



**TOWN OF DURHAM**  
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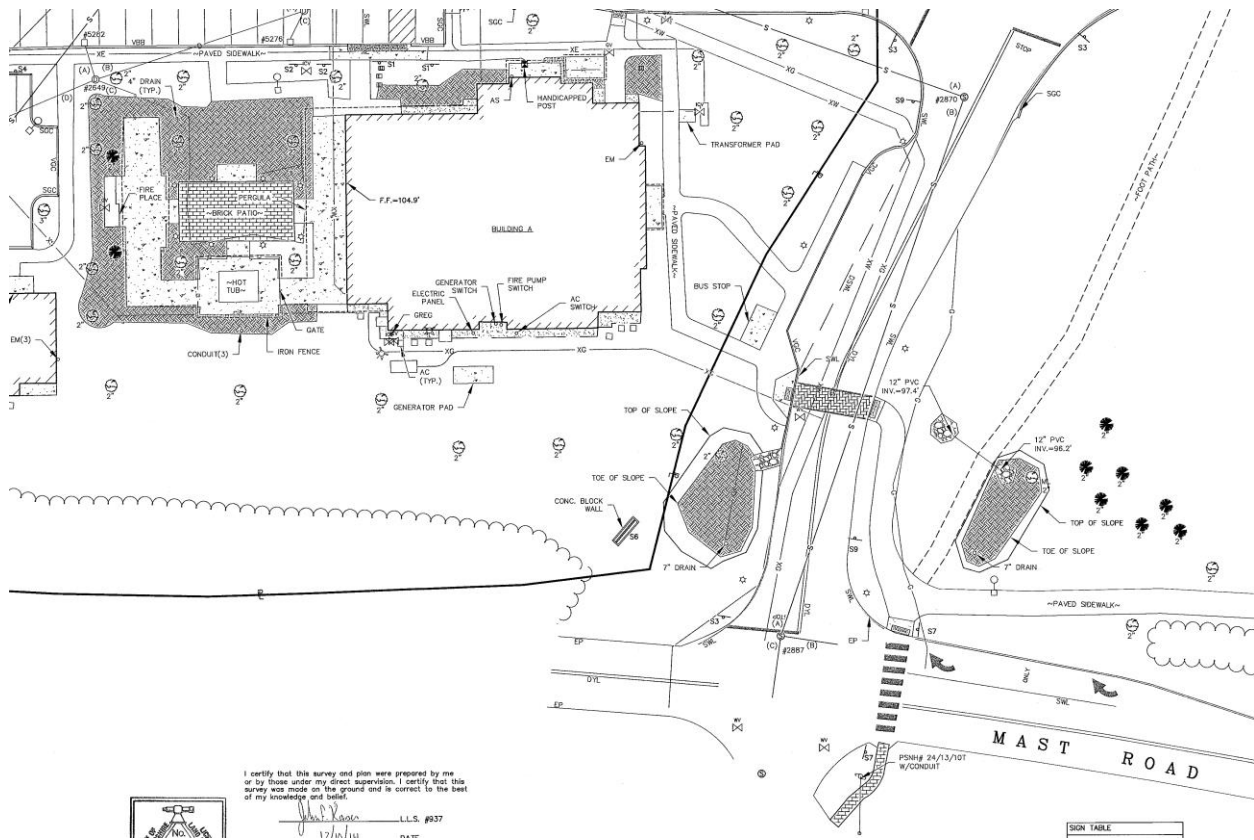
***Town Planner's Recommendation***  
**Wednesday, April 22, 2015**

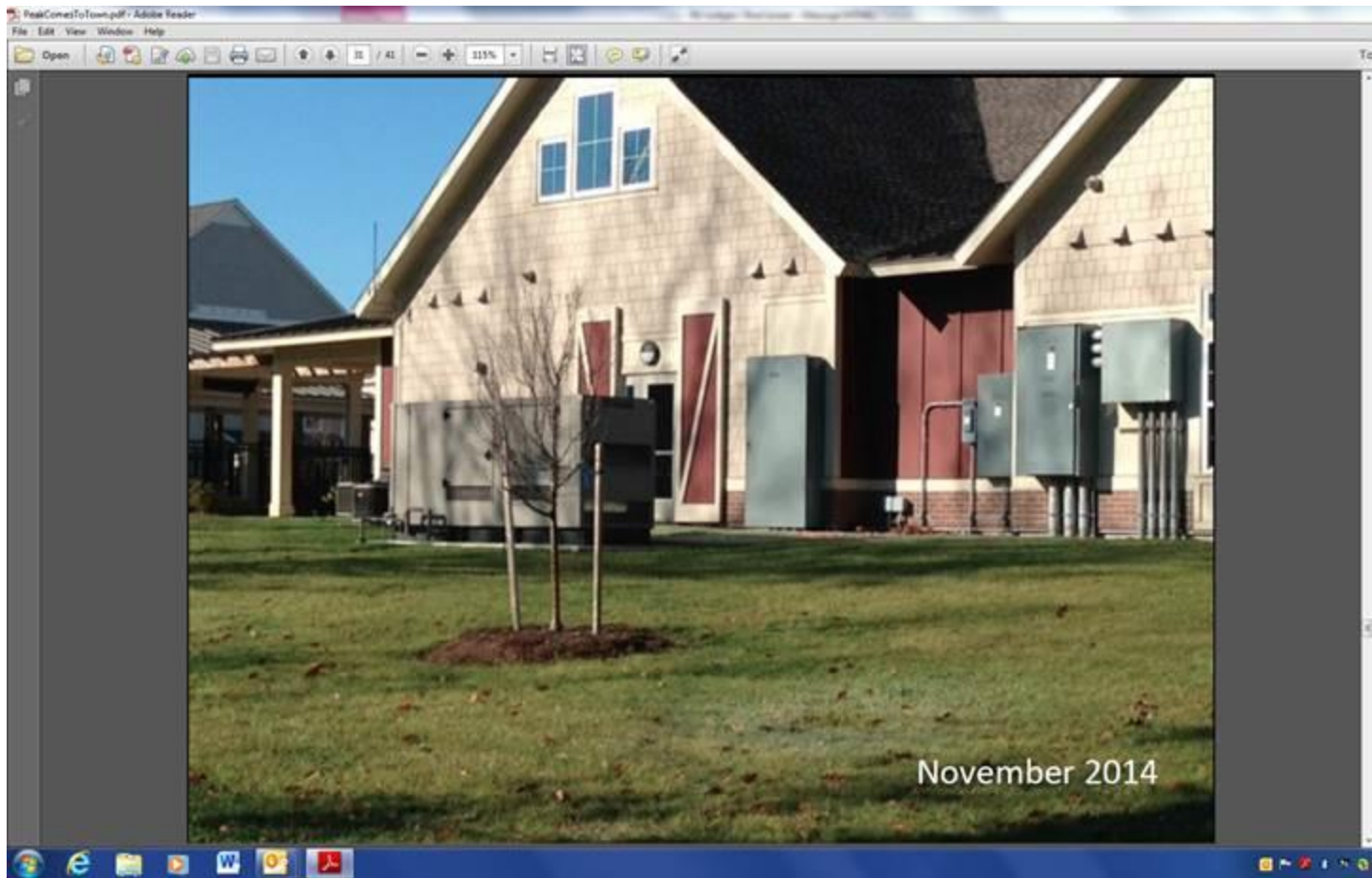
XIII. **The Lodges – Amendment for Utilities.** Mast Road. An amendment to the approved site plan for 142 unit/460 bed housing development to add utility structures behind the clubhouse (facing Mast Road). Peak Campus Development, LLC, c/o Jeff Githens and Jonathon Barge, developer. Tax Map 13, Lots 6-1, 10-0, 3-0 UNH and 4-0 UNH. Office Research Light Industry Zoning District. *Recommended action:* Discussion and setting a public hearing for May 13.

➤ I recommend discussion and setting a public hearing for May 13

Please note the following:

- 1) A temporary certificate of occupancy has been issued for the Lodges on Mast Road, and they are waiting for a permanent CO. There is one particular item that does not conform with the approved plans. There are a number of utility structures that were built behind the clubhouse, visible from Mast Road. These structures were not shown on any of the plans (site plan, utility plan, landscaping plan, etc.).
- 2) See the as built drawing on page 2, below; the photograph on page 3 showing the generator pad, air conditioning unit and other items; and Peak's proposed plan on page 4.
- 3) The Planning Board discussed this item briefly under Other Business on April 8 and confirmed that an amendment with notices and a public hearing (rather than a modification) was the appropriate avenue for review, given the prominent view toward these structures from Mast Road.
- 4) See the enclosed amendment request and the proposed landscaping plan for addressing the utilities. The plan shows 14 Mountbatten Junipers arranged in a partial circle to screen the utilities. The junipers would be 5-6 feet in height at installation.





Peak's proposed landscaping/screening plan:

