRAIL - CUT BACK AS REQ'D & RE-SUPPORT CUT END WITH NEW POST TO MATCH EXISTING
63	CUSTOM BANQUETTE BY MILLWORKER
64	NEW PTD WD CHAIRRAL TO MATCH EXISTING
65	TRIM BACK CHAIRRAL TO TERMINATE AT CORNERGUARD
66	CERAMIC TILE TO MATCH EXISTING
67	CUT GWB AND INSTALL SOLID WOOD BLOCKING FOR MONITOR SUPPORT AT EXISTING WALL PATCH GWB
68	SEE FOOD SERVICE DRAWINGS FOR MODIFICATIONS TO BEVERAGE COUNTER

**GENERAL FLOOR PLAN NOTES**

A. ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL FROM COLUMN CENTERLINES OR TO THE FACE OF THE EXISTING FINISH MATERIAL UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION, AND SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS.

B. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THE ARCHITECT SHALL BE NOTIFIED OF ALL INCONSISTENCIES OR PROBLEMS IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK. VERIFY ALL CRITICAL DIMENSIONS WITHIN AND/OR RELATED TO THE EXISTING BUILDING. DIMENSIONS AND CONDITIONS INDICATED WERE DETERMINED BY VISUAL SURVEY AND/OR INFORMATION FROM EXISTING DRAWINGS.

C. ALL INDICATIONS AND NOTATIONS ON THE DRAWINGS WHICH APPLY TO ONE AREA, COMPONENT OR CONDITION SHALL APPLY TO ALL OTHER SIMILAR AREAS, COMPONENTS OR CONDITIONS UNLESS CLEARLY INDICATED OTHERWISE.

D. PROVIDE FULL HEIGHT STRUCTURAL STUDS AT ALL CORNERS AROUND DOOR JAMBS AND BOWROD LIGHT FRAMES AND BEHIND ALL WALL MOUNTED EQUIPMENT AND/OR CASEWORK.

E. THE HINGE SIDE OF ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE.

F. ALL SIZES OF EXISTING EQUIPMENT TO REMAIN TO BE VERIFIED.

G. ALL FURNITURE SHOWN IN DASHED LINE AND NOT SPECIFICALLY IDENTIFIED IS NOT PART OF THIS WORK AND IS TO BE OWNER FURNISHED AND OWNER INSTALLED.

H. ALL NEW STRUCTURAL STEEL TO BE PROTECTED WITH 1 HOUR APPLIED FIRE PROOFING U.N.O.

**ADD ALTERNATES**

- CORNER MULLION AT PROJECTING BAY - SEE DETAIL 13/A3.3
- ENLARGE DISH RETURN OPENING. PROVIDE NEW STAINLESS STEEL QUILTED PANEL AND WOOD TRIM - SEE ELEVATION 10A.8.1
- FRITTED GLASS AT WEST ELEVATION CURTAIN WALL ALONG THE 4.4 GRID LINE - SEE DETAIL 1/A6.1
- ALL NEW T-1 TILE AT SECOND FLOOR LOBBY. SEE FINISH PLANS.

**FLOOR PLAN LEGEND**

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- NEW DOOR
- EXISTING DOOR TO REMAIN
- NEW FLOOR SLAB. SEE STRUCTURAL
- NO WORK THIS AREA
- FEC - FIRE EXIT CABINET
- CG1-4 CORNER GUARD - 4 HIGH STAINLESS STEEL
- CG2-2 CORNER GUARD - 2 HIGH PVC (ACTUAL LENGTH TO BE 1'-0" TO EXTEND BETWEEN WALL BASE AND CHAIRRAL)
- CG2-7 CORNER GUARD - 7 HIGH PVC (TO BE 7'-3" AFF LENGTH TO BE 8'-6" IN AREAS WITH 6" WALL BASE)

Key Plan

**MDS** architecture  
planning  
interiors

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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues		
No.	Date	Description

Revisions		
No.	Date	Description

Drawing Title  
**FIRST FLOOR PLAN**

1/8" = 1'-0"  
Drawing Number  
**A1.1**

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Key Plan



**MDS** architecture  
planning  
interiors

MILLER DYER SPEARS INC.  
70 CHURCH STREET  
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Project Status: CONSTRUCTION DOCUMENTS  
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Issues

No.	Date	Description

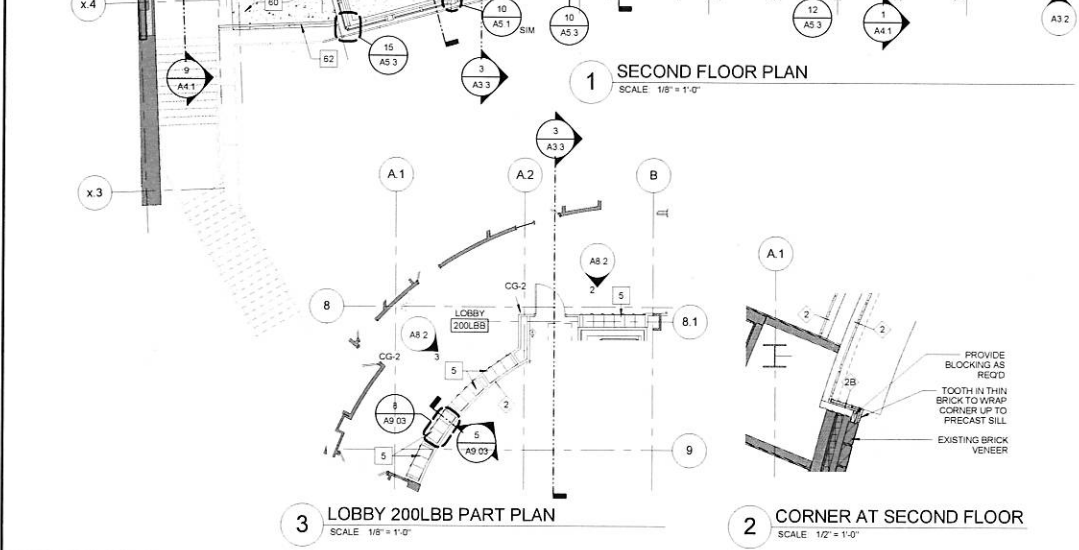
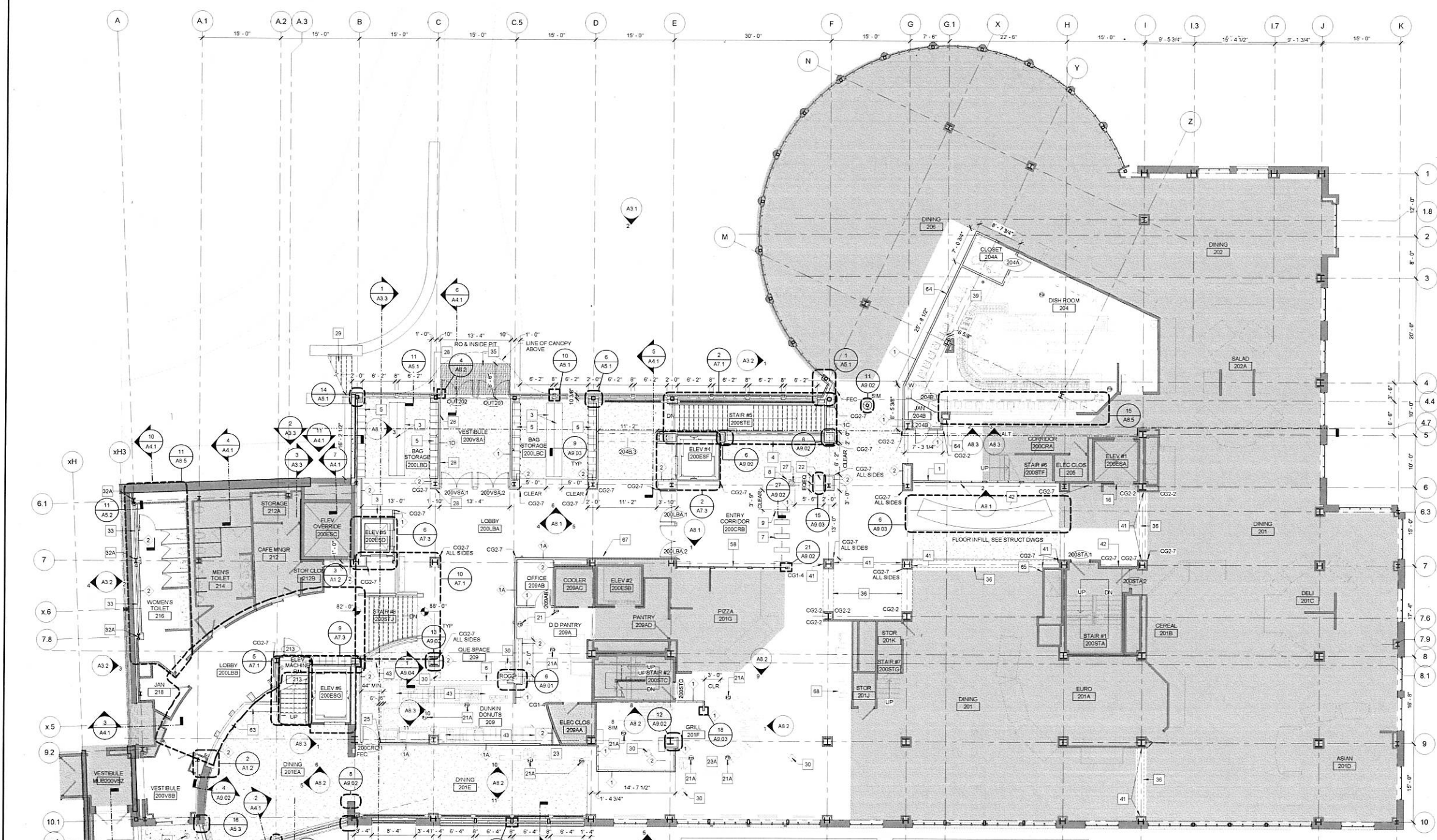
Revisions

No.	Date	Description

Drawing Title  
**SECOND FLOOR PLAN**

As indicated

Drawing Number  
**A1.2**



**KEYNOTES - PLAN**

NO.	NOTE
1	INTERIOR GLAZING WITH WOOD FRAME TO MATCH EXISTING
2	RAILING TO MATCH EXISTING - SEE SHEET AT 1
3	WOOD STORAGE CUBBIES - 6\"/>

**KEYNOTES - PLAN**

NO.	NOTE
31	PATCH SPRAY-ON 1 HOUR FIREPROOFING AT COLUMN TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK
32	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL PER UL DESIGN L1854
32A	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL PER UL DESIGN L1854
33	PROTECT NEW DIAPHRAGM BRACING WITH 2 HOUR SPRAY-ON FIREPROOFING
34	VERIFY DRAINAGE
35	ENTRY GRATE WITH DRAINAGE PIT SEE STRUCT AND CIVIL DWGS
36	PATCH TILE FLOOR TO MATCH EXISTING
37	GALL. STEEL ROOF LADDER
38	1\"/>

**GENERAL FLOOR PLAN NOTES**

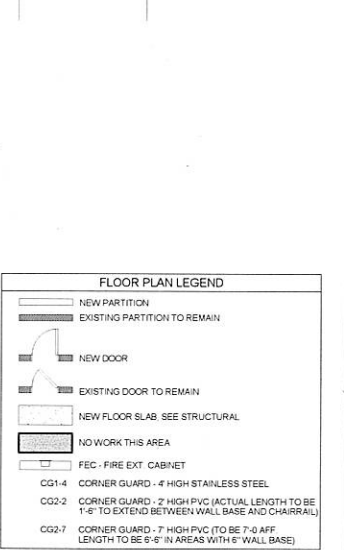
A. ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL FROM COLUMN CENTER LINES OR TO THE FACE OF THE EXISTING FINISH MATERIAL UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION AND SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS

B. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THE ARCHITECT SHALL BE NOTIFIED OF ALL DISCREPANCIES OR PROBLEMS IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK. VERIFY ALL CRITICAL DIMENSIONS WITHIN AND/OR RELATED TO THE EXISTING BUILDING. DIMENSIONS AND CONDITIONS INDICATED WERE DETERMINED BY VISUAL SURVEY AND/OR INFORMATION FROM EXISTING DRAWINGS.

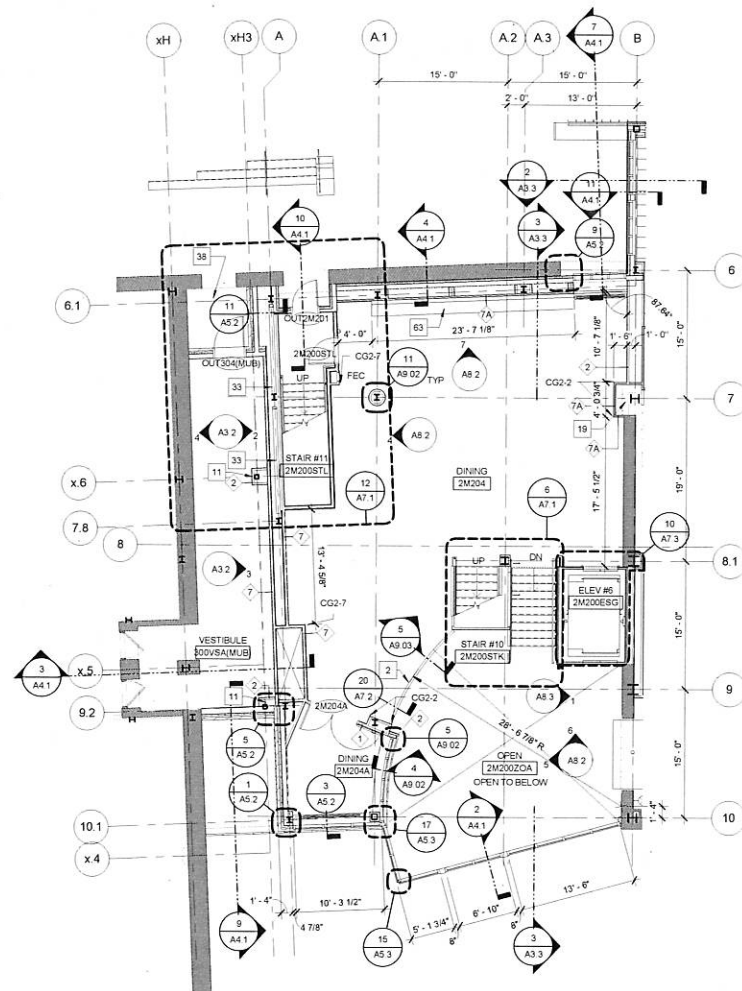
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D. PROVIDE FULL HEIGHT STRUCTURAL STUDS AT ALL CORNERS AROUND DOOR JAMBS AND BORROWED LIGHT FRAMES AND BEHIND ALL WALL MOUNTED EQUIPMENT AND/OR CASEWORK.

E. THE HINGE SIDE OF ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4\"/>



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**1 UPPER TERRACE/MEZZANINE PLAN**  
SCALE 1/8" = 1'-0"

KEYNOTES - PLAN	
NO.	NOTE
1	INTERIOR GLAZING WITH WOOD FRAME TO MATCH EXISTING
2	RAILING TO MATCH EXISTING - SEE SHEET A7.1
2A	RE-USE EXISTING RAILING
3	WOOD STORAGE CUBBIES - 6'-6" HT. SEE DETAIL
4	1 HR FIRE SHUTTER AROUND STAIR ENCLOSURE
5	BUILT-IN LOCKERS W/ TILE BASE
6	SIDE FOLDING SECURITY GRILLE - ALL LOCKS OPERABLE FROM THE PUBLIC SIDE
7	TURNSTILE, TYP OF 4 (BY OWNER)
8	RELOCATED CHECK-IN DESK
9	3' HEIGHT HALF WALL SEE DETAIL 27/A9.02
10	RE-ROUTE HOODED DRYER VENT. SEE MECH DWGS
11	PATCH PORTION OF CONCRETE AFTER INSTALLATION OF STEEL FRAMING
12	RELOCATE ICE MACHINE AND PLUMBING ROUGH-IN
14	CHAIR RAIL. SEE DETAIL
16	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO GROUND, FIRST AND THIRD FLOOR. WORK BY OTHERS
16A	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO THIRD FLOOR. WORK BY OTHERS
18	PROVIDE HEAT, LIGHTING, AND FIRE PROTECTION TO ENCLOSED PASSAGEWAY. SEE MEP DWGS
19	HVAC RISER ENCLOSURE
21	NEW SLAB ON GRADE. SLOPE FLOOR TO NEW FLOOR SINKS/ FLOOR DRAINS - SEE PLUMB & STRUC DWGS
21A	SLOPE FLOOR PREP AND NEW FINISH FLOORING TO FLOOR DRAINS/SINK. SEE PLUMB
22	NEW BASEMENT (WD-1) WITH SALVAGED STONE COUNTERTOP
23	STAINLESS STEEL CONDIMENT COUNTER UNITS, SNEEZE GUARDS AND STAINLESS STEEL TOP BY FOOD SERVICE EQUIPMENT CONTRACTOR W/ NO-2 PANEL FACE BY MLW/WORK
23A	STAINLESS STEEL GRILL COUNTER UNITS, SNEEZE GUARDS AND SOLID SURFACE TOP (SO-2) BY FOOD SERVICE EQUIPMENT CONTRACTOR W/ NO-2 PANEL FACE BY MLW/WORK
24	CUT OF SCOPE
25	RECESSED WALL STRIKE CHANNEL
26	PROVIDE FIRESTOP SEALANT ON ALL PARTITIONS AT THE UNDERSIDE OF DECK AND SEAL ALL PENETRATIONS ABOVE CEILING
27	RECESSED FLOOR OUTLET - SEE ELEC DWGS
28	AUTO DOOR OPERATOR - SEE ELEC DWGS
29	SITE STAIR - SEE CIVIL DWGS
30	PATCH FLOOR AT (E) FLOOR SINK

KEYNOTES - PLAN	
NO.	NOTE
31	PATCH SPRAY ON 1 HOUR FIREPROOFING AT COLUMN TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK
32	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL PER UL DESIGN L10054
32A	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL. USE UL DESIGN L10054
33	PROTECT NEW DIAGONAL BRACING WITH 2 HOUR SPRAY-ON FIREPROOFING
34	VERIFY DRAINAGE
35	ENTRY GRATE WITH DRAINAGE PIT. SEE STRUCT AND CIVIL DWGS
36	PATCH TILE FLOOR TO MATCH EXISTING
37	GALV. STEEL ROOF LADDER
38	2" TOPPING SLAB AND WATERPROOFING MEMBRANE
39	PREP FLOOR TO SLOPE AWAY FROM PARTITION AND TOWARD FLOOR DRAIN
40	PATCH GWB WHERE FIRE SHUTTER TRACK WAS REMOVED
41	PATCH, REPAIR, AND PAINT GWB WHERE WOOD DOOR/WINDOW SYSTEM HAS BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
42	PATCH, REPAIR, AND PAINT GWB WHERE LOCKERS OR CASEWORK HAVE BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
43	CASEWORK AND EQUIPMENT BY OTHERS. SEE PLUMB AND ELEC DWGS
44	EXISTING PLUMBING FIXTURE
53	PATCH AND REFINISH WALL
59	PATCH AND PAINT WALL AT REMOVED FIRE SHUTTER
60	TERRACE DRAIN. SEE PLED DWGS. PROVIDE NEW CONC. TOPPING SLAB TO SLOPE 1/8" MAX TO DRAIN
61	PATCH AND PAINT DIRECT APPLIED FINISH AFTER REWORKING DRAIN PIPES
62	(E) STEEL GUARDRAIL - CUT BACK AS REQ'D & RESUPPORT CUT END WITH NEW POST TO MATCH EXISTING
63	CUSTOM BANQUETTE BY MLW/WORKER
64	NEW PTD W/ CHAIRAL TO MATCH EXISTING
65	TRIM BACK CHAIRAL TO TERMINATE AT CORNERGUARD
66	CERAMIC TILE TO MATCH EXISTING
67	CUT GWB AND INSTALL SOLID WOOD BLOCKING FOR MONITOR SUPPORT AT EXISTING WALL PATCH GWB
68	SEE FOOD SERVICE DRAWINGS FOR MODIFICATIONS TO BEVERAGE COUNTER

**GENERAL FLOOR PLAN NOTES**

A. ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL FROM COLUMN CENTERLINES OR TO THE FACE OF THE EXISTING FINISH MATERIAL. UNLESS NOTED OTHERWISE, CLEAR DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION, AND SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS.

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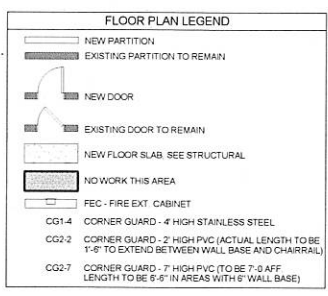
D. PROVIDE FULL HEIGHT STRUCTURAL STUDS AT ALL CORNERS AROUND DOOR JAMBS AND BROWNEED LIGHT FRAMES AND BEHIND ALL WALL MOUNTED EQUIPMENT AND/OR CASEWORK.

E. THE HINGE SIDE OF ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE.

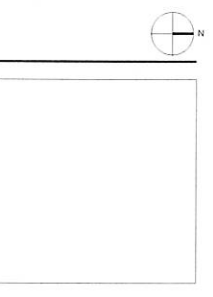
F. ALL SIZES OF EXISTING EQUIPMENT TO REMAIN TO BE VERIFIED.

G. ALL FURNITURE SHOWN IN DASHED LINE AND NOT SPECIFICALLY IDENTIFIED IS NOT PART OF THIS WORK AND IS TO BE OWNER FURNISHED AND OWNER INSTALLED.

H. ALL NEW STRUCTURAL STEEL TO BE PROTECTED WITH 1 HOUR APPLIED FIRE PROOFING U N O



Key Plan



**MDS** architecture  
planning  
interiors

MLLER DYER SPEARS INC.  
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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues

No.	Date	Description

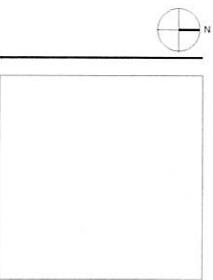
Revisions

No.	Date	Description

Drawing Title  
**UPPER TERRACE PLAN**

1/8" = 1'-0"  
Drawing Number  
**A1.3**

Key Plan



**MDS** architecture  
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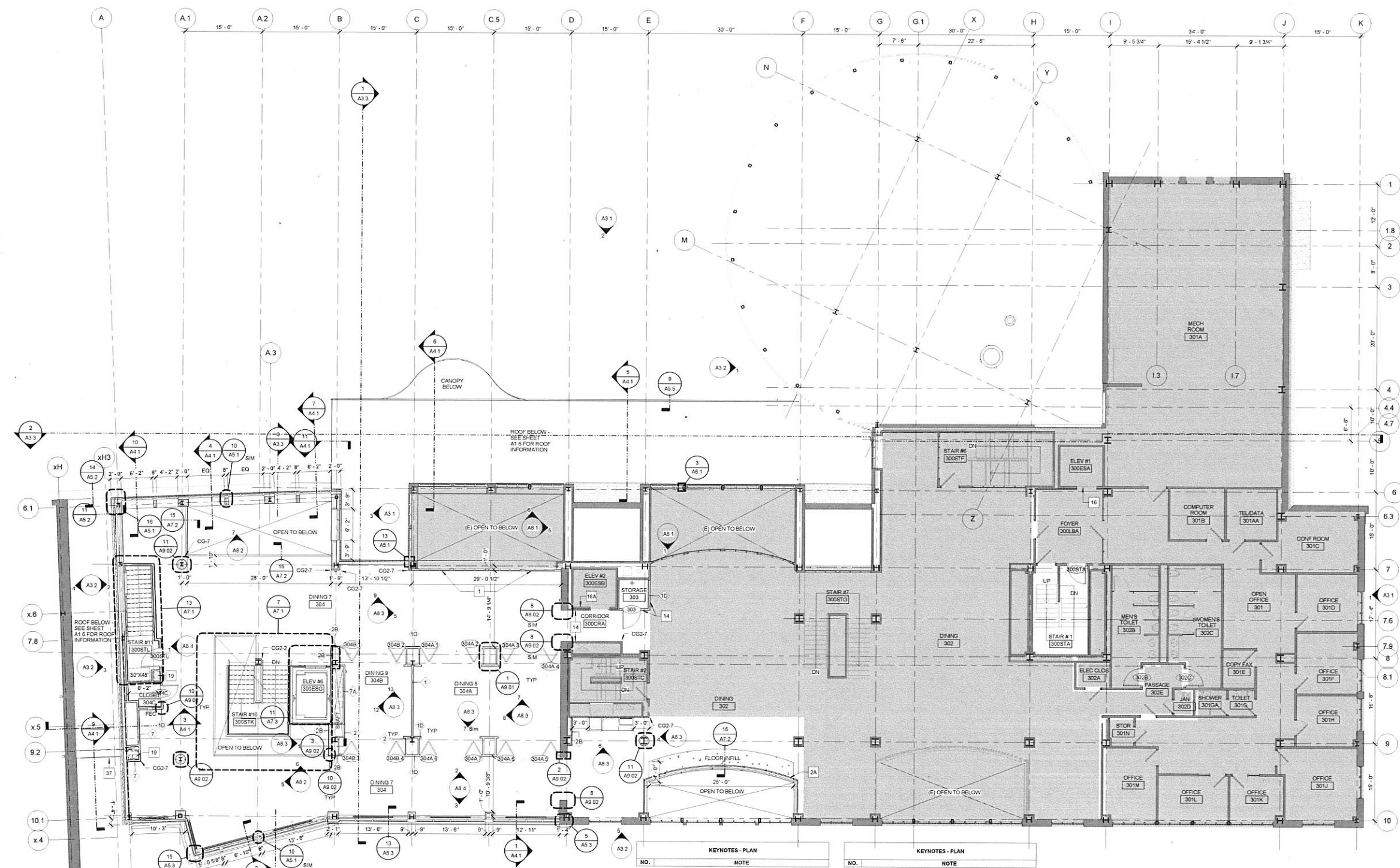
Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues	No.	Date	Description

Revisions	No.	Date	Description

Drawing Title  
**THIRD FLOOR PLAN**

1/8" = 1'-0"  
Drawing Number  
**A1.4**



**1 THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NO.	NOTE
1	INTERIOR GLAZING WITH WOOD FRAME TO MATCH EXISTING
2	RAILING TO MATCH EXISTING - SEE SHEET A1.1
2A	RE-USE EXISTING RAILINGS
3	WOOD STORAGE CLIPPERS - 6'-6" HT. SEE DETAIL
4	1 HR FIRE SHUTTER AROUND STAIR ENCLOSURE
5	BUILT-IN LOCKERS W/ TILE BASE
6	SLIDE FOLDING SECURITY GRILLE - ALL LOCKS OPERABLE FROM THE PUBLIC SIDE
7	TURNSTILE TYP OF 4 (BY OWNER)
8	RELOCATED CHECK-IN DESK
9	3' HEIGHT HALF WALL - SEE DETAIL 27/A9 02
10	RE-ROUTE HOODED DRYER VENT. SEE MECH DWGS
11	PATCH PORTION OF CONCRETE AFTER INSTALLATION OF STEEL FRAMING
12	RELOCATE ICE MACHINE AND PLUMBING ROUGH-IN
14	CHAIR RAIL - SEE DETAIL
16	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO GROUND FIRST AND THIRD FLOOR. WORK BY OTHERS
16A	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO THIRD FLOOR. WORK BY OTHERS
21	PROVIDE HEAT, LIGHTING, AND FIRE PROTECTION TO ENCLOSED PASSAGEWAY. SEE MEP DWGS
21	HVAC RISER ENCLOSURE
21	NEW SLAB ON GRADE. SLOPE FLOOR TO NEW FLOOR SINKS/ FLOOR DRAINS - SEE PLUMB & STRUC DWGS
21A	SLOPE FLOOR PREP AND NEW FINISH FLOORING TO FLOOR DRAINS/SINK. SEE PLUMB
22	NEW BASEMENT (WD-1) WITH SALVAGED STONE COUNTERTOP
23	STAINLESS STEEL CONDIMENT COUNTER UNITS, SNEEZE GUARDS AND STAINLESS STEEL TOP BY FOOD SERVICE EQUIPMENT CONTRACTOR WD-2 PANEL FACE BY MILLWORK
23A	STAINLESS STEEL GRILL COUNTER UNITS, SNEEZE GUARDS AND SOLID SURFACE TOP (SD-2) BY FOOD SERVICE EQUIPMENT CONTRACTOR WITH WD-2 PANEL FACE BY MILLWORK
24	CUT OF SCOPE
24	RECESSED WALL STRIKE CHANNEL
26	PROVIDE FIRESTOP SEALANT ON ALL PARTITIONS AT THE UNDERSIDE OF DECK AND SEAL ALL PENETRATIONS ABOVE CEILING
27	RECESSED FLOOR OUTLET - SEE ELEC DWGS
28	AUTO DOOR OPERATOR - SEE ELEC DWGS
29	SITE STAIR - SEE CIVIL DWGS
30	PATCH FLOOR AT (E) FLOOR SINK

NO.	NOTE
31	PATCH SPRAY-ON 1 HOUR FIREPROOFING AT COLUMN TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK
32	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL PER UL DESIGN ULX-854
32A	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL. USE UL DESIGN ULX-854
33	PROTECT NEW DIAGONAL BRACING WITH 2 HOUR SPRAY-ON FIREPROOFING
34	VERIFY DRAINAGE
35	ENTRY GRATE WITH DRAINAGE PIT. SEE STRUCT AND CIVIL DWGS
36	PATCH TILE FLOOR TO MATCH EXISTING
37	GLVL STEEL ROOF LADDER
38	2 1/2" TOPPING SLAB AND WATERPROOFING MEMBRANE. PREP FLOOR TO SLOPE AWAY FROM PARTITION AND TOWARD FLOOR DRAIN
40	PATCH GWB WHERE FIRE SHUTTER TRACK WAS REMOVED
41	PATCH, REPAIR, AND PAINT GWB WHERE WOOD DOOR/WINDOW SYSTEM HAS BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
42	PATCH, REPAIR, AND PAINT GWB WHERE LOCKERS OR CASEWORK HAVE BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
43	CASEWORK AND EQUIPMENT BY OTHERS. SEE PLUMB AND ELEC FOR CONNECTIONS
53	EXISTING PLUMBING FIXTURE
53	PATCH AND REFINISH WALL
59	PATCH AND PAINT WALL AT REMOVED FIRE SHUTTER
60	TERRACE DRAIN. SEE PLUMB DWGS. PROVIDE NEW CMHC TOPPING SLAB TO SLOPE 1/8" MAX TO DRAIN
61	PATCH AND PAINT DIRECT APPLIED FINISH AFTER REWORKING DRAIN PIPE
62	(E) STEEL GUARDRAIL - CUT BACK AS REQ'D & RESUPPORT CUT END WITH NEW POST TO MATCH EXISTING
63	CUSTOM BANQUETTE BY MILLWORKER
64	NEW PTD HD CHAIRRAL TO MATCH EXISTING
65	TRIM BACK CHAIRRAL TO TERMINATE AT CORNER GUARD
66	CERAMIC TILE TO MATCH EXISTING
67	CUT GWB AND INSTALL SOLID WOOD BLOCKING FOR MONITOR SUPPORT AT EXISTING WALL PATCH GWB
68	SEE FOOD SERVICE DRAWINGS FOR MODIFICATIONS TO BEVERAGE COUNTER

**GENERAL FLOOR PLAN NOTES**

A ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL FROM COLUMN CENTERLINES OR TO THE FACE OF THE EXISTING FINISH MATERIAL UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION AND SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS

B ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED AND THE ARCHITECT SHALL BE NOTIFIED OF ALL INCONSISTENCIES OR PROBLEMS IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK. VERIFY ALL CRITICAL DIMENSIONS WITH AND/OR RELATED TO THE EXISTING BUILDING DIMENSIONS AND CONDITIONS INDICATED WERE DETERMINED BY VISUAL SURVEY AND/OR INFORMATION FROM EXISTING DRAWINGS

C ALL INDICATIONS AND NOTATIONS ON THE DRAWINGS WHICH APPLY TO ONE AREA, COMPONENT OR CONDITION SHALL APPLY TO ALL OTHER SIMILAR AREAS, COMPONENTS OR CONDITIONS UNLESS CLEARLY INDICATED OTHERWISE

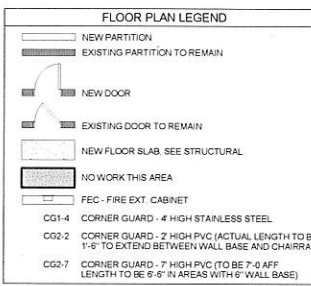
D PROVIDE FULL HEIGHT STRUCTURAL STUDS AT ALL CORNERS AROUND DOOR JAMBS AND BORROWED LIGHT FRAMES AND BEHIND ALL WALL MOUNTED EQUIPMENT AND/OR CASEWORK

E THE HINGE SIDE OF ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT CONSTRUCTION UNLESS NOTED OTHERWISE

F ALL SIZES OF EXISTING EQUIPMENT TO REMAIN TO BE VERIFIED

G ALL FURNITURE SHOWN IN DASHED LINE AND NOT SPECIFICALLY IDENTIFIED IS NOT PART OF THIS WORK AND IS TO BE OWNED, FURNISHED AND OWNER INSTALLED

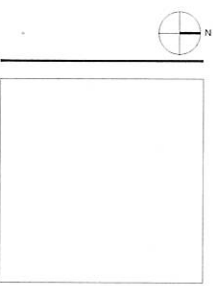
H ALL NEW STRUCTURAL STEEL TO BE PROTECTED WITH 1 HOUR APPLIED FIRE PROOFING UNLESS OTHERWISE NOTED



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Key Plan



**MDS** architecture  
planning  
interiors

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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
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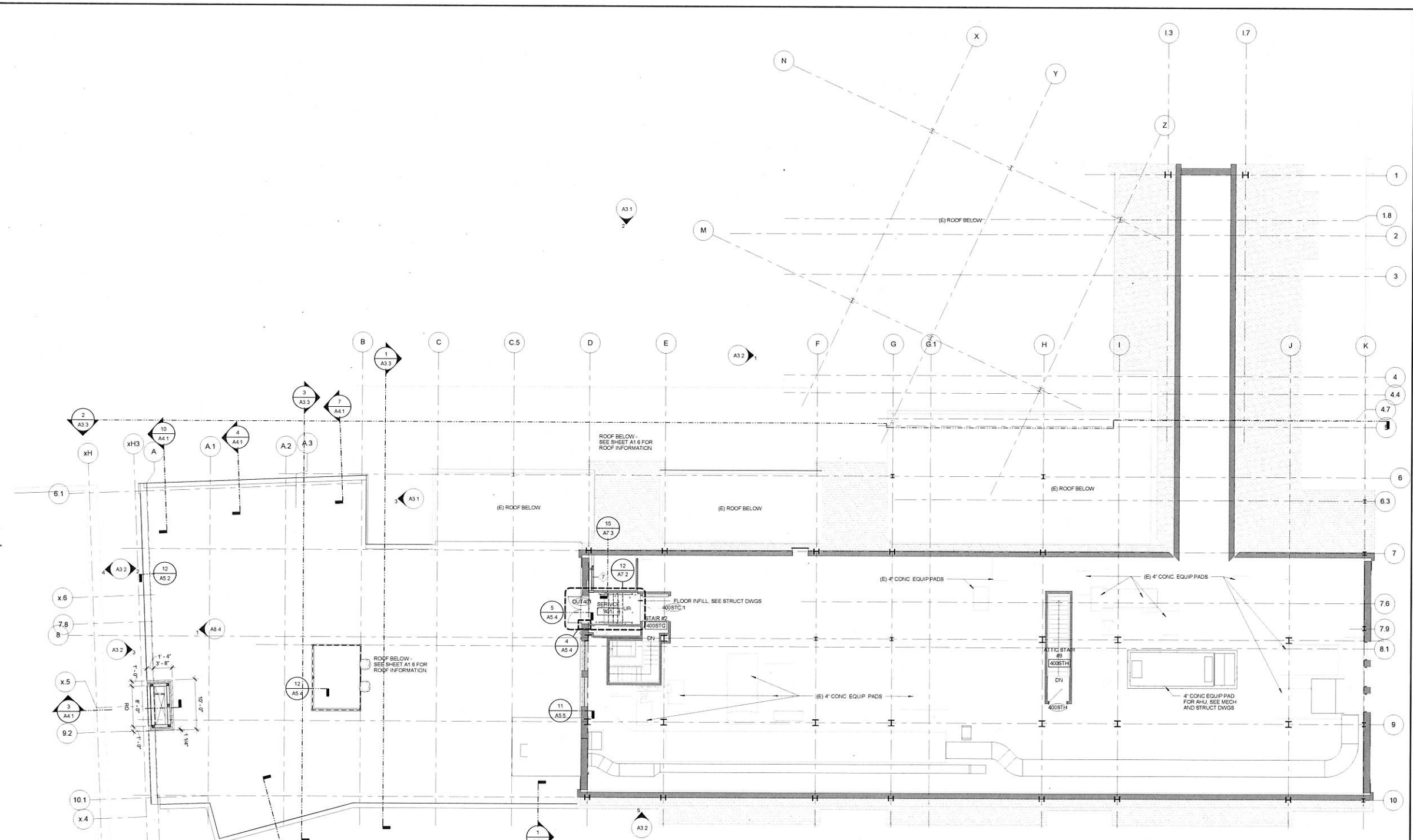
Issues	No.	Date	Description

Revisions	No.	Date	Description

Drawing Title  
**ATTIC FLOOR PLAN**

1/8" = 1'-0"

Drawing Number  
**A1.5**



**1 ATTIC PLAN**  
SCALE 1/8" = 1'-0"

KEYNOTES - PLAN	
NO.	NOTE
1	INTERIOR GLAZING WITH WOOD FRAME TO MATCH EXISTING
2	RAILING TO MATCH EXISTING - SEE SHEET A1.1
2A	RE-USE EXISTING RAILING
3	WOOD STORAGE CUBBIES - 6" - 6" HT. SEE DETAIL
4	1 HR FIRE SHUTTER AROUND STAIR ENCLOSURE
5	BUILT-IN LOCKERS W/ TILE BASE
6	SIDE FOLDING SECURITY GRILLE - ALL LOCKS OPERABLE FROM THE PUBLIC SIDE
7	TURNSTILE TYP 4 (BY OWNER)
8	RELOCATED CHECK-IN DESK
9	3' HEIGHT HALF-WALL. SEE DETAIL 27A8 02
10	RE-ROUTE HOOKED DRYER VENT. SEE MECH DWGS
11	PATCH PORTION OF CONCRETE AFTER INSTALLATION OF STEEL FRAMING
12	RELOCATE ICE MACHINE AND PLUMBING ROUGH-IN
14	CHAIR RAIL. SEE DETAIL
16	MODIFY CONTROLS TO RESTRICT PUBLIC ACCESS TO GROUND FLOOR AND THIRD FLOOR. WORK BY OTHERS
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21A	SLOPE FLOOR PREP AND NEW FINISH FLOORING TO FLOOR DRAINS/SINK. SEE PLUMB
22	NEW BASEMENT (WD-1) WITH SALVAGED STONE COUNTERTOP
23	STAINLESS STEEL COMBINATION COUNTER UNITS, SNEEZE GUARDS AND STAINLESS STEEL TOP BY FOOD SERVICE EQUIPMENT CONTRACTOR WD-2. PANEL FACE BY MILLWORK
23A	STAINLESS STEEL GRILL COUNTER UNITS, SNEEZE GUARDS AND SOLID SURFACE TOP (SD-2) BY FOOD SERVICE EQUIPMENT CONTRACTOR WITH WD-2. PANEL FACE BY MILLWORK
24	OUT OF SCOPE
25	RECESSED WALL STRIKE CHANNEL
26	PROVIDE FIRESTOP SEALANT ON ALL PARTITIONS AT THE UNDERSIDE OF DECK AND SEAL ALL PENETRATIONS ABOVE CEILING
27	RECESSED FLOOR OUTLET. SEE ELEC DWGS
28	AUTO DOOR OPERATOR. SEE ELEC DWGS
29	SITE STAIR. SEE CIVIL DWGS
30	PATCH FLOOR AT (E) FLOOR SINK

KEYNOTES - PLAN	
NO.	NOTE
31	PATCH SPRAY-ON 1 HOUR FIREPROOFING AT COLUMN TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK
32	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL PER UL DESIGN LULX854
32A	PROTECT COLUMN FULL HEIGHT WITH 2 HOUR FIREPROOFING TO PROTECT STEEL EXPOSED BY STRUCTURAL WORK AND NEW STEEL. USE UL DESIGN LULX-854
33	PROTECT NEW DIAGONAL BRACING WITH 2 HOUR SPRAY-ON FIREPROOFING
34	VERIFY DRAINAGE
35	ENTRY GRATE WITH DRAINAGE PIT. SEE STRUCT AND CIVIL DWGS
36	PATCH TILE FLOOR TO MATCH EXISTING
37	GALV. STEEL ROOF LADDER
38	2 1/2" TOPPING SLAB AND WATERPROOFING MEMBRANE
39	PREP FLOOR TO SLOPE AWAY FROM PARTITION AND TOWARD FLOOR DRAIN
40	PATCH GWB WHERE FIRE SHUTTER TRACK WAS REMOVED
41	PATCH, REPAIR AND PAINT GWB WHERE WOOD DOOR/WINDOW SYSTEM HAS BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
42	PATCH, REPAIR AND PAINT GWB WHERE LOCKERS OR CASEWORK HAVE BEEN REMOVED. REPAIR AND REPLACE TILE BASE TO MATCH (E)
43	CASEWORK AND EQUIPMENT BY OTHERS. SEE PLUMB AND ELEC FOR CONNECTIONS
53	EXISTING PLUMBING FIXTURE
58	PATCH AND REFINISH WALL
59	PATCH AND PAINT WALL AT REMOVED FIRE SHUTTER
60	TERRACE DRAIN. SEE PLUMB DWGS. PROVIDE NEW CONC. TOPPING SLAB TO SLOPE 1/8" MAX TO DRAIN
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62	(E) STEEL GUARDRAIL - CUT BACK AS REQ'D & RESUPPORT CUT END WITH NEW POST TO MATCH EXISTING
63	CUSTOM BANQUETTE BY MILLWORKER
64	NEW PTD WD CHAIRAL TO MATCH EXISTING
65	TRIM BACK CHAIRAL TO TERMINATE AT CORNERGUARD
66	CERAMIC TILE TO MATCH EXISTING
67	CUT GWB AND INSTALL SOLID WOOD BLOCKING FOR MONITOR SUPPORT AT EXISTING WALL PATCH GWB
68	SEE FOOD SERVICE DRAWINGS FOR MODIFICATIONS TO BEVERAGE COUNTER

**GENERAL FLOOR PLAN NOTES**

A. ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL FROM COLUMN CENTERLINES OR TO THE FACE OF THE EXISTING FINISH MATERIAL UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION AND SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS

B. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THE ARCHITECT SHALL BE NOTIFIED OF ALL DISCREPANCIES OR PROBLEMS IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK. VERIFY ALL CRITICAL DIMENSIONS WITHIN AND/OR RELATED TO THE EXISTING BUILDING. DIMENSIONS AND CONDITIONS INDICATED WERE DETERMINED BY VISUAL SURVEY AND/OR INFORMATION FROM EXISTING DRAWINGS.

C. ALL INDICATIONS AND NOTATIONS ON THE DRAWINGS WHICH APPLY TO ONE AREA, COMPONENT OR CONDITION SHALL APPLY TO ALL OTHER SIMILAR AREAS, COMPONENTS OR CONDITIONS UNLESS CLEARLY INDICATED OTHERWISE.

D. PROVIDE FULL HEIGHT STRUCTURAL STUDS AT ALL CORNERS AROUND DOOR JAMBS AND BORROWED LIGHT FRAMES AND BEHIND ALL WALL MOUNTED EQUIPMENT AND/OR CASEWORK.

E. THE HINGE SIDE OF ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE.

F. ALL SIZES OF EXISTING EQUIPMENT TO REMAIN TO BE VERIFIED.

G. ALL FURNITURE SHOWN IN DASHED LINE AND NOT SPECIFICALLY IDENTIFIED IS NOT PART OF THIS WORK AND IS TO BE OWNER FURNISHED AND OWNER INSTALLED.

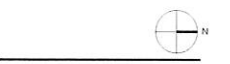
H. ALL NEW STRUCTURAL STEEL TO BE PROTECTED WITH 1 HOUR APPLIED FIRE PROOFING U.N.O.

**FLOOR PLAN LEGEND**

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- NEW DOOR
- EXISTING DOOR TO REMAIN
- NEW FLOOR SLAB. SEE STRUCTURAL
- NO WORK THIS AREA
- FEC - FIRE EXT. CABINET
- C01-4 CORNER GUARD - 4" HIGH STAINLESS STEEL
- C02-2 CORNER GUARD - 2" HIGH PVC (ACTUAL LENGTH TO BE 1'-0" EXTENDED BETWEEN WALL BASE AND CHAIRRAL)
- C02-7 CORNER GUARD - 7" HIGH PVC (TO BE 7'-0" AFF. LENGTH TO BE 6'-6" IN AREAS WITH 6" WALL BASE)

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Key Plan



**MDS** architecture  
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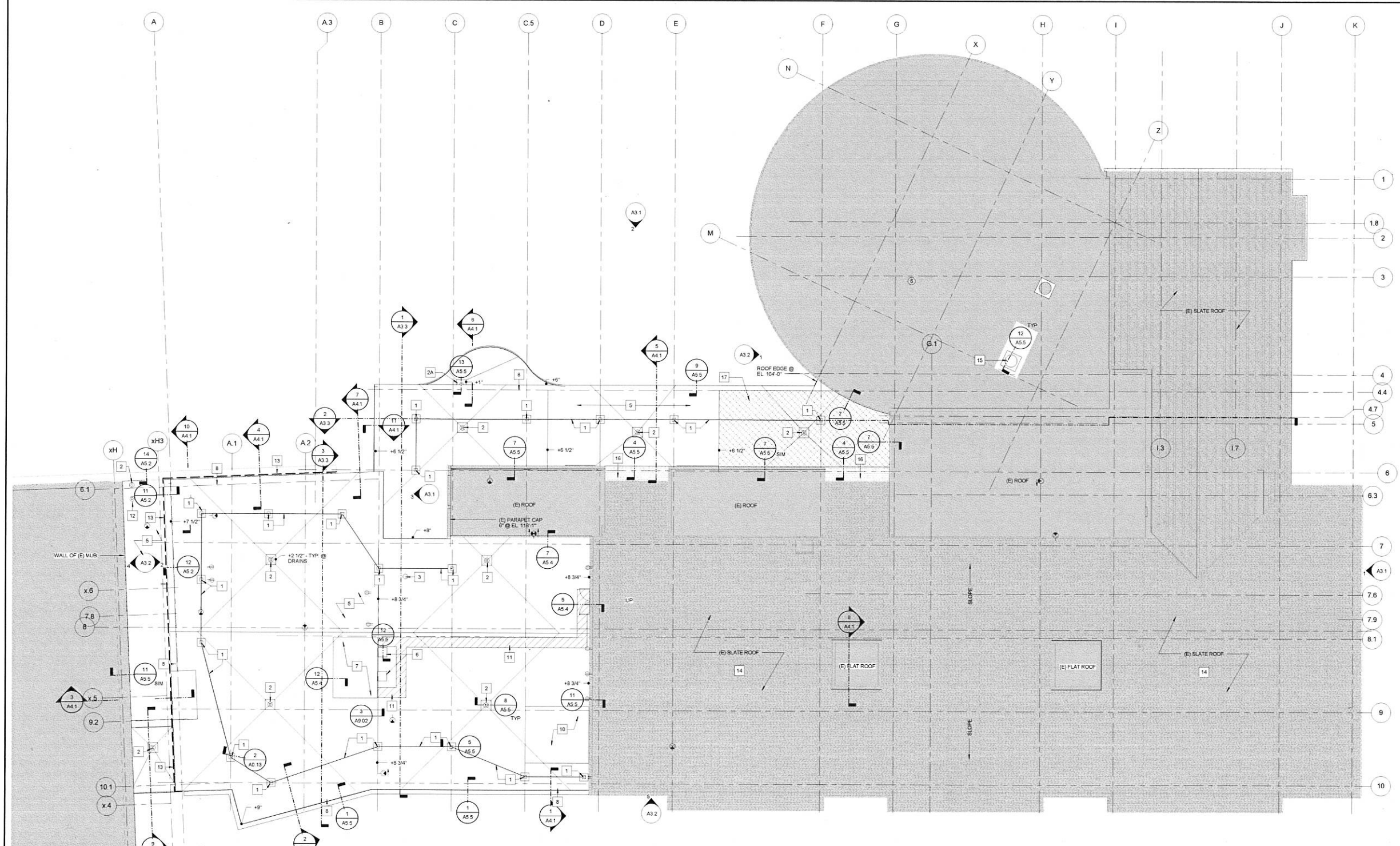
Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH  
Checked By: JL  
Issue Date: November 25, 2014

Issues	No	Date	Description

Revisions	No	Date	Description

Drawing Title  
**ROOF PLAN**

1/8" = 1'-0"  
Drawing Number  
**A1.6**



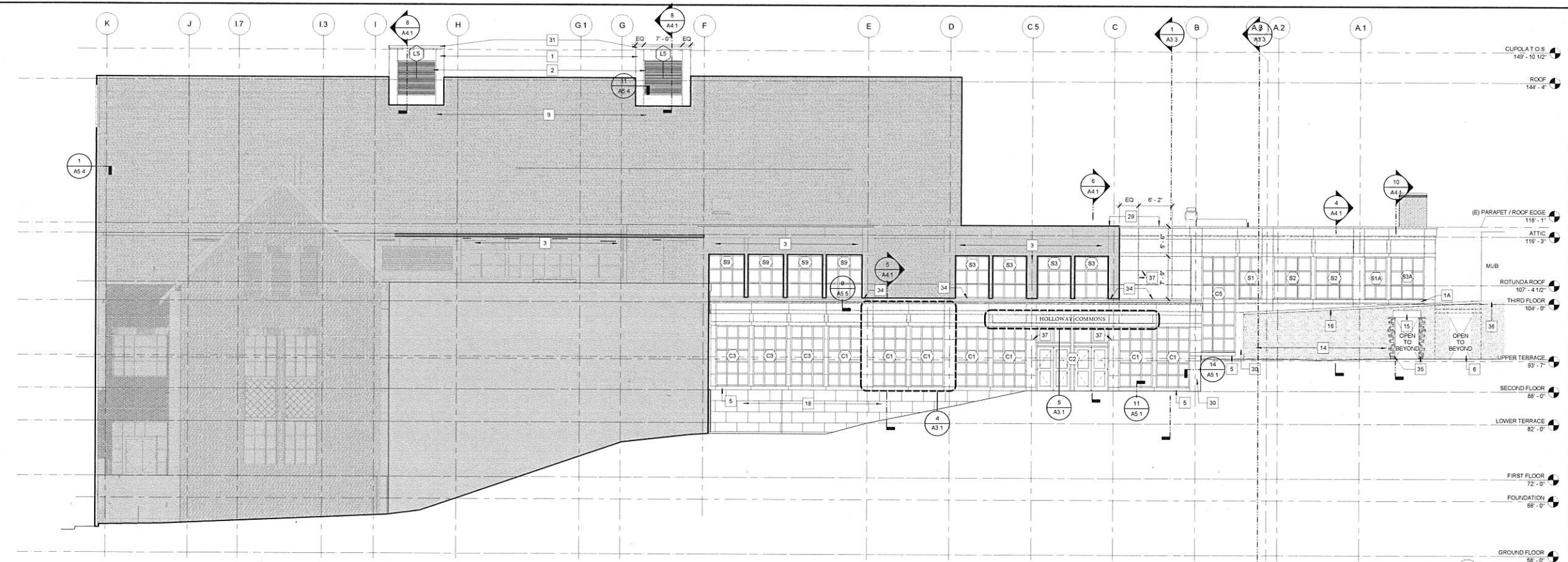
**1 ROOF PLAN**  
SCALE 1/8" = 1'-0"

KEYNOTES - ROOF PLAN	
NO.	NOTE
1	SAFETY TIE OFF ANCHOR W/ UNYARD CABLE LIFELINE. PROVIDE OSHA COMPLIANT CABLE TIE OFF SYSTEM
2	ROOF DRAIN WITH TAPERED INSULATION SUMP. SEE PLUMBING DWGS
2A	THRU-WALL SCUPPER DRAIN WITH TAPERED INSULATION SUMP. SEE PLUMBING DWGS
3	VENT THROUGH ROOF
4	PROVIDE 6" OF PRESSURE TREATED BLOCKING AND METAL FASCIA WITH DROP EDGES TYP.
5	FULLY ADHERED EPDM ROOFING OVER PROTECTION BOARD OVER RIGID INSULATION & TAPERED RIGID INSULATION ISLOPED TO DRAIN AT 1/4" PER FT. MIN. TOTAL INSULATION THICKNESS TO BE 2 1/2" MIN. (MIN. R20 AVERAGE TOTAL)
6	RELOCATE EXHAUST FANS AND DUCTWORK AT CEILING AS REQUIRED. PROVIDE NEW CURB W/ EPDM FLASHING
7	RAISE ROOF AT ELEVATOR SHAFT
8	LIGHTNING PROTECTION SYSTEM. SEE ELEC DWGS
9	GREASE RESISTANT MEMBRANE ROOFING
10	RAISED DECK WITH STEEL TO PROVIDE RAISED ROOF AREA FOR NEW 48"x16" SUPPLY AIR DUCT THRU WALL ABOVE ATTIC FLOOR
11	WALKWAY PADS
12	OVERFLOW DRAIN
13	3" SEISMIC JOINT
14	PROTECT SLATE ROOF DURING CONSTRUCTION. DO NOT PUT ANY LOAD ON EXISTING SLATE
15	NEW EXHAUST FAN CONNECTED TO NEW DUCTWORK BELOW WITH NEW CURB AT ENLARGED ROOF OPENING. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS. PATCH ROOF SYSTEM AND FLASH NEW CURB INTO EXISTING ROOF SYSTEM
16	36" WIDE ICE AND WATER SHIELD AND RE-INSTALLED SALVAGED SLATE SHINGLE
17	GREASE RESISTANT MEMBRANE

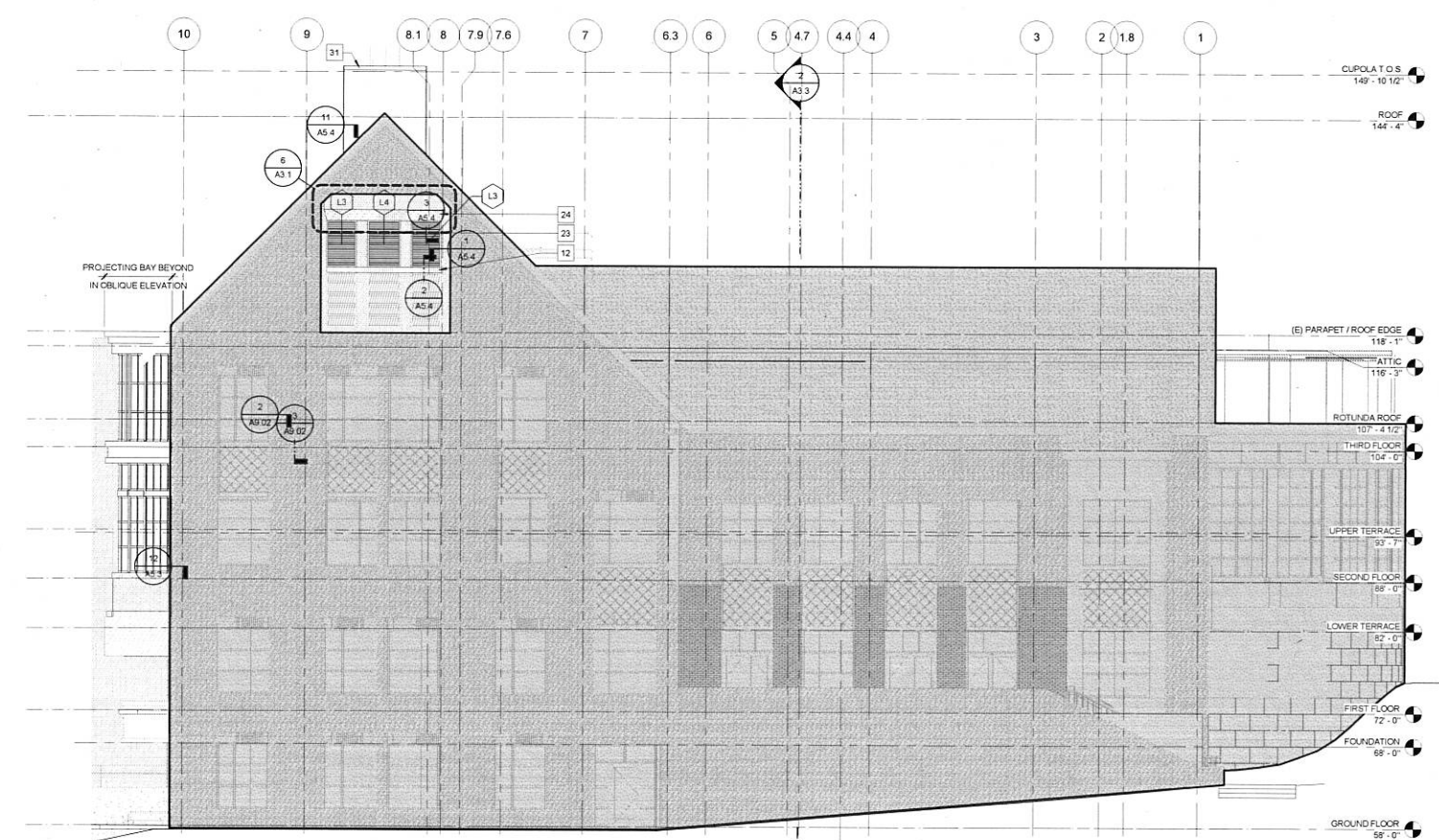
GENERAL ROOF PLAN NOTES	
A	ROOF ELEVATIONS INDICATED AT FLAT ROOFS WITH TAPERED INSULATION ARE FOR TOTAL THICKNESS OF INSULATION. TOTAL INSULATION THICKNESS SHALL BE 2 1/2" MINIMUM (U.N.C.) AT ROOF DRAINS AND SHALL SLOPE AT 1/4" PER FOOT TO HIGH POINTS INDICATED
B	CRICKETS AND TAPERED INSULATION INDICATED MAY NOT BE COMPREHENSIVE. CONTRACTOR SHALL BE REQUIRED TO PROVIDE POSITIVE DRAINAGE (MINIMUM 1/4" = 1'-0") TO PREVENT PONDING
C	WALKWAY PADS SHALL BE PROVIDED AS INDICATED AND AT STAIR PENHOUSES, ROOF HATCHES, ROOF JACKERS AND ALL REASONABLE ROUTES WHICH SERVICE ROOFTOP EQUIPMENT AND OTHER AREAS, SUCH AS WROCK AND SKYLIGHT PERIMETERS FOR CLEANING, AT HOSE BIBBS, ELECTRICAL OUTLETS, SIGNAGE, ANTENNAS, ETC.
D	REQUIRED ROOFING AND FLASHING WORK SHALL BE PROVIDED AT ALL ROOF OPENINGS AND PENETRATIONS UNDER THIS CONTRACT WHETHER INDICATED ON THIS DRAWING OR NOT. REFER TO PLUMBING, HVAC, AND ELECTRICAL DRAWINGS FOR ITEMS PENETRATING AND/OR LOCATED ON ROOF, INCLUDING BUT NOT LIMITED TO ROOFTOP UNITS, EXHAUST FANS, TOILET, EXHAUST FANS, VENTS, PIPE AND CONDUIT PENETRATIONS, AND GAS PIPING.
E	NEW EPDM ROOF BASED ON UL-F732



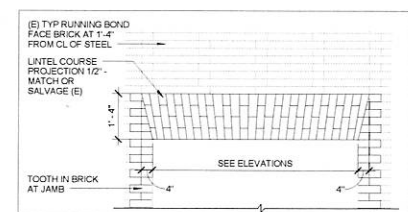
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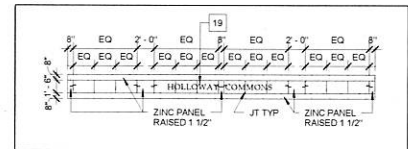
**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



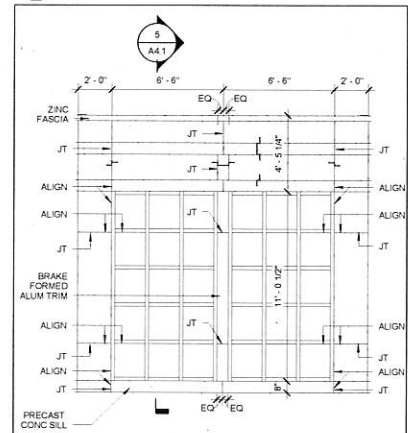
**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



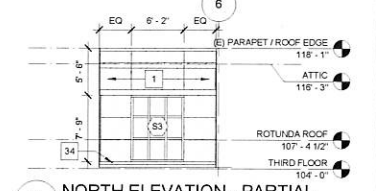
**6 DETAIL - LINTEL COURSING**  
SCALE: 1/2" = 1'-0"



**5 CANOPY ELEVATION UNFOLDED**  
SCALE: 1/8" = 1'-0"



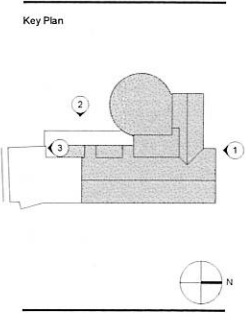
**4 TYPICAL ZINC JOINTS**  
SCALE: 1/2" = 1'-0"



**3 NORTH ELEVATION - PARTIAL**  
SCALE: 1/8" = 1'-0"

NO.	KEYNOTES - EXTERIOR ELEVATIONS	NOTE
1	ZINC CUSTOM FORMED SIDING	
1A	ZINC TRIM	
2	ALUMINUM LOUVER	
3	(E) ZINC PANELS	
4	(E) BRICK	
5	PRECAST BELL	
5A	(E) MASONRY SILL	
6	BRICK VENEER TO MATCH EXISTING	
7	(E) STEEL PIPE GUARD RAIL REMOVE AND REINSTALL	
8	PRECAST CONCRETE CAP	
9	PROTECT (E) SLATE ROOFING	
10	MEMBRANE FLASHING	
11	COPPER COP/INTER FLASHING AND THRU-WALL FLASHING	
12	BRICK SOLDIER COURSE 1/2" PROJECTION	
13	ARCHITECTURAL CONCRETE	
14	(E) STONE WALL TO REMAIN	
15	STONE LINTEL TO MATCH EXISTING AT OPENING IN STONE WALL	
16	GRANITE CAP STONE TO MATCH EXISTING	
17	DRIVER VENT. SEE MECH	
18	STONE PATTERNED CONC W/ 2"x4" FORM LINEAR PANEL TO MATCH EXISTING. SEE STRUCT DWGS	
19	REINSTALL (E) HOLLOWAY COMMONS RAISED LETTER SIGNAGE	
23	LOUVER WHEN WALL OPENING	
24	LINTEL COURSE 1/2" PROJECTION	
28	EXISTING 42" BRICK WALL W/ STONE CAP TO REMAIN	
29	NEW ROOF EDGE TO ALIGN W/ EXISTING PARAPET EDGE	
30	PRECAST CONCRETE	
31	MAINTAIN (E) ROOF EDGE	
32	TOOTH IN SALVAGED BRICK	
33	(E) CONC TOPPING SLAB TO REMAIN AT VESTIBULE SOOBSA (MUB)	
33A	CONC TOPPING SLAB W/ 5'-0" LANDING AT DOOR - SLOPE REMAINDER @ 1:20 MAX TO MEET (E) TOPPING SLAB	
34	ZINC COUNTER FLASHING REWORK (E) ZINC PANELS AS REQUIRED	
35	TOOTH-IN STONE AT JAMBS	
36	(E) GRANITE CAP STONE	
37	SEAM JOINT. SEE TYPICAL SHEET METAL DETAILS	
38	RELIEVING ANGLE. SEE STRUCTURAL DWGS	
39	REINSTALL MASONRY AFTER NEW THRU-WALL FLASHING INSTALLATION	
40	PATCH BRICK & BACK-UP SYSTEM AFTER INSTALLATION OF STEEL FRAMING	
41	2" MIN. CONC TOPPING SLAB - SLOPE UP TO DOOR @ 1:50 MAX	

EXTERIOR ELEVATION LEGEND		
[Pattern]	NO WORK THIS AREA	
[Pattern]	ZINC CUSTOM FORMED SIDING	
[Pattern]	BRICK SOLDIER COURSE AND VENEER TO MATCH (E)	
[Pattern]	ARCHITECTURAL CONCRETE	
[Pattern]	PRECAST CONCRETE	
[Pattern]	METAL FACED COMPOSITE PANEL	



Project Status: **CONSTRUCTION DOCUMENTS**

Project No: **1329**

Drawn By: **KH, MS**

Checked By: **JL**

Issue Date: **November 25, 2014**

Issues	No.	Date	Description

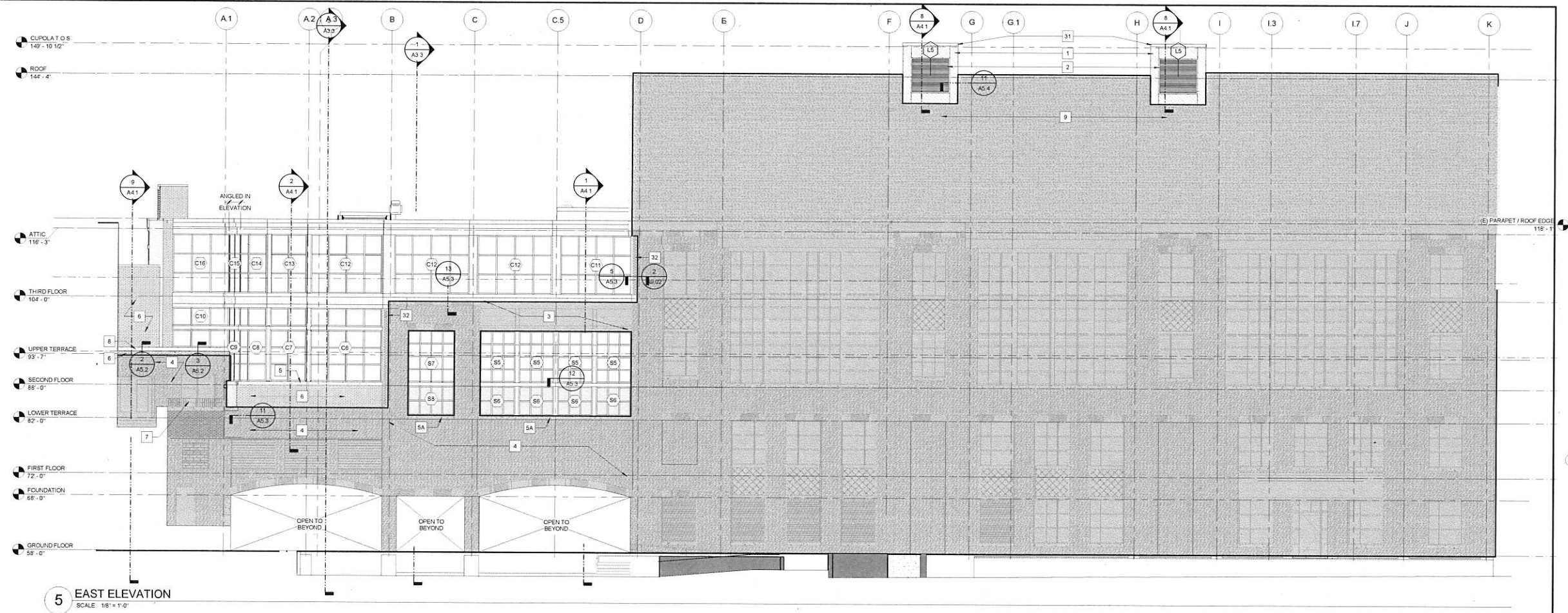
Revisions	No.	Date	Description

Drawing Title  
**EXTERIOR ELEVATIONS**

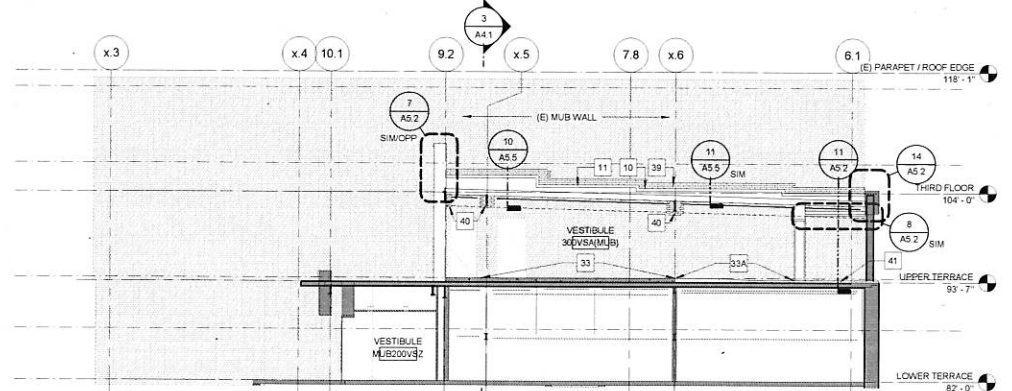
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Drawing Number  
**A3.1**

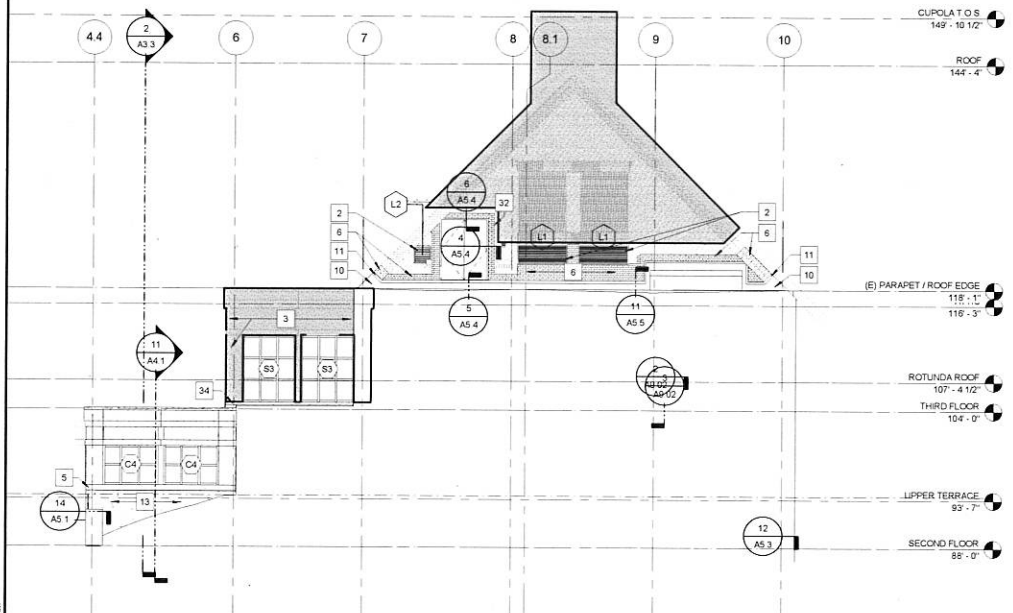
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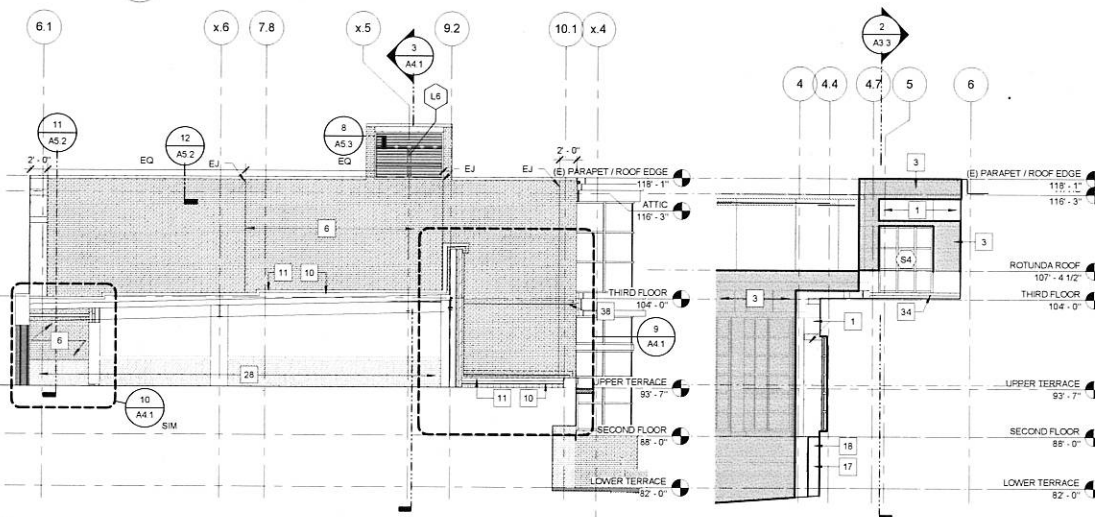
5 EAST ELEVATION  
SCALE 1/8" = 1'-0"



4 NORTH ELEVATION/SECTION - MUB  
SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

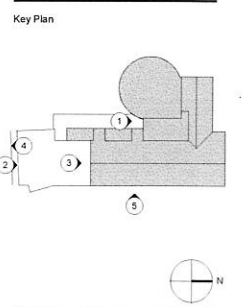


2 SOUTH ELEVATION/SECTION  
SCALE 1/8" = 1'-0"

1 SOUTH ELEVATION - PARTIAL  
SCALE 1/8" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS	
NO.	NOTE
1	ZINC CUSTOM FORMED SIDING
1A	ZINC TRIM
2	ALUMINUM LOUVER
3	(E) ZINC PANELS
4	(E) BRICK
5	PRECAST CONCRETE
5A	(E) MASONRY SILL
6	BRICK VENEER TO MATCH EXISTING
7	(E) STEEL PIPE GUARD RAIL REMOVE AND REINSTALL
8	PRECAST CONCRETE CAP
9	PROTECT (E) SLATE ROOFING
10	MEMBRANE FLASHING
11	COPPER COURTER FLASHING AND THRU-WALL FLASHING
12	BRICK SOLDIER COURSE 1/2" PROJECTION
13	ARCHITECTURAL CONCRETE
14	(E) STONE WALL TO REMAIN
15	STONE LINTEL TO MATCH EXISTING AT OPENING IN STONE WALL
16	GRANITE CAP STONE TO MATCH EXISTING
17	DRYER VENT SEE MECH
18	STONE PATTERNED CONC W/ 2x4 FORM LINEAR PANEL TO MATCH EXISTING SEE STRUCT DWGS
19	REINSTALL (E) HOLLOWAY COMMONS RAISED LETTER SIGNAGE
20	LOUVER IN NEW WALL OPENING
24	LINTEL COURSE 1/2" PROJECTION
28	EXISTING 4" BRICK WALL W/ STONE CAP TO REMAIN
29	NEW ROOF EDGE TO ALIGN W/ EXISTING PARAPET EDGE
30	PRE-CAST CONCRETE
31	MAINTAIN (E) ROOF EDGE
32	TOOTH IN SALVAGED BRICK
33	(E) CONC TOPPING SLAB TO REMAIN AT VESTIBULE 300VSA (M.S)
33A	CONC TOPPING SLAB W/ 5'-0" LANDING AT DOOR - SLOPE REMAINDER @ 1/20 MAX TO MEET (E) TOPPING SLAB
34	ZINC COURTER FLASHING - REWORK (E) ZINC PANELS AS REQUIRED
35	TOOTH-IN STONE AT JAMBS
36	(E) GRANITE CAP STONE
37	SEAM JOINT SEE TYPICAL SHEET METAL DETAILS
38	RELEVING ANGLE SEE STRUCTURAL DWGS
39	REINSTALL MASONRY AFTER NEW THRU-WALL FLASHING INSTALLATION
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41	2" MIN CONC TOPPING SLAB - SLOPE UP TO DOOR @ 1/50 MAX

EXTERIOR ELEVATION LEGEND	
[Pattern]	NO WORK THIS AREA
[Pattern]	ZINC CUSTOM FORMED SIDING
[Pattern]	BRICK SOLDIER COURSE AND VENEER TO MATCH (E)
[Pattern]	ARCHITECTURAL CONCRETE
[Pattern]	PRECAST CONCRETE
[Pattern]	METAL FACED COMPOSITE PANEL



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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH, MS  
Checked By: JL  
Issue Date: November 25, 2014

Issues		
No.	Date	Description

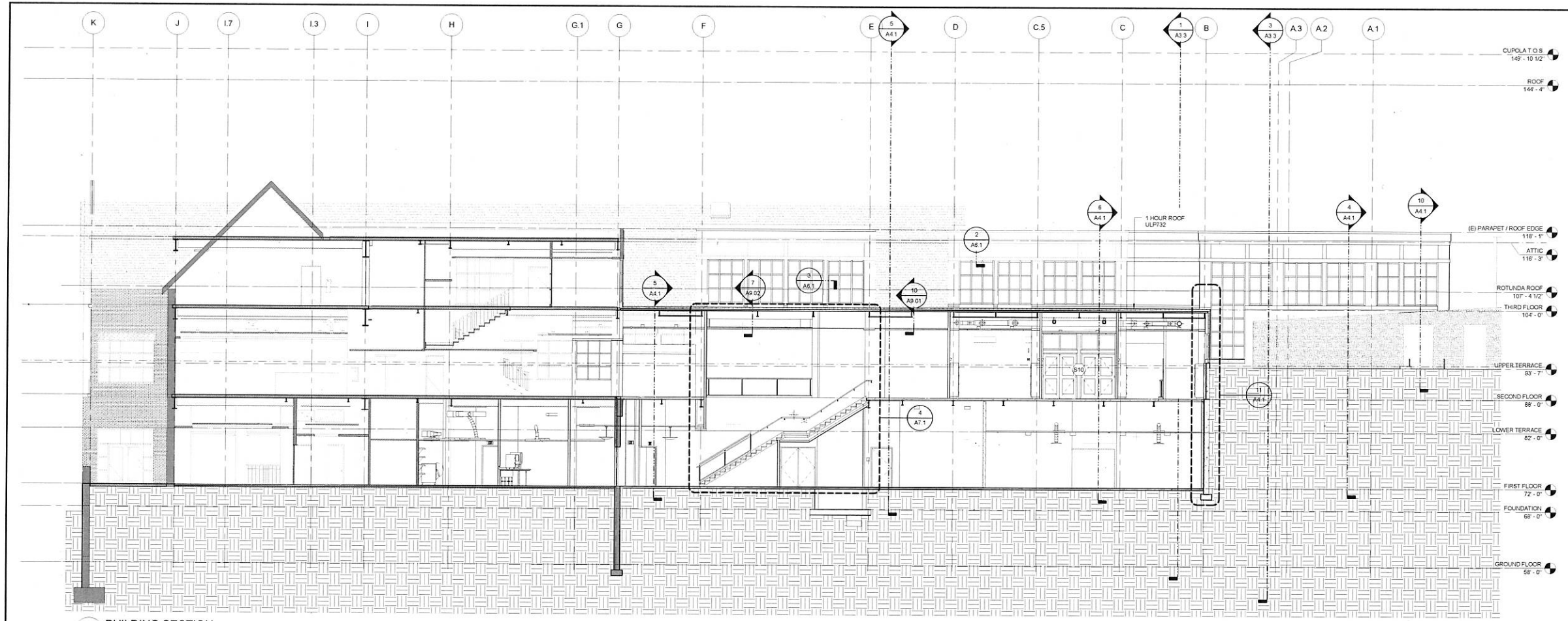
Revisions		
No.	Date	Description

Drawing Title  
**EXTERIOR ELEVATIONS**

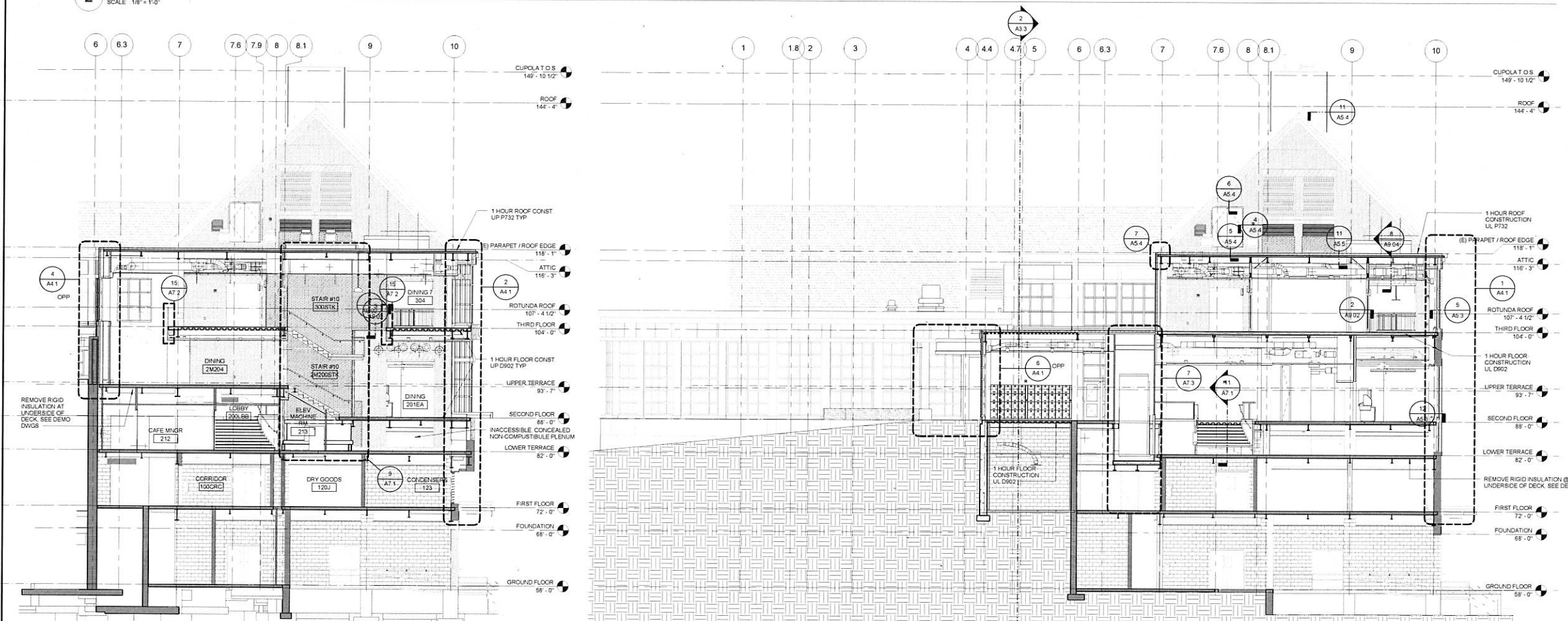
As indicated

Drawing Number  
**A3.2**

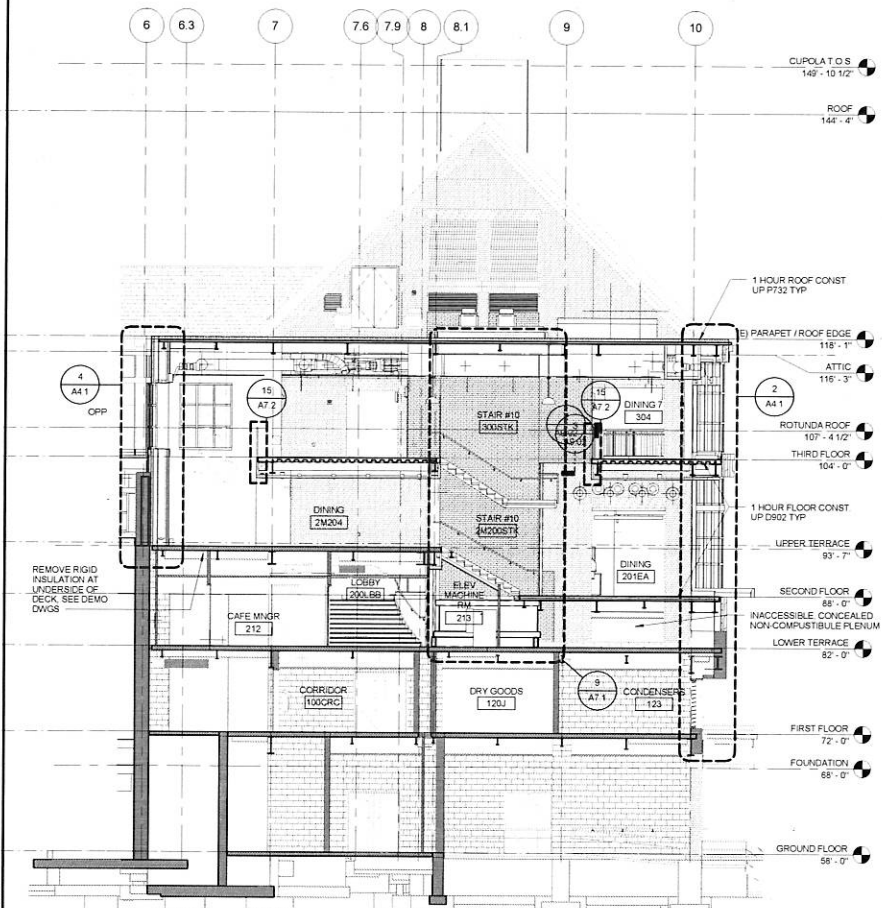
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**2 BUILDING SECTION**  
SCALE 1/8" = 1'-0"

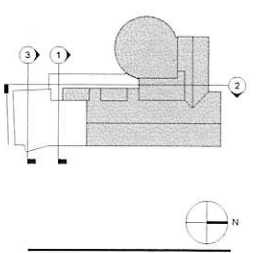


**1 BUILDING SECTION**  
SCALE 1/8" = 1'-0"



**3 BUILDING SECTION**  
SCALE 1/8" = 1'-0"

Key Plan



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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: KH, MS  
Checked By: JL  
Issue Date: November 25, 2014

Issues

No.	Date	Description

Revisions

No.	Date	Description

Drawing Title  
**BUILDING SECTIONS**

As indicated

Drawing Number  
**A3.3**

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Key Plan



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Project Status: CONSTRUCTION DOCUMENTS  
Project No: 1329  
Drawn By: MFF  
Checked By: JAY  
Issue Date: November 25, 2014

Issues	No.	Date	Description

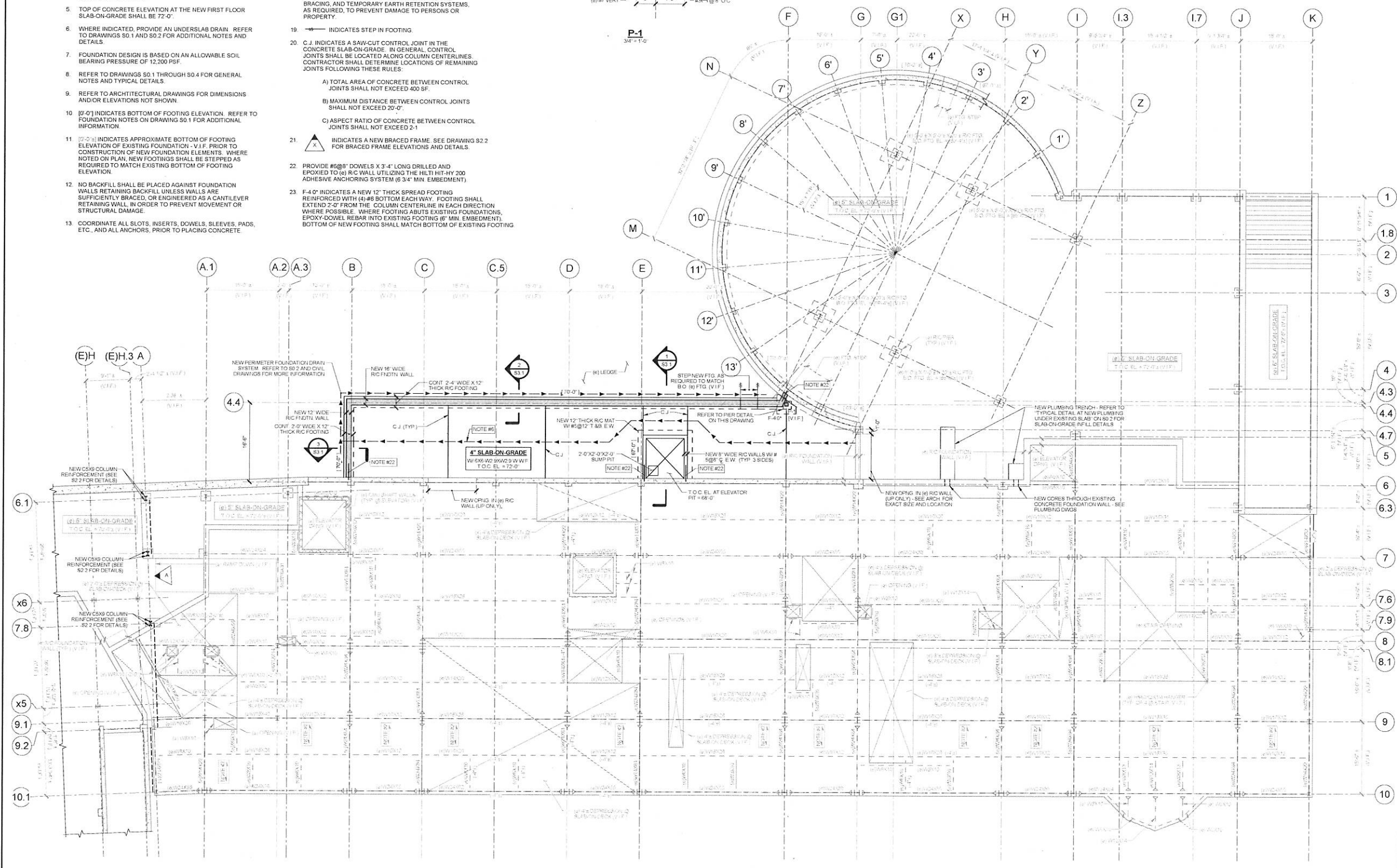
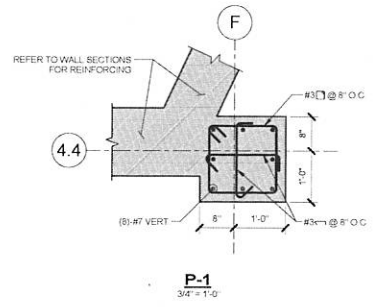
Revisions	No.	Date	Description

Drawing Title  
**FOUNDATION/ FIRST FLOOR FRAMING PLAN**

As indicated  
Drawing Number  
**S1.2**

**FOUNDATION/FIRST FLOOR NOTES:**

- WHERE INDICATED, PROVIDE A SLAB-ON-GRADE OF THE INDICATED THICKNESS REINFORCED WITH #8@12" W/W.F. SET 1" FROM THE TOP OF SLAB. REFER TO PROJECT MANUAL (SPECIFICATIONS) FOR FILL MATERIAL AND COMPACTION REQUIREMENTS.
- INDICATES SPAN DIRECTION OF EXISTING 3 1/4" DEEP LIGHTWEIGHT CONCRETE ON 2" DEEP COMPOSITE STEEL FLOOR DECKING. OVERALL SLAB DECK THICKNESS EQUALS 6 1/4" (V.I.F.).
- TOP OF EXISTING STEEL ELEVATION AT THE FIRST FLOOR IS 71'-5 3/4", U.O.N. THUS (+0'-0") ON PLAN (V.I.F.).
- TOP OF CONCRETE ELEVATION AT THE EXISTING FIRST FLOOR SLAB-ON-DECK IS 72'-0" EXCEPT WHERE DEPRESSIONS ARE NOTED ON PLAN (V.I.F.).
- TOP OF CONCRETE ELEVATION AT THE NEW FIRST FLOOR SLAB-ON-GRADE SHALL BE 72'-0".
- WHERE INDICATED, PROVIDE AN UNDERSLAB DRAIN. REFER TO DRAWINGS S0.1 AND S0.2 FOR ADDITIONAL NOTES AND DETAILS.
- FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 12,200 PSF.
- REFER TO DRAWINGS S0.1 THROUGH S0.4 FOR GENERAL NOTES AND TYPICAL DETAILS.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND/OR ELEVATIONS NOT SHOWN.
- 0'-0" INDICATES BOTTOM OF FOOTING ELEVATION. REFER TO FOUNDATION NOTES ON DRAWING S0.1 FOR ADDITIONAL INFORMATION.
- 0'-0" INDICATES APPROXIMATE BOTTOM OF FOOTING ELEVATION OF EXISTING FOUNDATION. V.I.F. PRIOR TO CONSTRUCTION OF NEW FOUNDATION ELEMENTS. WHERE NOTED ON PLAN, NEW FOOTINGS SHALL BE STEPPED AS REQUIRED TO MATCH EXISTING BOTTOM OF FOOTING ELEVATION.
- NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING BACKFILL UNLESS WALLS ARE SUFFICIENTLY BRACED, OR ENGINEERED AS A CANTILEVER RETAINING WALL IN ORDER TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
- COORDINATE ALL SLOTS, INSERTS, DOWELS, SLEEVES, PADS, ETC., AND ALL ANCHORS, PRIOR TO PLACING CONCRETE.
- CONSTRUCTION JOINTS IN ALL CONCRETE FOUNDATION WALLS SHALL NOT EXCEED 40 LINEAR FEET, UNLESS CONTROL JOINTS ARE PROVIDED TO MEET SAME.
- PROVIDE ADDITIONAL REINFORCEMENT AT ALL CONSTRUCTION JOINTS, AS REQUIRED.
- REFER TO DRAWING S2.1 FOR COLUMN SCHEDULE AND BASE PLATE DETAILS.
- FOR SIZE AND LOCATION OF ALL OPENINGS, CURBS, PADS, DEPRESSIONS AND SLOPES, REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS. COORDINATE ALL OPENINGS PRIOR TO SHOP DRAWING SUBMITTALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND EXECUTION OF ALL TEMPORARY SHORING AND BRACING, AND TEMPORARY EARTH RETENTION SYSTEMS, AS REQUIRED, TO PREVENT DAMAGE TO PERSONS OR PROPERTY.
- INDICATES STEP IN FOOTING.
- C.J. INDICATES A SAW-CUT CONTROL JOINT IN THE CONCRETE SLAB-ON-GRADE. IN GENERAL, CONTROL JOINTS SHALL BE LOCATED ALONG COLUMN CENTERLINES. CONTRACTOR SHALL DETERMINE LOCATIONS OF REMAINING JOINTS FOLLOWING THESE RULES:  
A) TOTAL AREA OF CONCRETE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 400 SF.  
B) MAXIMUM DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 20'-0".  
C) ASPECT RATIO OF CONCRETE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 2:1.
- INDICATES A NEW BRACED FRAME. SEE DRAWING S2.2 FOR BRACED FRAME ELEVATIONS AND DETAILS.
- PROVIDE #5@8" DOWELS X 3'-4" LONG DRILLED AND EPOXYED TO (a) R/C WALL UTILIZING THE HILTI HIT-HY 200 ADHESIVE ANCHORING SYSTEM (6 3/4" MIN. EMBEDMENT).
- F-4'0" INDICATES A NEW 12" THICK SPREAD FOOTING REINFORCED WITH (4) #6 BOTTOM EACH WAY. FOOTING SHALL EXTEND 2'-0" FROM THE COLUMN CENTERLINE IN EACH DIRECTION WHERE POSSIBLE. WHERE FOOTING ABUTS EXISTING FOUNDATIONS, EPOXY-DOWEL REBAR INTO EXISTING FOOTING (6" MIN. EMBEDMENT). BOTTOM OF NEW FOOTING SHALL MATCH BOTTOM OF EXISTING FOOTING.



**FOUNDATION/FIRST FLOOR FRAMING PLAN**  
1/8" = 1'-0"