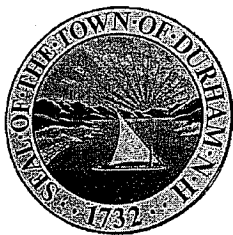


\$ 178
pd. 2/20
Check #
2200



PLANNING DEPARTMENT
Town of Durham
15 Newmarket Road
Durham, NH 03824-2898
Phone (603) 868-8064 Fax (603) 868-8033
www.ci.durham.nh.us

RECEIVED
Town of Durham
FEB 20 2014

Planning, Assessing
and Zoning

Amendment to Approved Project

Durham, New Hampshire

Project name Thompson Inn at Highland Farm (Former Highland House)

Property Address 90 Bennett Rd. Map and Lot # 14/34-1

Type of project: Site Plan ; Subdivision ; Lot Line Adjustment ; Other

Date of original Planning Board approval ~~April 2006~~ August 27, 2008

Description of amendment Creation of Parking Area + Driveway

Reason for amendment Moving Parking Area and adding additional Driveway to more screened area and away from adjacent property buildings.

Name of applicant or agent filling out this form Lori K. Lamb ^{Stwe #617-834-6852}

Applicant? Lori Lamb Agent? Lori 603-988-1399

Today's date 2/20/14

Please note: Amendments are reviewed by the Planning Board and a public hearing is held. Abutters must be renotified by the applicant. The applicant must submit any supplementary materials necessary to explain and support the amendment, such as a narrative and plans.

----- Office use below -----

Amendment approved Amendment denied Date of Planning Board action _____

Conditions _____

Signature: _____ Date: _____

RECEIVED
Town of Durham

FEB 20 2014

Planning, Assessing
and Zoning

To Members of the Planning Board:

We are seeking approval for creating a parking area and driveway along the westerly boundary of our property instead of previously approved location along the northern boundary. This new location provides natural screening for the parking area, moves it away from the adjacent lot's buildings including a rental house and allows us to maintain our current lawn. It is conveniently located near the approved function facility.

The use of the westerly driveway for exiting the property has been approved by Dave Cedarholm for right hand turns and will be manned during events for safety. Drainage and grading considerations will be engineered by a professional to ensure no runoff onto Bennett Road or the Lamprey River. Other exiting traffic can be directed to the easterly driveway for left hand turns.

The driveway location on the exterior of the parking area provides a buffer between the parked cars and the abutting property. Fences between the parking area and driveway and walkway will keep parking contained. The traffic will flow in one direction through the parking area for entering and exiting.

The drive, parking area and walkway will be lighted by downward directed lights.

We will be using a crushed stone surface on the driveway and parking area to maintain permeability and grade surfaces to prevent wash out.

There will be an accessible walkway from the parking area to the function facility and, from there, to the inn. Limited parking is available closer to the Inn for those staying there. Additionally, shuttle service is an option to local hotels and inns during events.