

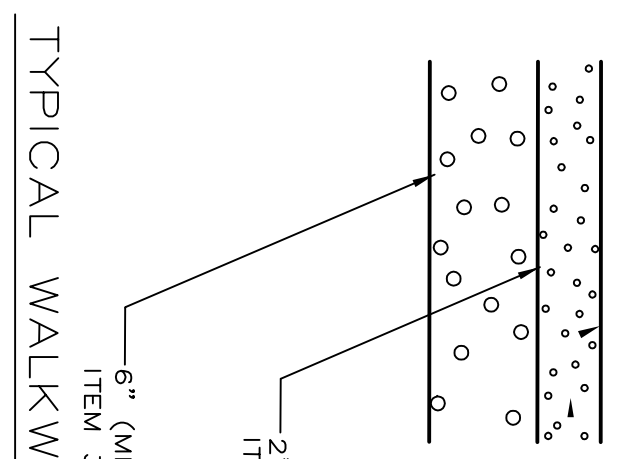
6" (MIN.) CRUSHED GRAVEL  
ITEM 304.3

12" (MIN.) BANK RUN GRAVEL  
ITEM 304.2

TYPICAL PARKING LOT AND DRIVEWAY CROSS-SECTION  
NOT TO SCALE

- NOTES
1. THE DENSITY OF SELECT MATERIALS AND SUBGRADE PREPARATION SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR IN ACCORDANCE WITH N.H.D.O.T. SPECIFICATIONS.
  2. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER UNSUITSABLE ROAD FOUNDATION MATERIALS WITHIN 5 FEET OF FINISH GRADE. THE PIPE SHALL DISCHARGE THROUGH A MORTARED RUBBLE MASONRY HEADWALL, OR INTO A CATCH BASIN.
  3. UNDERDRAIN PIPE SHALL BE PROVIDED IN ALL AREAS WHERE THE SEASONAL HIGH WATER TABLE IS WITHIN 5 FEET OF FINISH GRADE. THE PIPE SHALL BE LOCATED AT THE RIGHT-OF-WAY LINE, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  4. ALL UNDERGROUND FACILITIES AND TRANSFORMERS SLABS SHALL BE LOCATED AT THE PRECONSTRUCTION MEETING TO COORDINATE WITH TOWN ENGINEERING REQUIREMENTS. A CONTRACTOR TO COORDINATE WITH TOWN ENGINEERING PRIOR TO INITIATING CONSTRUCTION.

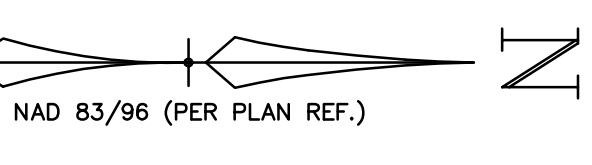
TAX MAP 14 LOT 34  
7.4 ACRES  
(PER PLAN REFERENCE #1 & #2)



6" (MIN.) BANK RUN GRAVEL  
ITEM 304.2

2" (MIN.) CRUSHED GRAVEL  
ITEM 304.3

TYPICAL WALKWAY DETAIL  
NOT TO SCALE

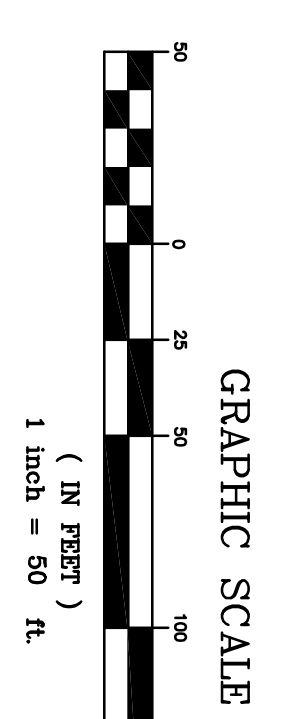
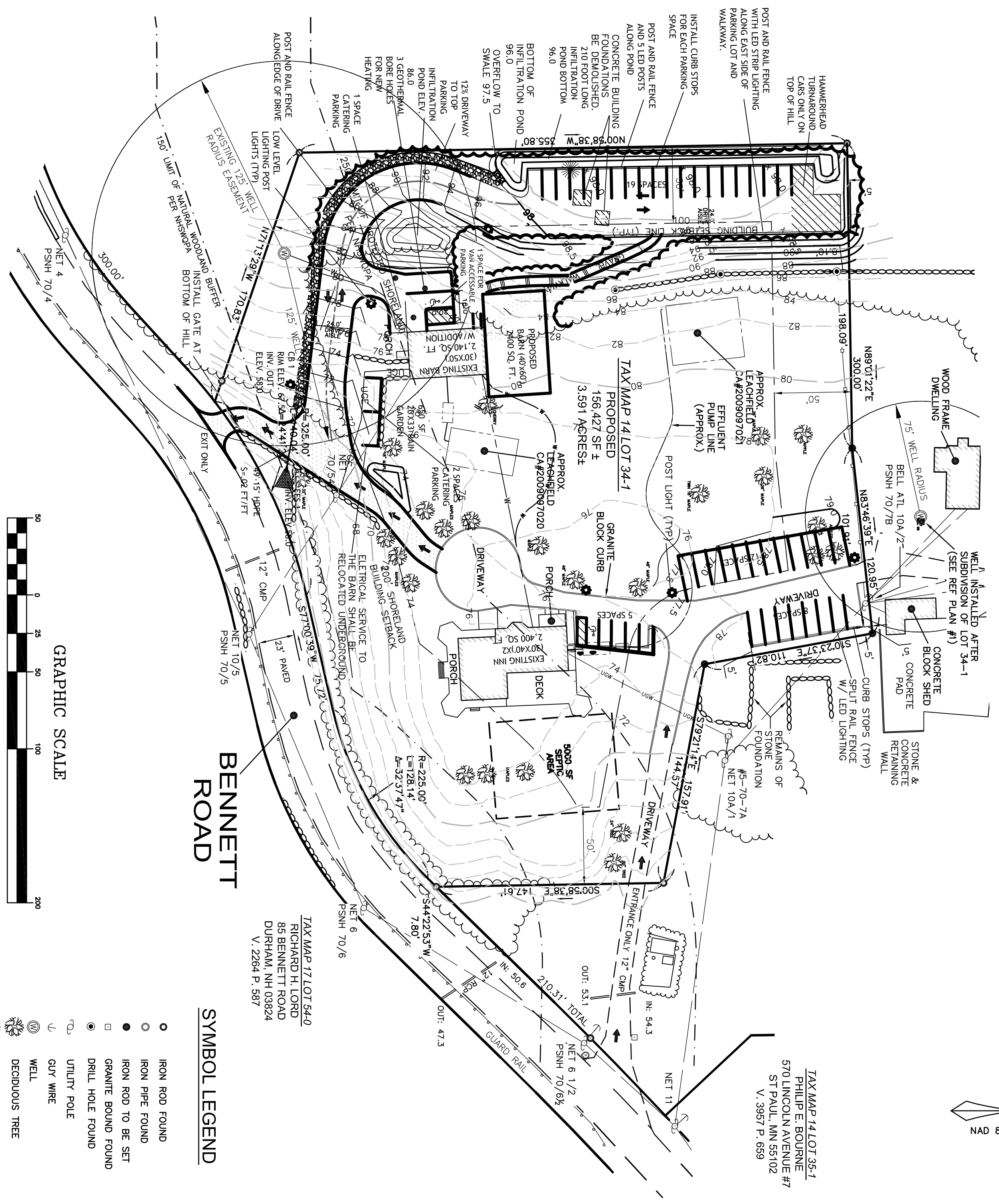


PLAN REFERENCES:

- 1.) SUBDIVISION PLAN, HIGHLAND HOUSE, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE, 88 BENNETT ROAD, DURHAM, NEW HAMPSHIRE, DATED APRIL 2006, LAST REVISED 9/15/06, PREPARED BY T.F. BERNIER, INC. SCSD PLAN #89-14.
- 2.) LOT LINE ADJUSTMENT PLAN, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE AND ASSESSORS MAP 14 LOT 35-1, 88 BENNETT ROAD, DURHAM, NEW HAMPSHIRE, DATED MAY 2007, LAST REVISED 7/16/07, PREPARED BY T.F. BERNIER, INC. SCSD PLAN #91-37.

PLAN NOTES:

- A) Driveway permit. The driveway permit has been issued. It requires that there be a flagger whenever there are special events. Left hand turns are difficult but can be used when there is a flagger there.
  1. The driveway is to be used only for special events and only for existing vehicles.
  - ii. A traffic detail (police officer or flagger approved by Durham PD) must be posted on Bennett Road when the driveway exits is used.
  - iii. The gate at the end of the driveway must be closed at all times during non-events and when a traffic detail is not present.
- B) Special events: This site plan amendment includes approval of holding special events at the site. This includes customary outdoor activities and activities such as weddings in the building.
- C) Limits of special events. Events, music, and any amplification must end by 11:00 PM on Friday and Saturday nights and 10:00 PM on other nights.
- D) Tent events. Per the 2011 approval, there may be no more than 18 events in the tent per year.
- E) Parking Lot. If the barn/function hall is used during the winter, the upper parking area must be plowed/cleared to accommodate it. The hammerhead shown on the plans will not be marked on the ground in any way.
- F) Cut trees. No cut trees or stumps may be buried on the site.
- G) Building Code. This approval is for the site plan only. Life safety code and building code review will be required as part of the building permit process when the construction plans are submitted. The applicant is encouraged to meet with Building and Fire Officials early to expedite the review process.
- H) Additional information. For more information about this site plan, or to see the complete plan set, contact the Town of Durham Planning Department, 15 Newmarket Road, Durham, NH 03824, 603-868-8064.
- I) Earlier approvals. All conditions of earlier approvals for the site apply to this amendment.



SITE PLAN - THOMPSON INN

DEVELOPER:  
STEPHEN AND LORI LAMB  
90 BENNETT ROAD  
DURHAM, NEW HAMPSHIRE

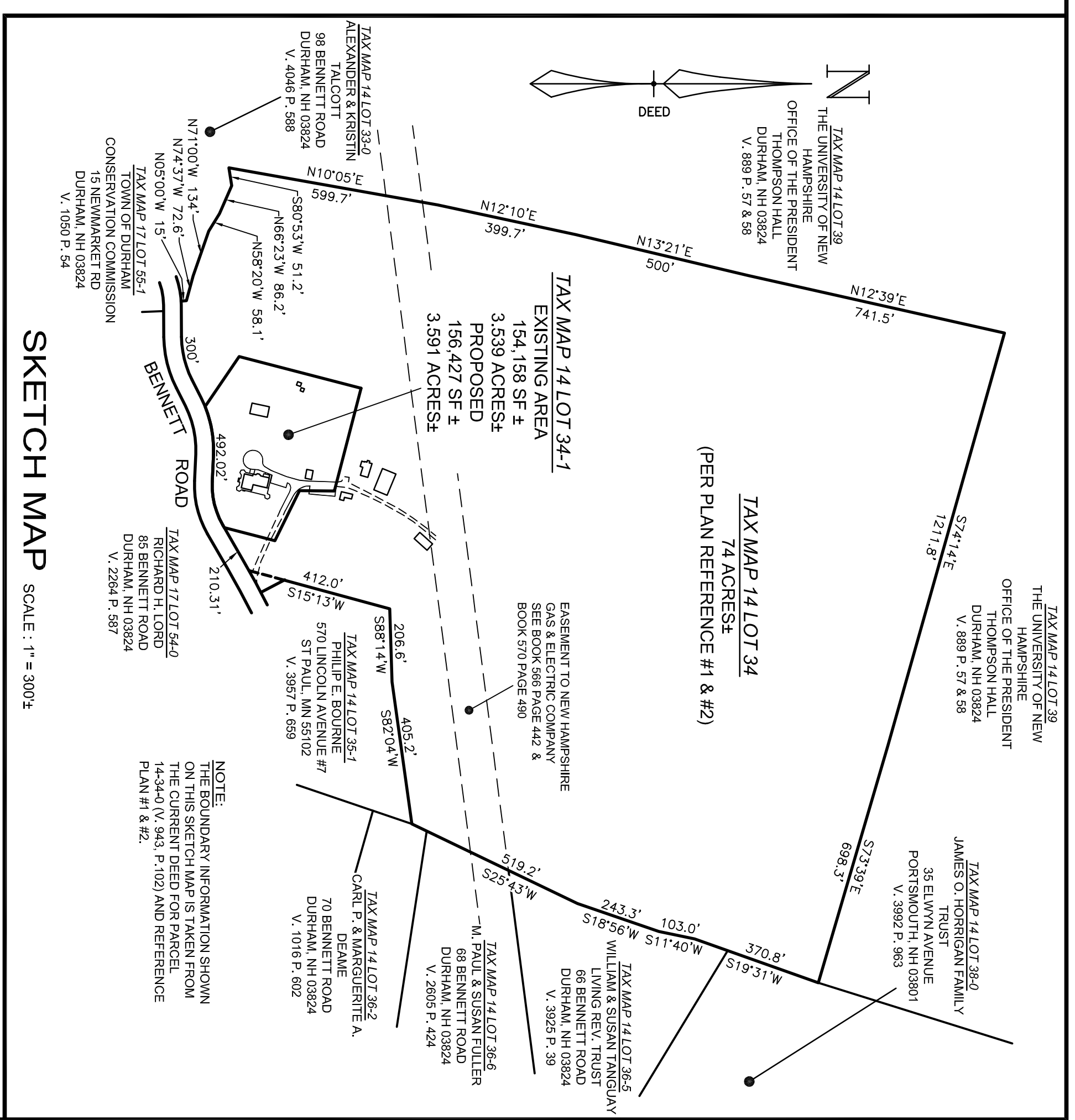
STEPHEN AND LORI LAMB  
90 BENNETT ROAD - TAX MAP 14, LOT 34-1  
DURHAM, NEW HAMPSHIRE

SYMBOL LEGEND

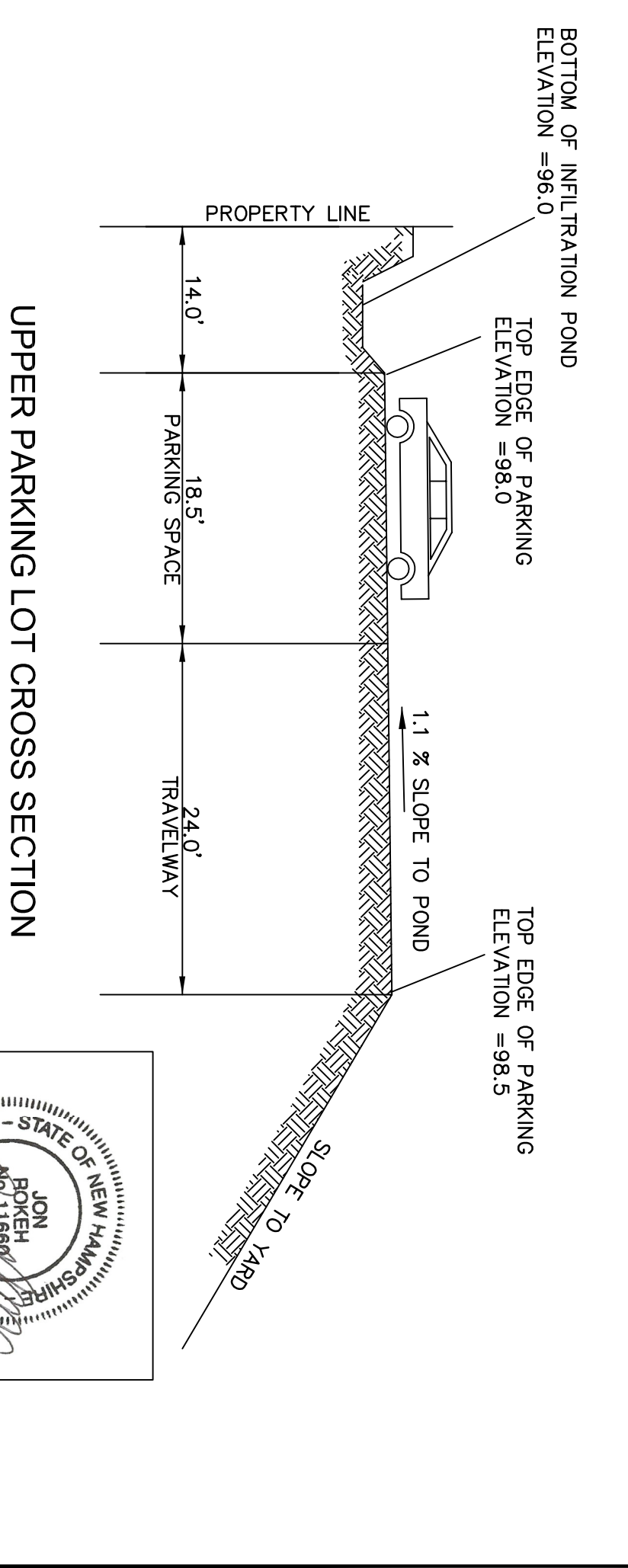
- IRON ROD FOUND
- IRON PIPE FOUND
- IRON ROD TO BE SET
- GRANITE BOUND FOUND
- BRILL HOLE FOUND
- UTILITY POLE
- GUY WIRE
- WELL
- DECIDUOUS TREE
- CONIFEROUS TREE

REVISIONS

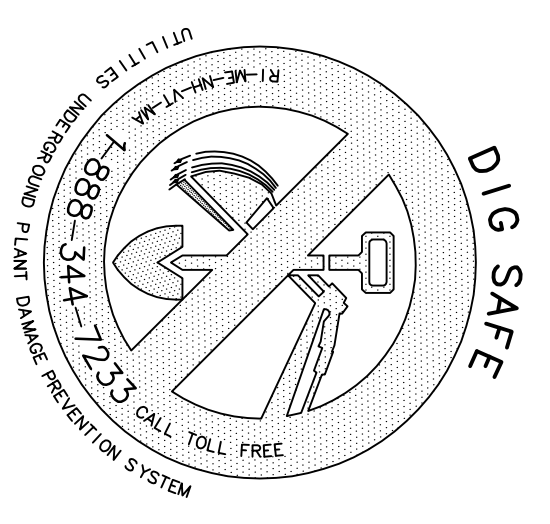
DATE	DESCRIPTION	OWN BY	CK BY
5-6-14	ADD INFORMATION TO PLAN PER TOWN COMMENTS	JR	JR
6-5-14	ADD INFORMATION TO PLAN PER TOWN COMMENTS	JR	JR
6-29-14	EDITS TO PLAN FOR POND SIZING	JR	JR
7-7-14	EDITS TO PLAN PER COMMENTS	JR	JR
7-29-14	EDITS TO PLANS PER SITE SPECIFIC SOILS	JR	JR
8-5-14	ADD INFORMATION PER CONDITIONS OF APPROVAL	JR	JR
1-6-15	ADD INFORMATION PER CONDITIONS OF APPROVAL	JR	JR
4-12-15	EDIT VAN ACCESSIBLE DESIGNATION	JR	JR



SKETCH MAP  
SCALE: 1" = 300'

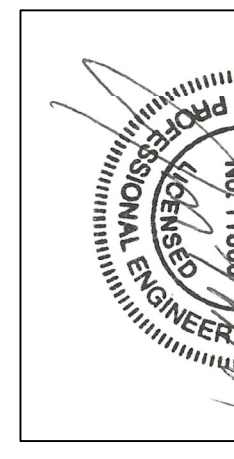


UPPER PARKING LOT CROSS SECTION



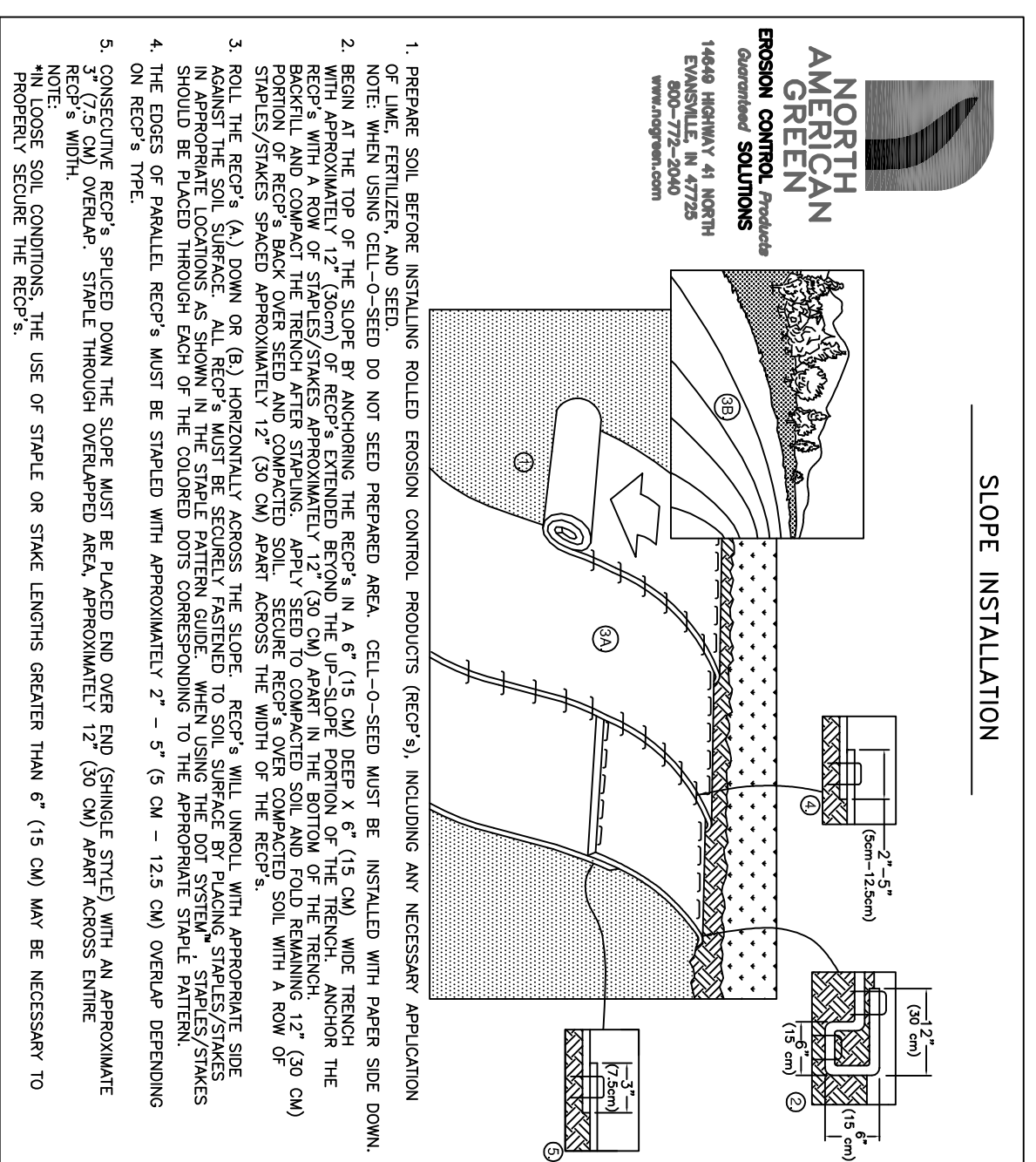
FINAL APPROVAL BY THE DURHAM PLANNING  
CERTIFIED BY MICHAEL BEHRENT, TOWN PLANNER.

DATE \_\_\_\_\_

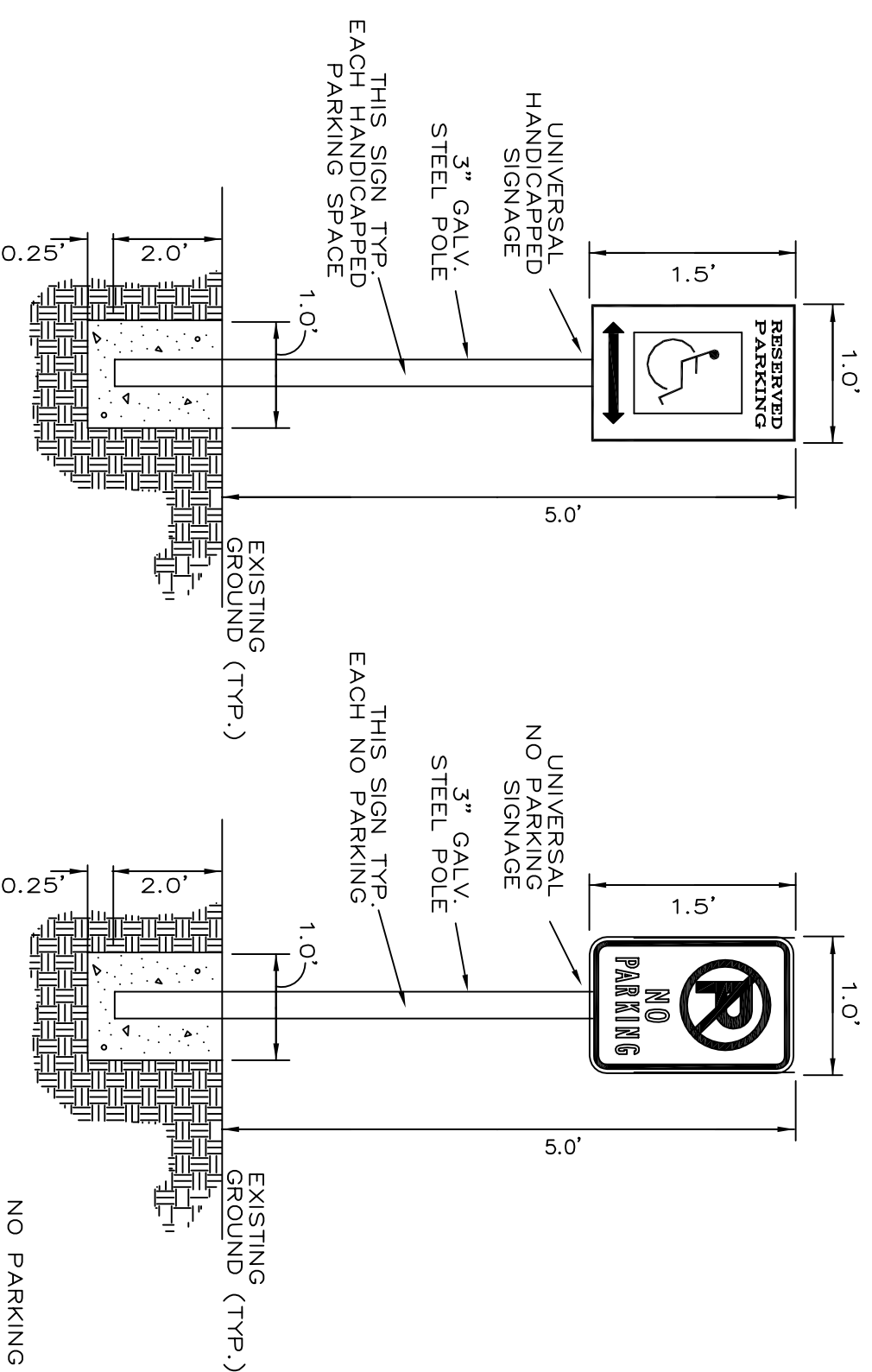


**Rokeh Consulting, LLC**  
89 KING ROAD, CHICHESTER, NH 03258  
PH: 603-387-8688

SCALE: 1" = 50'  
DR. BY: JR CK. BY: JR  
JOB NO. 2014.089  
SHEET NO. 1 OF 2

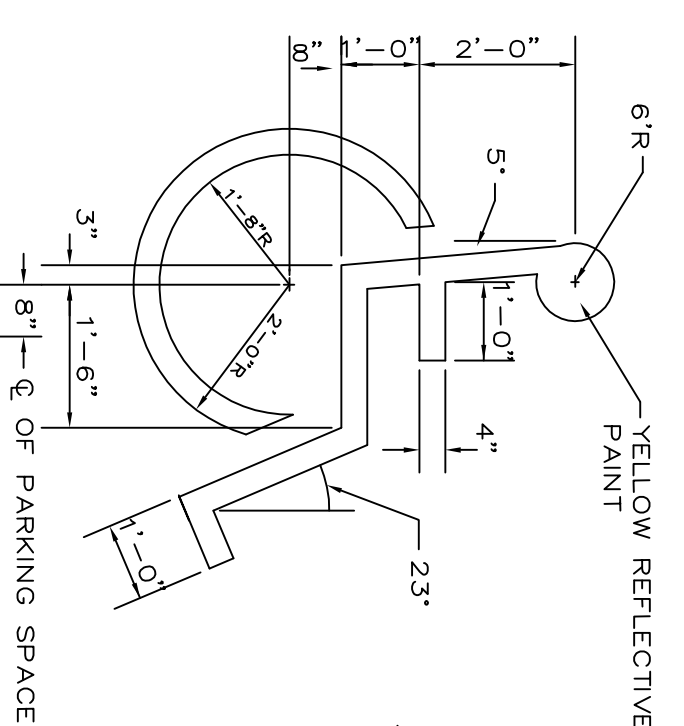


TO BE INSTALLED IF CONSTRUCTION OCCURS WHEN VEGETATION CANNOT BE WELL ESTABLISHED.

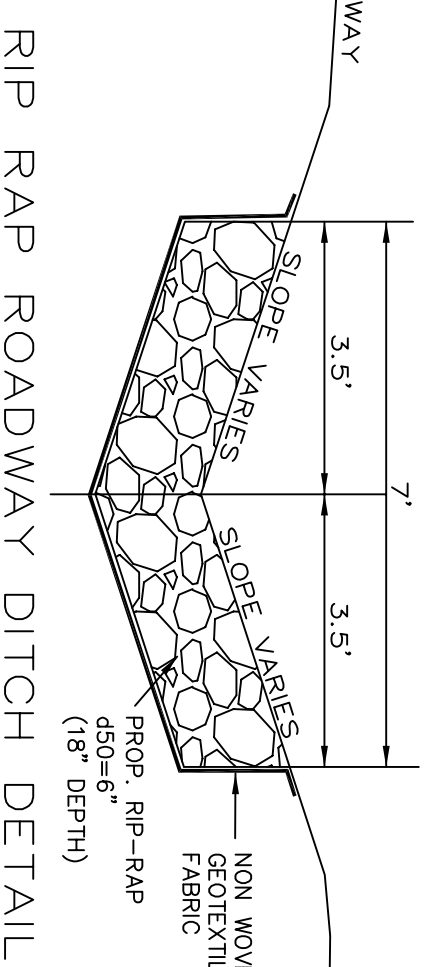
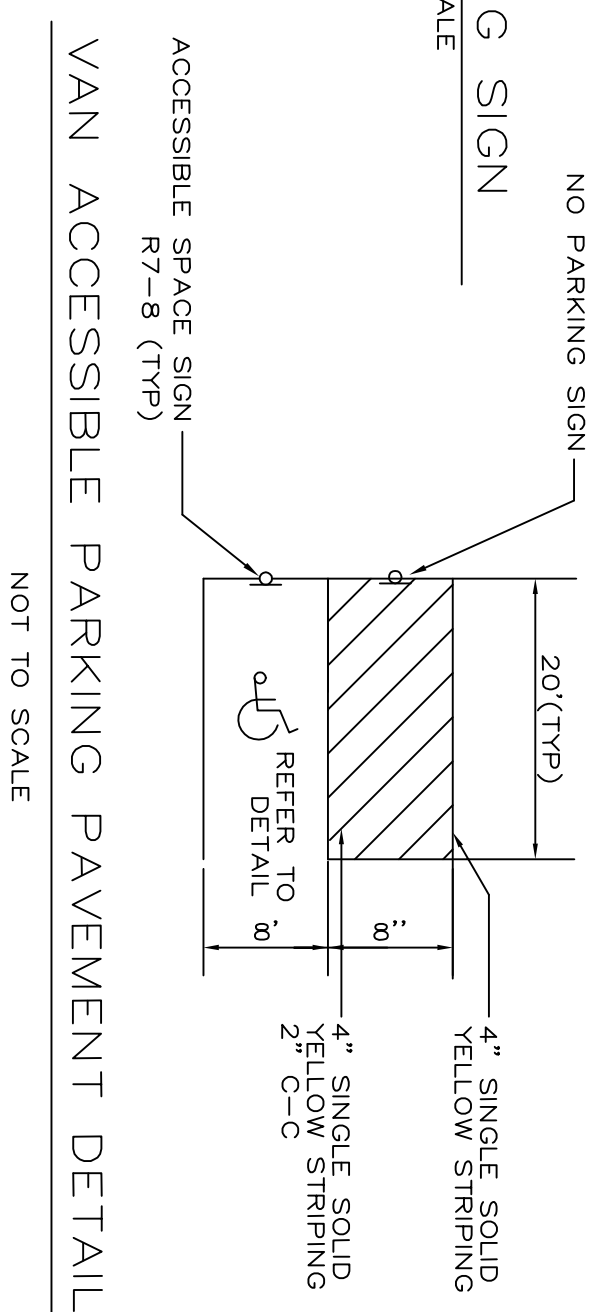


HANDICAP PARKING SIGN NOT TO SCALE

NO PARKING SIGN NOT TO SCALE

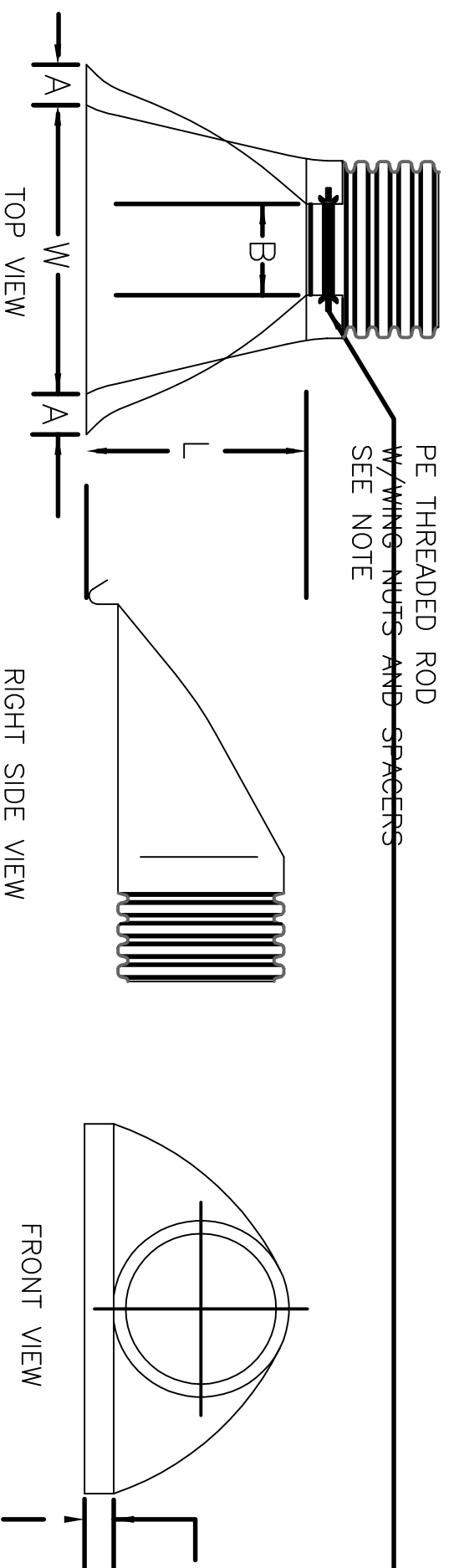


INTERNATIONAL HANDICAP SYMBOL NOT TO SCALE



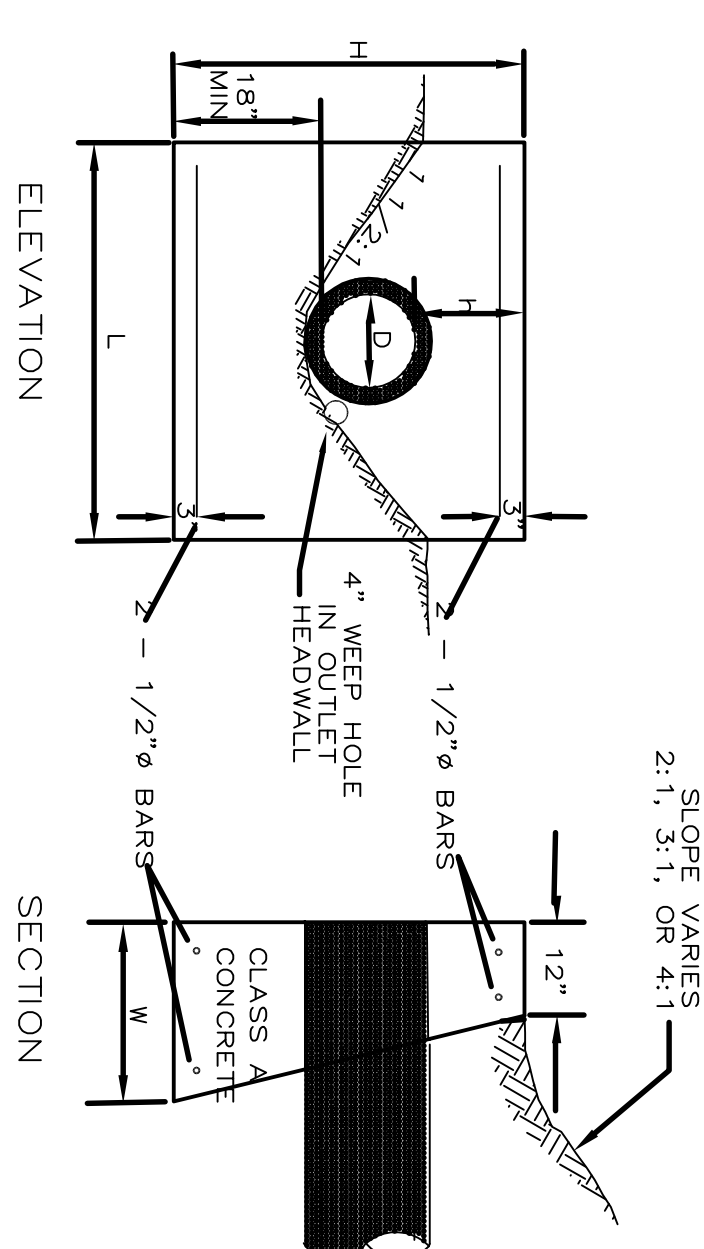
PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 in (300 mm)	6.50 in (165 mm)	10.00 in (254 mm)	6.50 in (165 mm)	25.00 in (635 mm)	29.00 in (737 mm)
1510NP	15 in (375 mm)	6.50 in (165 mm)	10.00 in (254 mm)	6.50 in (165 mm)	25.00 in (635 mm)	29.00 in (737 mm)
1810NP	18 in (450 mm)	7.50 in (191 mm)	15.00 in (381 mm)	6.50 in (165 mm)	32.00 in (813 mm)	35.00 in (889 mm)
2410NP	24 in (600 mm)	7.50 in (191 mm)	18.00 in (457 mm)	6.50 in (165 mm)	36.00 in (914 mm)	45.00 in (1143 mm)
301SNP	30 in (750 mm)	7.50 in (191 mm)	12.00 in (305 mm)	8.60 in (218 mm)	58.00 in (1473 mm)	63.00 in (1600 mm)
361SNP	36 in (900 mm)	7.50 in (191 mm)	25.00 in (635 mm)	8.60 in (218 mm)	58.00 in (1473 mm)	63.00 in (1600 mm)

NOTE: PE THREADED ROD WITH NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.



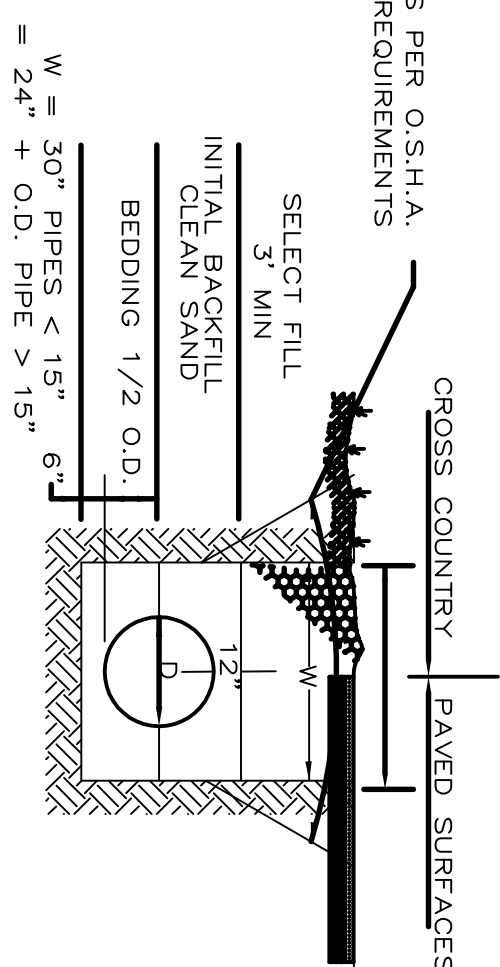
NHDOT HEADWALL DETAILS NOT TO SCALE

DIAMETER D INCHES	MAS. PER STD. HDR. C.Y.	STEB. PER STD. HDR. LB.	LENGTH OF BARS	L	H	W	h
12	0.80	11	5'-10 1/4"	3'-3"	9'-11"	11'-3"	3'
15	1.32	16	5'-8"	6'-0"	4'-3"	2'-11"	6"
18	1.66	16	5'-8"	7'-0"	4'-6"	2'-2"	6"
24	2.44	24	6'-8"	9'-0"	5'-0"	2'-3"	6"
30	3.32	28	10'-8"	11'-0"	6'-8"	2'-5"	6"
36	4.43	35	12'-8"	13'-0"	8'-0"	2'-6"	6"
42	6.28	42	15'-2"	15'-6"	9'-2"	2'-8"	6"
48	7.77	47	17'-2"	17'-9"	10'-3"	2'-10"	6"
54	9.46	52	19'-2"	19'-3"	11'-7"	2'-11"	6"
60	11.42	58	21'-2"	21'-8"	13'-3"	3'-1"	6"
66	13.68	63	23'-2"	23'-8"	15'-2"	3'-2"	6"
72	15.79	69	25'-2"	25'-9"	17'-4"	3'-4"	6"



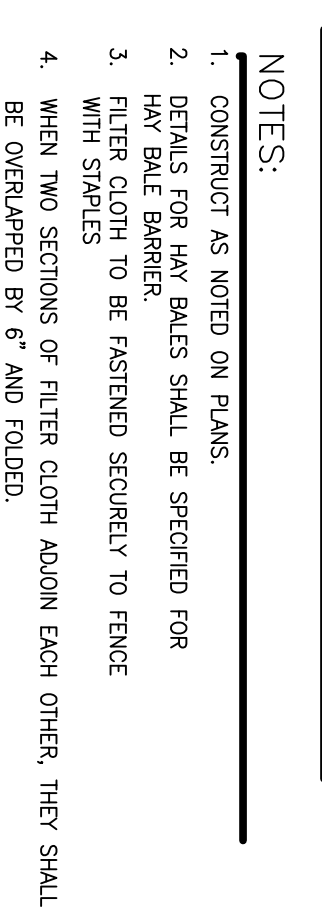
SLOPE VARIES 2:1, 3:1, OR 4:1

SLOPE TRENCH SIDES PER O.S.H.A. REQUIREMENTS

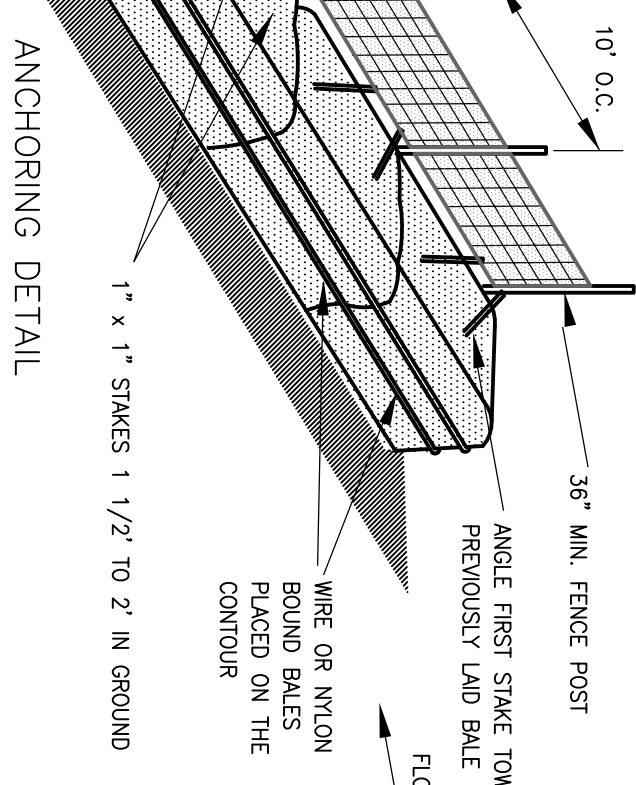


FLEXIBLE PIPE TRENCH & BEDDING DETAILS NOT TO SCALE

HAY BALE AND FABRIC SILTATION FENCE



NOTES:  
1. CONSTRUCT AS NOTED ON PLANS.  
2. DETAILS FOR HAY BALES SHALL BE SPECIFIED FOR HAY BALE BARRIER.  
3. FILTER CLOTH TO BE FASTENED SECURELY TO FENCE WITH STAPLES.  
4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.



ANCHORING DETAIL

DEVELOPER:

STEPHEN AND LORI LAMB  
90 BENNETT ROAD  
DURHAM, NEW HAMPSHIRE

CONSTRUCTION DETAILS - THOMPSON INN

STEPHEN AND LORI LAMB  
90 BENNETT ROAD - TAX MAP 14, LOT 34-1  
DURHAM, NEW HAMPSHIRE

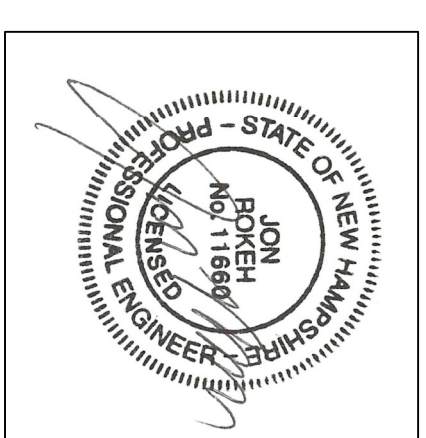
REVISIONS

DATE	DESCRIPTION	DNW BY	CK BY
1-6-15 <td>ADD HANDICAP DETAILS <td>JR <td>JR </td></td></td>	ADD HANDICAP DETAILS <td>JR <td>JR </td></td>	JR <td>JR </td>	JR
4-12-15 <td>EDIT HANDICAP SPACE &amp; ADD NO PARKING SIGN <td>JR <td>JR </td></td></td>	EDIT HANDICAP SPACE & ADD NO PARKING SIGN <td>JR <td>JR </td></td>	JR <td>JR </td>	JR



ADVANCED DRAINAGE SYSTEMS, INC.

Rokeh Consulting, LLC  
89 KING ROAD, CHICHESTER, NH 03258  
PH: 603-387-8688



SCALE: 1" = 50'  
DR. BY: JR CK. BY: JR  
JOB NO. 2014.089  
SHEET NO. 2 OF 2