

TWO APARTMENT BUILDINGS

257 NEWMARKET ROAD DURHAM, NEW HAMPSHIRE



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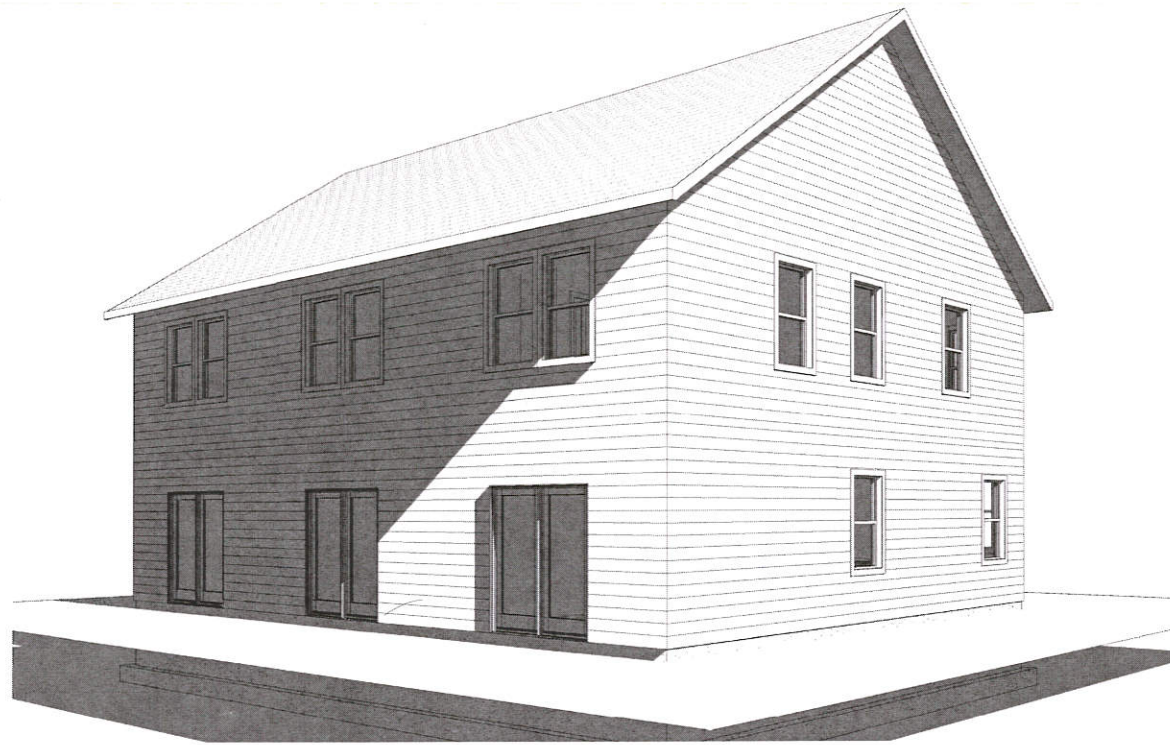
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② 3D View 2



① 3D View 1

RECEIVED
 Town of Durham
 NOV 18 2014
 Planning, Assessing
 and Zoning

Sheet List	
Sheet Number	Sheet Name
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A1.2	Second Floor Plan
A1.3	Roof Plan
A2.0	Elevations
A3.0	Sections
A4.0	Wall Sections
A5.0	Details
C1	Site Plan

<p>SHEET NO INTERIOR ELEVATION NO</p>	CONTINUOUS LUMBER NON-CONTINUOUS LUMBER BATT INSULATION RIGID INSULATION CONCRETE MASONRY UNITS CONCRETE EARTH METAL PLASTER, MORTAR, GROUT, ETC. PLYWOOD FINISHED WOOD BRICK
<p>SECTION DETAIL NO SHEET NO</p>	
<p>DETAIL NO SHEET NO</p>	
<p>FLOOR ELEVATION MARKER</p>	
<p>DOOR NUMBER</p>	
<p>Room name ROOM NUMBER</p>	
<p>WINDOW TYPE</p>	
<p>WALL TYPE</p>	
<p>SYMBOLS 1/2" = 1'-0"</p>	

No.	Description	Date

No. 257 Newmarket Rd.	
Cover	
Project number	1406
Date	04/25/2014
Drawn by	Author
Checked by	Checker
<h1>A0.0</h1>	
Scale	1/2" = 1'-0"



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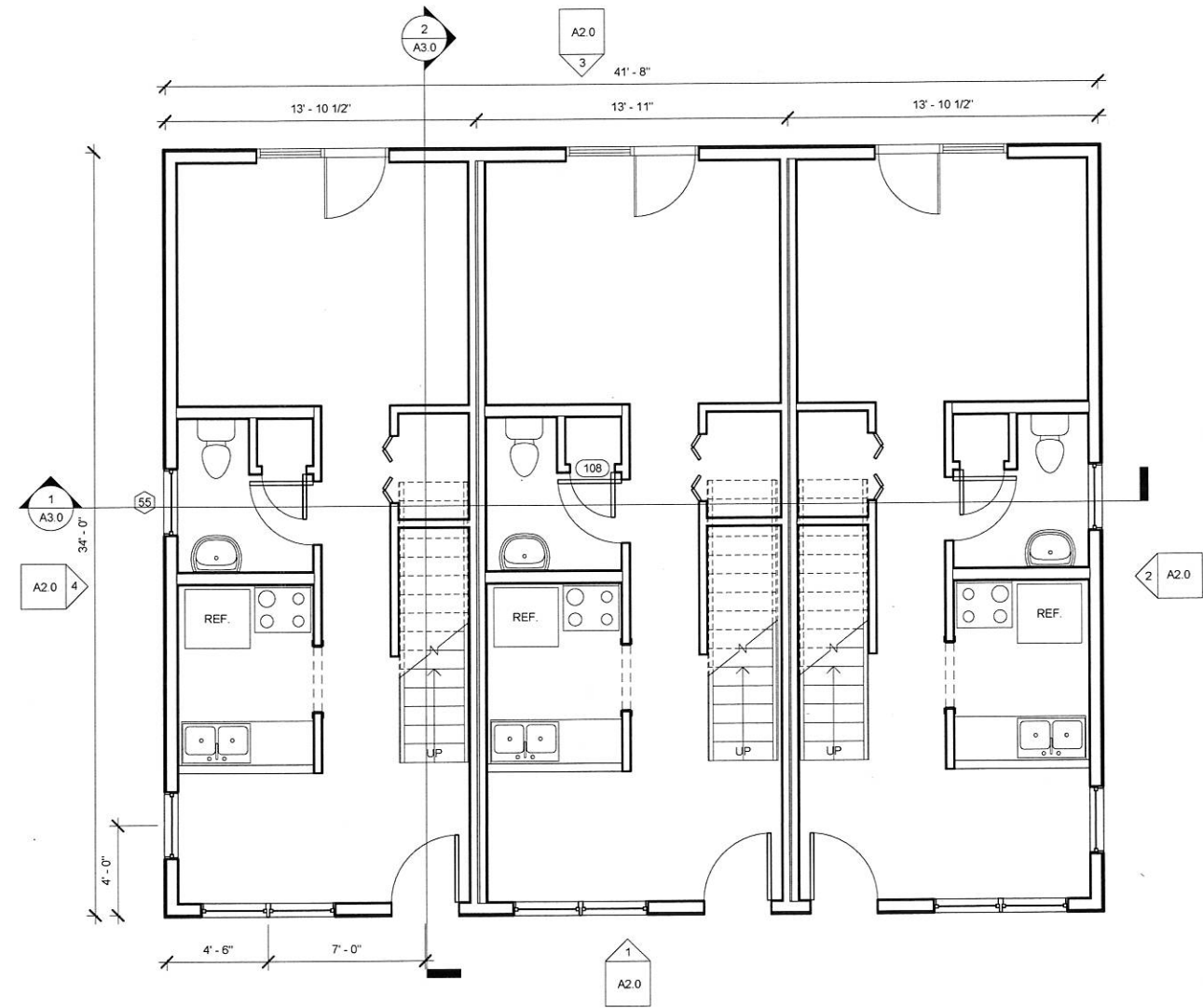
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1 First Floor
1/4" = 1'-0"

No.	Description	Date

No. 257
Newmarket Rd.

First Floor
Plan

Project number	1406
Date	04/25/2014
Drawn by	Author
Checked by	Checker

A1.1
Scale 1/4" = 1'-0"



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No.	Description	Date

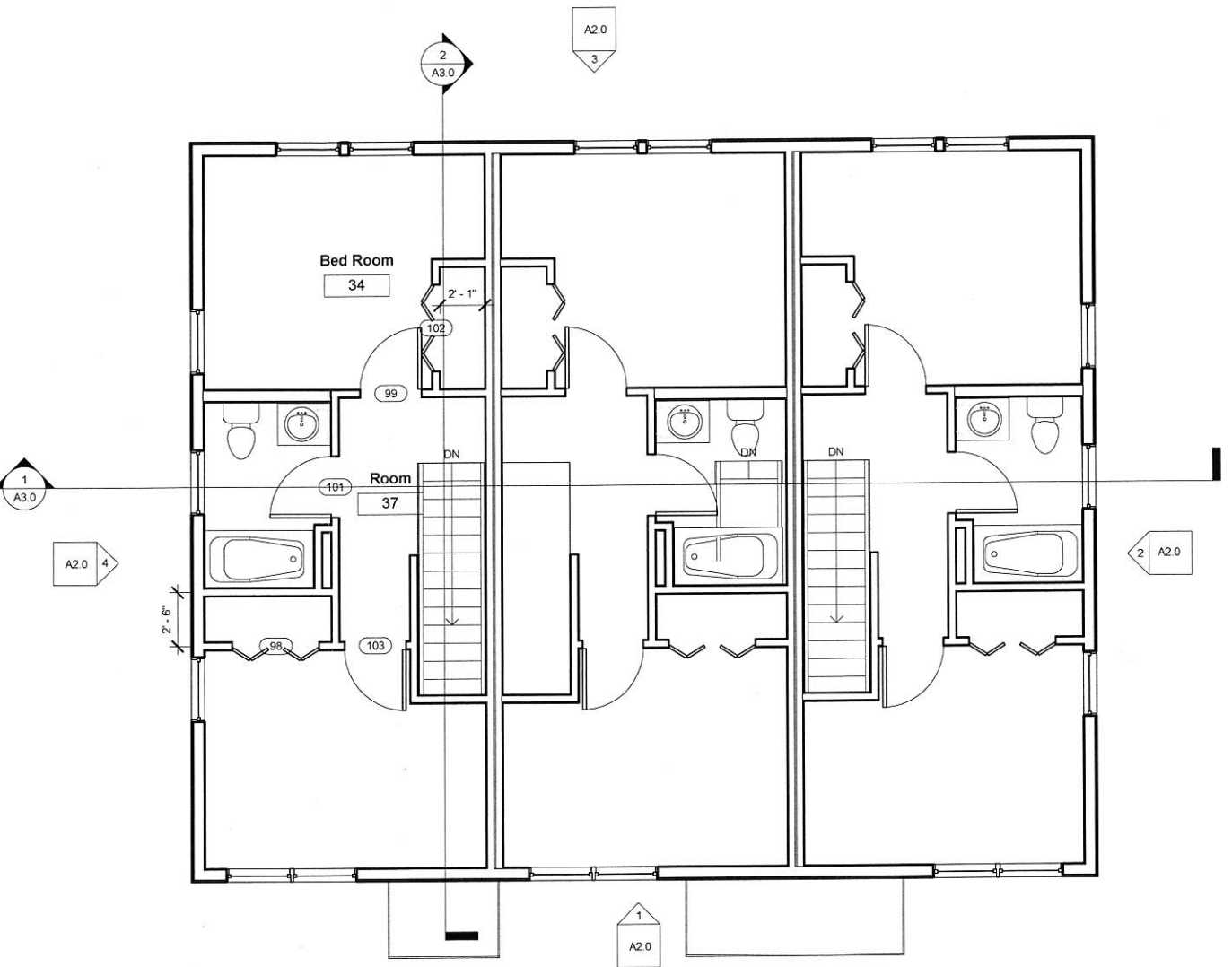
No. 257
 Newmarket Rd.

Second Floor Plan

Project number 1406
 Date 04/25/2014
 Drawn by NI
 Checked by NI

A1.2

Scale 1/4" = 1'-0"



① Second Floor Plan
 1/4" = 1'-0"

4/25/2014 4:49:09 PM AM



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No.	Description	Date

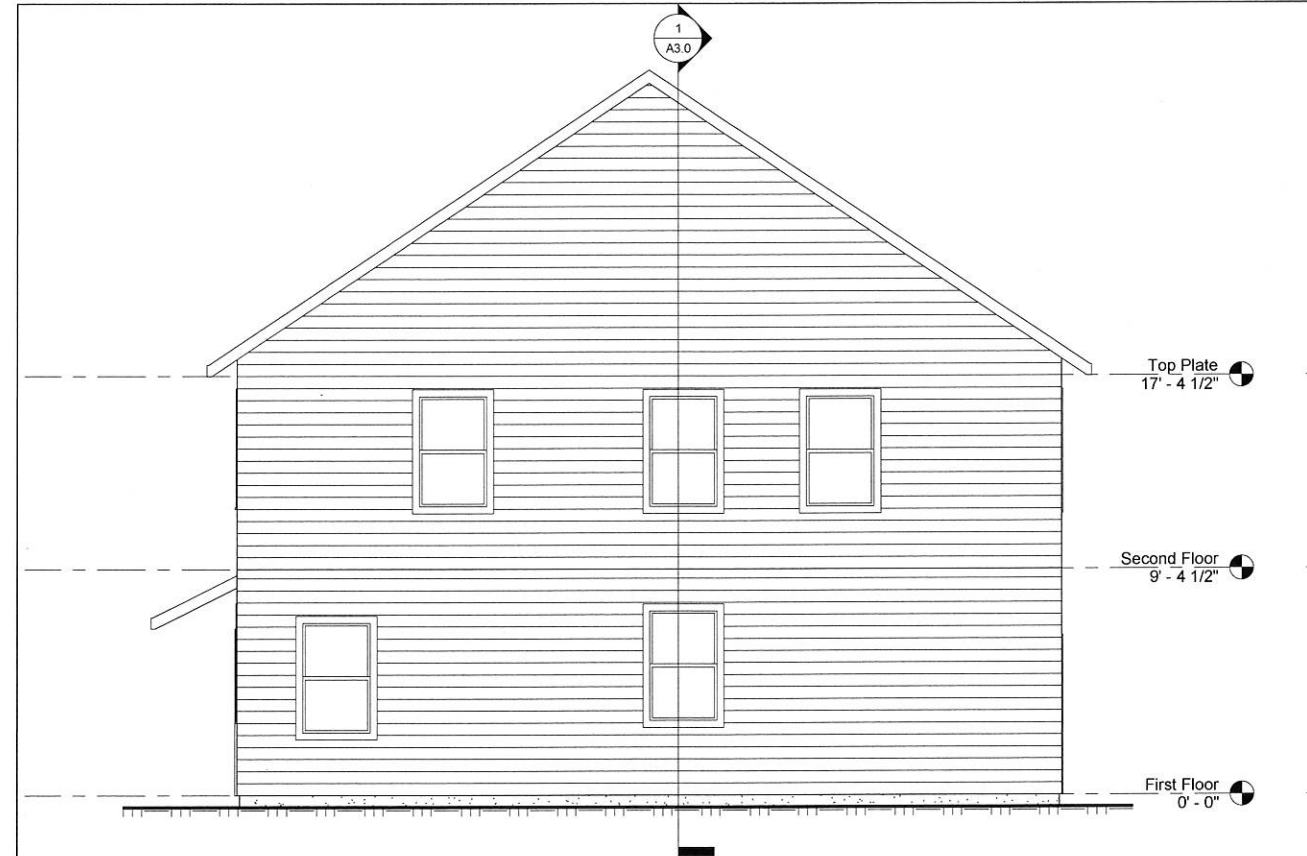
No. 257
 Newmarket Rd.

Elevations

Project number 1406
 Date 04/25/2014
 Drawn by NI
 Checked by Checker

A2.0

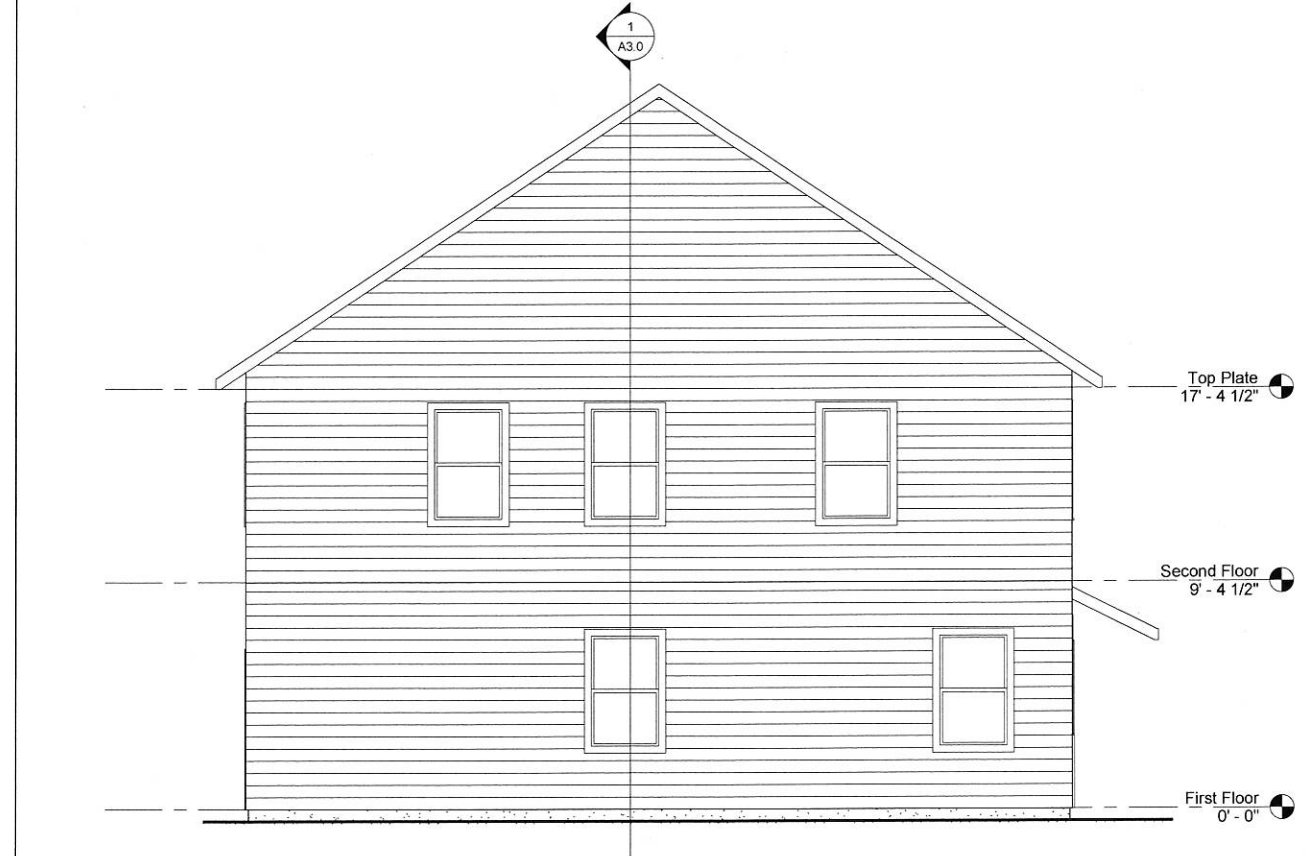
Scale 1/4" = 1'-0"



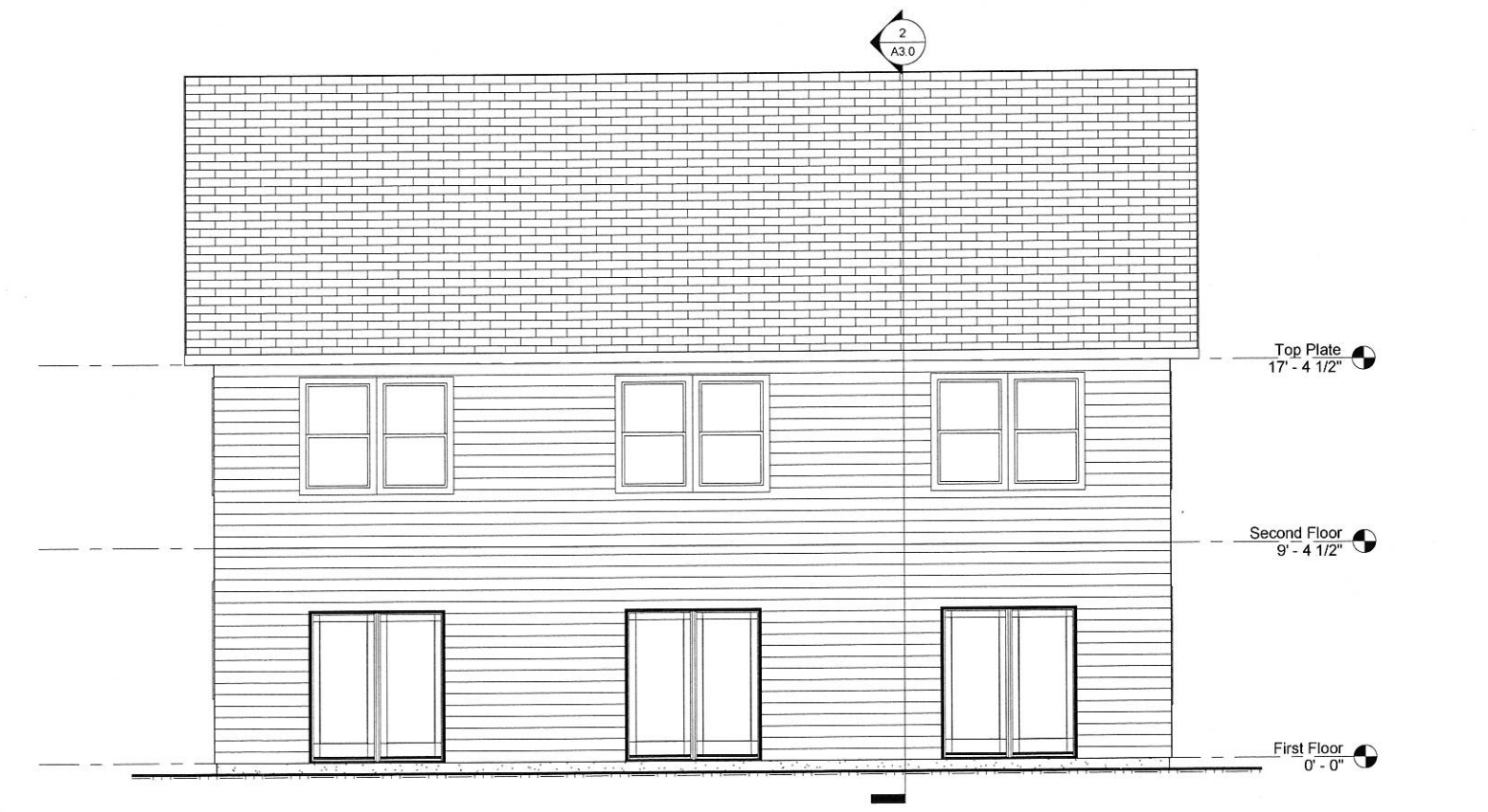
② East
 1/4" = 1'-0"



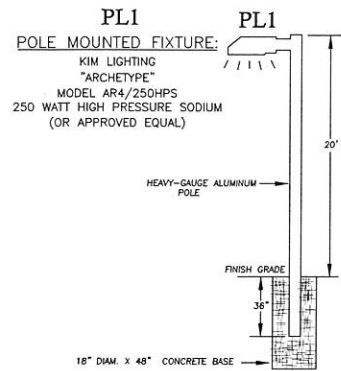
① South
 1/4" = 1'-0"



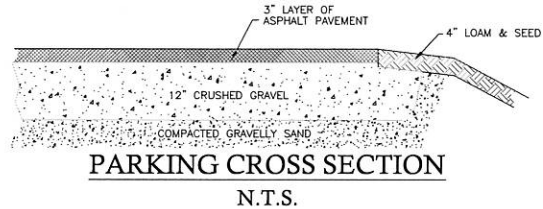
④ West
 1/4" = 1'-0"



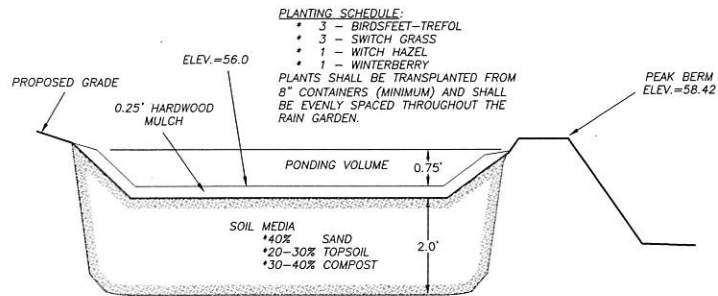
③ North
 1/4" = 1'-0"



EXTERIOR LIGHTING FIXTURES
N.T.S.



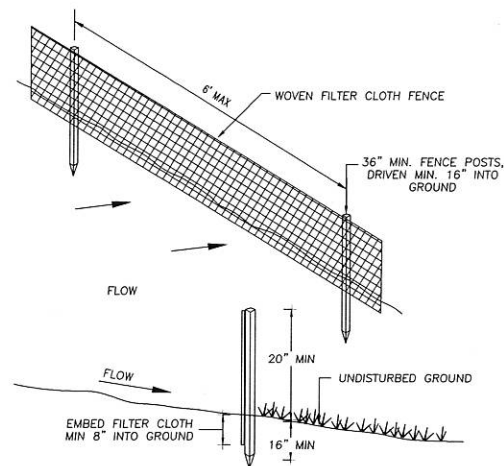
PARKING CROSS SECTION
N.T.S.



- PLANTING SCHEDULE:**
- 3 - BIRDSFEET-TREFOIL
 - 3 - SWITCH GRASS
 - 1 - WITCH HAZEL
 - 1 - WINTERBERRY
- PLANTS SHALL BE TRANSPLANTED FROM 8\"/>

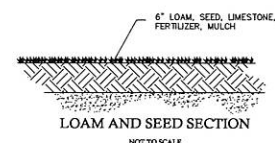
STORM EVENT	WATER LEVEL
1\"/>	56.04
2 YEAR	56.74
10 YEAR	57.13
25 YEAR	57.24
50 YEAR	57.33
100 YEAR	57.42

RAIN GARDEN DETAIL
N.T.S.

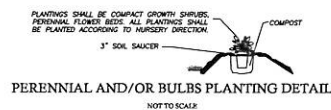


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- SILT FENCE SHALL BE PLACED PRIOR TO ANY CONSTRUCTION
 - WOVEN FILTER CLOTH TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

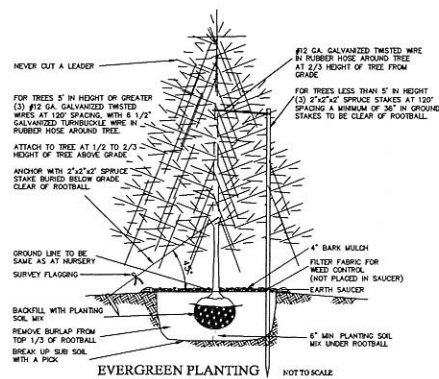
SILT FENCE
EROSION CONTROL DETAIL
N.T.S.



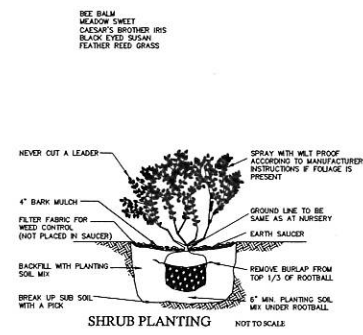
- GENERAL SEEDING NOTES**
- USE PERMANENT SEED MIXES AND RATES BETWEEN 513 AND 930
 - USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS
 - IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 191 AND 514, RESEED WITH PERMANENT SEED MIX AFTER 515
- PERMANENT SEED:**
- CRESTED RED FESCUE 50.00 LBS/ACRE
 - KENTUCKY BLUEGRASS 30.00 LBS/ACRE
 - KENTUCKY 31 FESCUE 30.00 LBS/ACRE
 - WHITE CLOVER 12.00 LBS/ACRE
 - TOTAL SEED RATE 120.00 LBS/ACRE
- TEMPORARY SEED:**
- GRASS 80.00 LBS/ACRE 451-514
 - ANNUAL RYEGRASS 40.00 LBS/ACRE
 - STORMGRASS 40.00 LBS/ACRE 511-514
 - ANNUAL RYEGRASS 80.00 LBS/ACRE 511-514
 - WINTER RYE 112.00 LBS/ACRE 511-514
 - WINTER RYE (PROTECT) 112.00 LBS/ACRE 191-331
 - W/ MULCH COVER



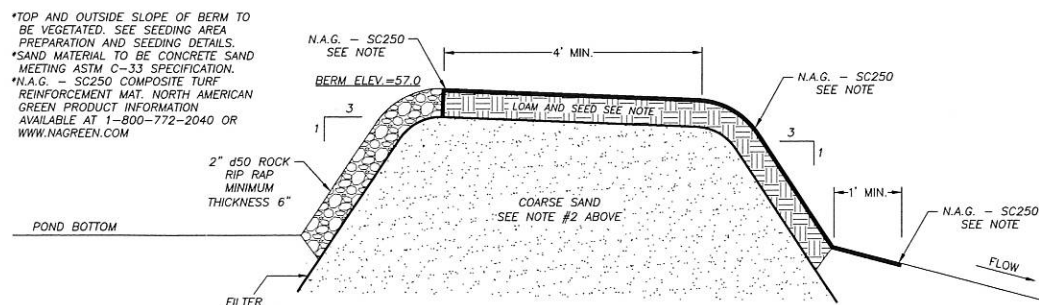
PERENNIAL AND/OR BULBS PLANTING DETAIL
N.T.S.



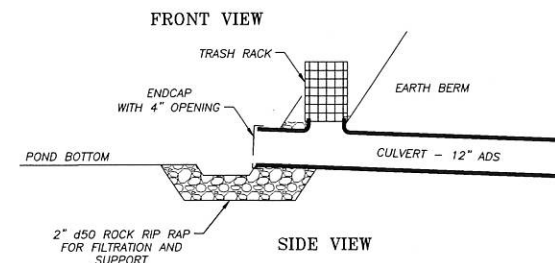
EVERGREEN PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.



LEACHING BERM DETAIL
N.T.S.



OUTLET CONTROL DETAIL
N.T.S.

- NOTES:**
- VERTICAL PIPE SHALL BE 12\"/>
 - CONNECTION BETWEEN VERTICAL PIPE AND CULVERT - P1 SHALL BE WATER TIGHT.
 - TRASH RACK SHALL BE ALUMINUM WIRE WITH 2\"/>
 - TRASH RACK SHALL BE FIXED TO VERTICAL PIPE IN A MINIMUM OF 4 EVENLY SPACED LOCATIONS, USING ALUMINUM OR STAINLESS STEEL FASTENERS.

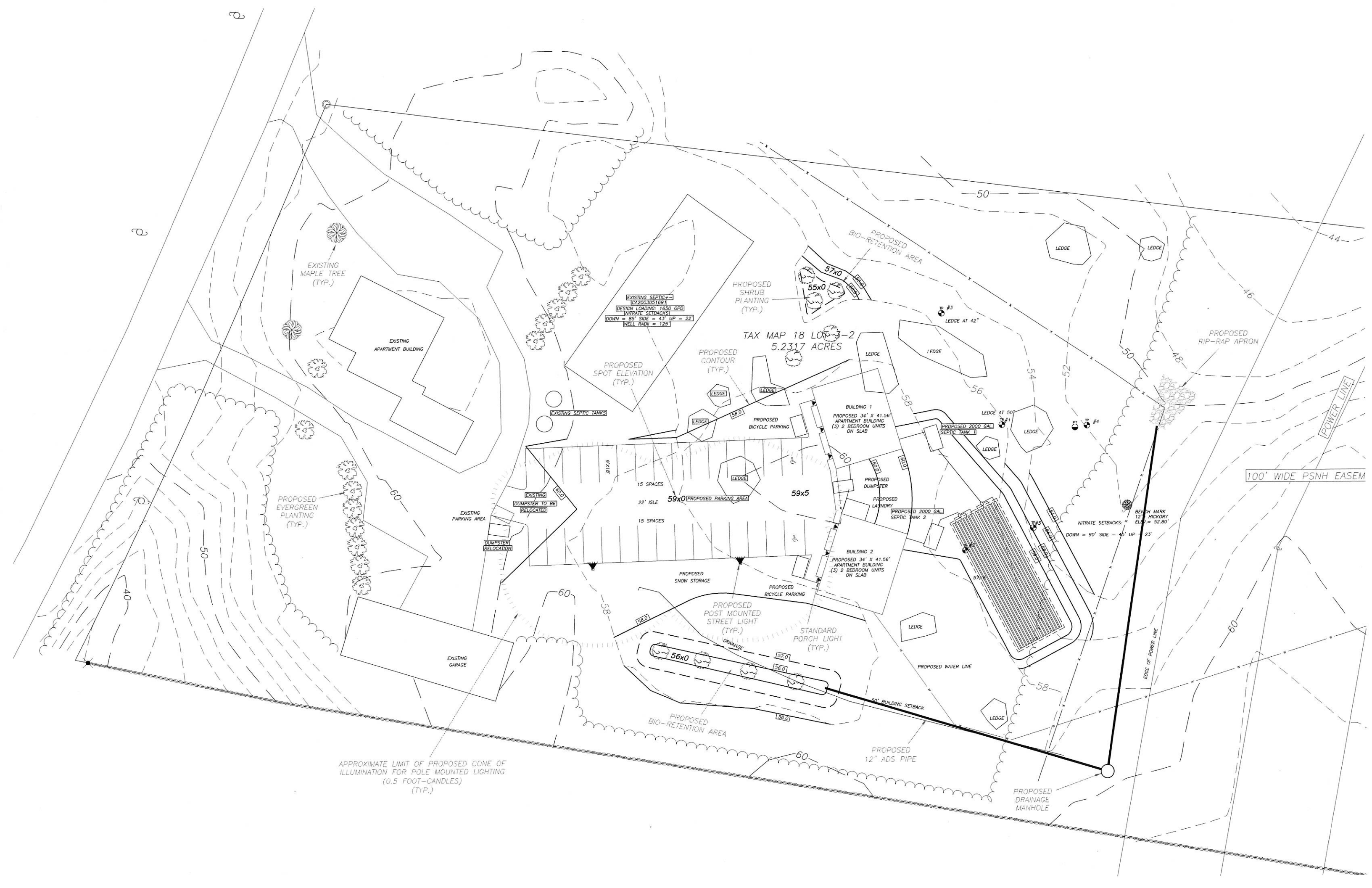
TOP OF RISER ELEV.=57.25'
4\"/>

DETAILS

As Drawn For:
SEACOAST OPM REALTY, LLC
(Tax Map 18, Lot 3-2)
Located At:
257 Newmarket Road
DURHAM, N.H.
OCTOBER, 2014

Civil Construction Management Inc.
8 Merrimac Road, Box 475
Newton, NH 03858
Tel (603) 382-7650

Sheet:
1



TAX MAP 18 LOT 3-2
5.2317 ACRES

EXISTING MAPLE TREE (TYP.)

EXISTING APARTMENT BUILDING

EXISTING SEPTIC TANK #1
[CAZ00305189]
DESIGN LOADING: 1850 GPD
NITRATE SETBACKS:
DOWN = 85' SIDE = 43' UP = 22'
WELL RADI = 125'

PROPOSED SPOT ELEVATION (TYP.)

PROPOSED SHRUB PLANTING (TYP.)

PROPOSED BIO-RETENTION AREA

LEDGE

LEDGE

PROPOSED RIP-RAP APRON

PROPOSED EVERGREEN PLANTING (TYP.)

EXISTING PARKING AREA

EXISTING DUMPSTER TO BE RELOCATED

DUMPSTER RELOCATION

15 SPACES
22' ISLE
59x0 PROPOSED PARKING AREA

59x5

BUILDING 1
PROPOSED 34' X 41.56'
APARTMENT BUILDING
(3) 2 BEDROOM UNITS
ON SLAB

PROPOSED 2000 GAL SEPTIC TANK #1

PROPOSED LAUNDRY

PROPOSED 2000 GAL SEPTIC TANK #2

BUILDING 2
PROPOSED 34' X 41.56'
APARTMENT BUILDING
(3) 2 BEDROOM UNITS
ON SLAB

PROPOSED SNOW STORAGE

PROPOSED BICYCLE PARKING

PROPOSED POST MOUNTED STREET LIGHT (TYP.)

STANDARD PORCH LIGHT (TYP.)

56x0

PROPOSED WATER LINE

50' BUILDING SETBACK

PROPOSED 12" ADS PIPE

PROPOSED DRAINAGE MANHOLE

100' WIDE PSNH EASEM

EDGE OF POWER LINE

BENCH MARK
12' HICKORY
ELEV. = 52.80'

NITRATE SETBACKS:
DOWN = 90' SIDE = 45' UP = 23'

APPROXIMATE LIMIT OF PROPOSED CONE OF ILLUMINATION FOR POLE MOUNTED LIGHTING (0.5 FOOT-CANDLES) (TYP.)

