

6-9-6  
 RICHARD W. RENNER  
 SUSAN W. RENNER  
 28 NEWMARKET ROAD  
 DURHAM, NH 03824  
 3880 / 077

6-11-2  
 SCOTT M. JENKINS  
 LORIE ANN JENKINS  
 49 OLD COUNTRY ROAD NORTH  
 FRANCETOWN, NH 03043  
 3656 / 657

6-11-8  
 DOUGLAS A. MACLENNAN REVOCABLE TRUST  
 SUSAN R. MACLENNAN REVOCABLE TRUST  
 21 NEWMARKET ROAD  
 DURHAM, NH 03824  
 4462 / 547  
 D.H. (fnd)

LOCUS  
 NOT TO SCALE

**SITE DATA BLOCK**  
 PLAN INTENT: THE PROPOSAL IS TO ADD PARKING AND AN ADDITION TO THE KENNEL BUILDING FOR USE AS OFFICE SPACE  
 ZONE: RC - RESIDENCE COASTAL  
 OVERLAY DISTRICTS: HISTORIC AND SHORELAND PROTECTION DISTRICT  
 USE: COMMERCIAL

**DIMENSIONAL REQUIREMENTS**

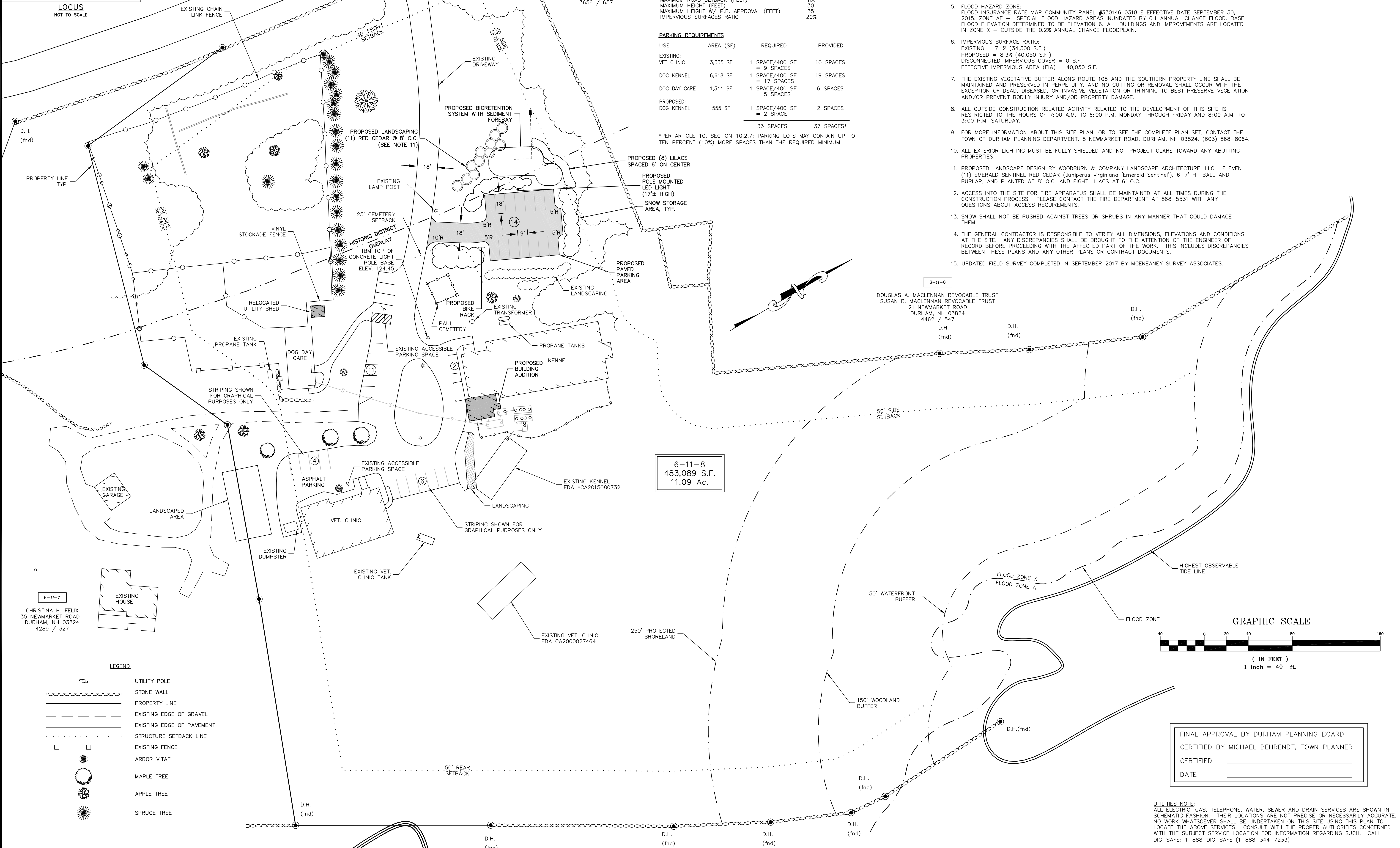
	REQUIRED
MINIMUM LOT SIZE (SQUARE FEET)	150,000 SF
MINIMUM FRONTAGE (FEET)	300'
MINIMUM LOT SETBACKS	
FRONT (FEET)	40'
SIDE (FEET)	50'
REAR (FEET)	50'
MAXIMUM ROAD SETBACK (FEET)	NA
MAXIMUM HEIGHT (FEET)	30'
MAXIMUM HEIGHT W/ P.B. APPROVAL (FEET)	35'
IMPERVIOUS SURFACES RATIO	20%

**PARKING REQUIREMENTS**

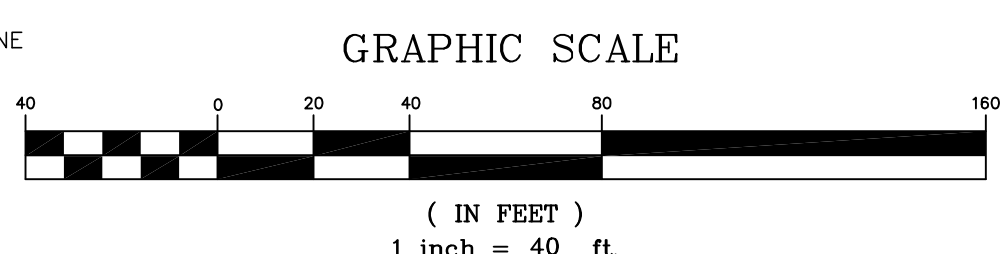
USE	AREA (SF)	REQUIRED	PROVIDED
EXISTING: VET CLINIC	3,335 SF	1 SPACE/400 SF = 9 SPACES	10 SPACES
DOG KENNEL	6,618 SF	1 SPACE/400 SF = 17 SPACES	19 SPACES
DOG DAY CARE	1,344 SF	1 SPACE/400 SF = 5 SPACES	6 SPACES
PROPOSED: DOG KENNEL	555 SF	1 SPACE/400 SF = 2 SPACE	2 SPACES
		33 SPACES	37 SPACES*

\*PER ARTICLE 10, SECTION 10.2.7: PARKING LOTS MAY CONTAIN UP TO TEN PERCENT (10%) MORE SPACES THAN THE REQUIRED MINIMUM.

- GENERAL NOTES:**
- OWNER OF RECORD: GREAT BAY ANIMAL HOSPITAL, LLC, 31 NEWMARKET ROAD, DURHAM, NEW HAMPSHIRE 03824, S.C.R.D. BOOK 2239, PAGE 510, S.C.R.D. BOOK 4211, PAGE 005
  - LOT AREA: 11.09 ACRES (483,089 S.F.)
  - REFERENCE PLANS: A. LOT LINE ADJUSTMENT PLAN PREPARED FOR GREAT BAY ANIMAL HOSPITAL, LLC, TAX MAP 6 LOT NOS. 11-7 & 11-8, NEWMARKET ROAD - NH ROUTE 108, TOWN OF DURHAM, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE, PREPARED BY MSA, INC. DATED MARCH 31, 2015. S.C.R.D. 109-028.
  - VERTICAL DATUM IS ASSUMED.
  - FLOOD HAZARD ZONE: FLOOD INSURANCE RATE MAP COMMUNITY PANEL #330146 0318 E EFFECTIVE DATE SEPTEMBER 30, 2015. ZONE AE - SPECIAL FLOOD HAZARD AREAS INUNDATED BY 0.1 ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION DETERMINED TO BE ELEVATION 6. ALL BUILDINGS AND IMPROVEMENTS ARE LOCATED IN ZONE X - OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - IMPERVIOUS SURFACE RATIO: EXISTING = 7.1% (34,300 S.F.) PROPOSED = 8.3% (40,050 S.F.) DISCONNECTED IMPERVIOUS COVER = 0 S.F. EFFECTIVE IMPERVIOUS AREA (EIA) = 40,050 S.F.
  - THE EXISTING VEGETATIVE BUFFER ALONG ROUTE 108 AND THE SOUTHERN PROPERTY LINE SHALL BE MAINTAINED AND PRESERVED IN PERPETUITY, AND NO CUTTING OR REMOVAL SHALL OCCUR WITH THE EXCEPTION OF DEAD, DISEASED, OR INVASIVE VEGETATION OR THINNING TO BEST PRESERVE VEGETATION AND/OR PREVENT BODILY INJURY AND/OR PROPERTY DAMAGE.
  - ALL OUTSIDE CONSTRUCTION RELATED ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 3:00 P.M. SATURDAY.
  - FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM, NH 03824, (603) 868-8064.
  - ALL EXTERIOR LIGHTING MUST BE FULLY SHIELDED AND NOT PROJECT GLARE TOWARD ANY ADJACENT PROPERTIES.
  - PROPOSED LANDSCAPE DESIGN BY WOODBURN & COMPANY LANDSCAPE ARCHITECTURE, LLC. ELEVEN (11) EMERALD SENTINEL RED CEDAR (*Juniperus virginiana* 'Emerald Sentinel'), 6-7' HT BALL AND BURLAP, AND PLANTED AT 8' O.C. AND EIGHT LILACS AT 6' O.C.
  - ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 868-5531 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
  - SNOW SHALL NOT BE PUSHED AGAINST TREES OR SHRUBS IN ANY MANNER THAT COULD DAMAGE THEM.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THIS INCLUDES DISCREPANCIES BETWEEN THESE PLANS AND ANY OTHER PLANS OR CONTRACT DOCUMENTS.
  - UPDATED FIELD SURVEY COMPLETED IN SEPTEMBER 2017 BY MCENEANEY SURVEY ASSOCIATES.



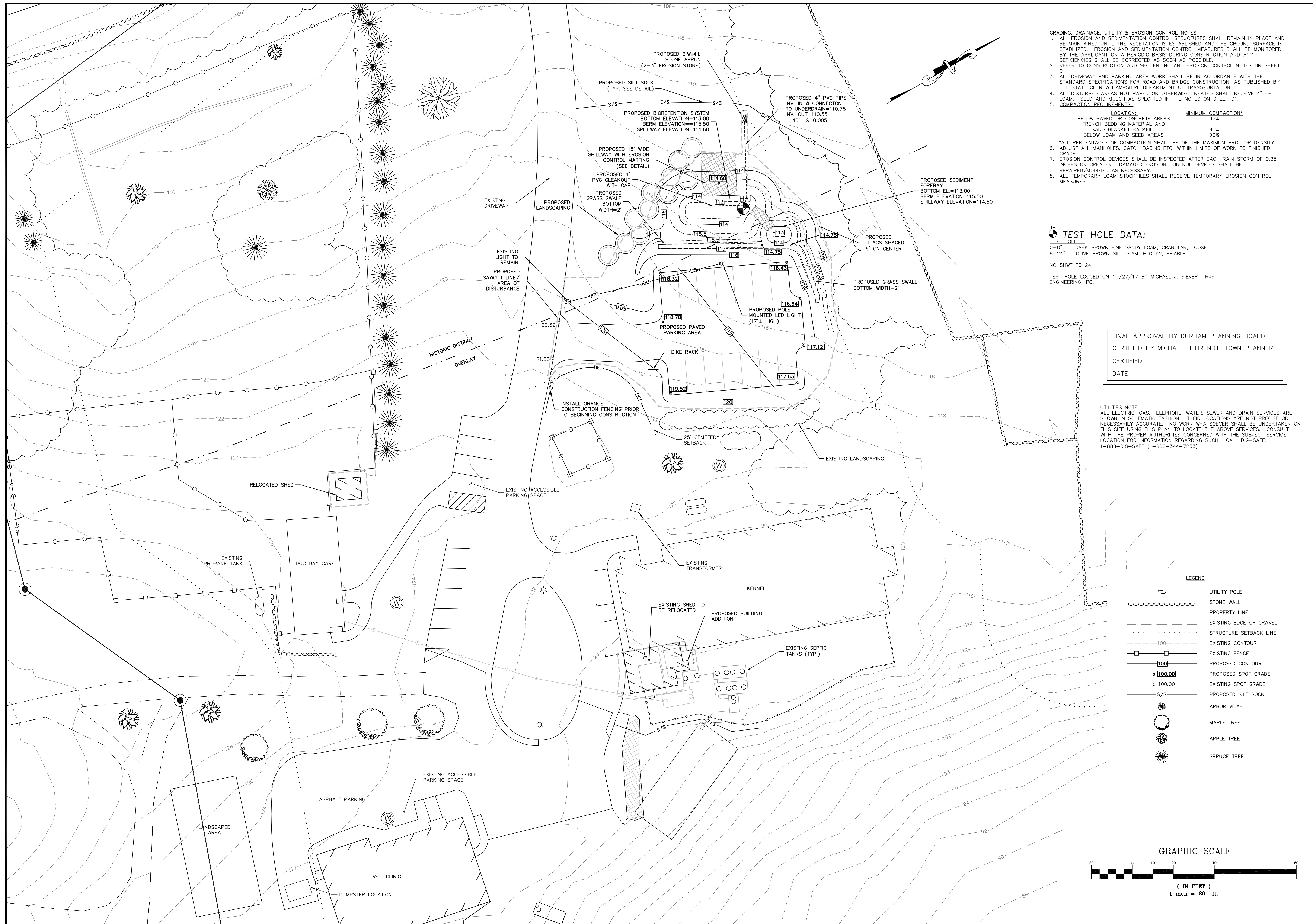
6-11-8  
 483,089 S.F.  
 11.09 Ac.



FINAL APPROVAL BY DURHAM PLANNING BOARD.  
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER  
 CERTIFIED \_\_\_\_\_  
 DATE \_\_\_\_\_

**UTILITIES NOTE:**  
 ALL ELECTRIC, GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATION FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE: 1-888-DIG-SAFE (1-888-344-7233)

DATE: 11/7/17	SCALE: 1"=40'	DESIGNED BY: MS	DRAWN BY: MS	APPROVED BY: MJS	DWG FILE: 17-043 C1G.dwg
<b>PROPOSED SITE PLAN</b> prepared for <b>GREAT BAY ANIMAL HOSPITAL, LLC</b> TAX MAP 6, LOT 11-8 31 NEWMARKET ROAD DURHAM, NH					
<b>MJS ENGINEERING P.C.</b> CIVIL • STRUCTURAL • ENVIRONMENTAL 5 HILLBORO ST., SUITE 200, DURHAM, NH 03824 PHONE: (603) 659-4979, FAX: (603) 659-4627 E-MAIL: mjs@pc-engineering.com					
JOB: 17-043 <span style="font-size: 2em;">C1</span>					



**GRADING, DRAINAGE, UTILITY & EROSION CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE VEGETATION IS ESTABLISHED AND THE GROUND SURFACE IS STABILIZED. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING CONSTRUCTION AND ANY DEFICIENCIES SHALL BE CORRECTED AS SOON AS POSSIBLE.
2. REFER TO CONSTRUCTION AND SEQUENCING AND EROSION CONTROL NOTES ON SHEET D1.
3. ALL DRIVEWAY AND PARKING AREA WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
4. ALL DISTURBED AREAS NOT PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" OF LOAM. SEED AND MULCH AS SPECIFIED IN THE NOTES ON SHEET D1.
5. **COMPACTION REQUIREMENTS:**

LOCATION:	MINIMUM COMPACTION*
BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%
6. \*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM PROCTOR DENSITY. ADJUST ALL MANHOLES, CATCH BASINS ETC. WITHIN LIMITS OF WORK TO FINISHED GRADE.
7. EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAIN STORM OF 0.25 INCHES OR GREATER. DAMAGED EROSION CONTROL DEVICES SHALL BE REPAIRED/MODIFIED AS NECESSARY.
8. ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.

**TEST HOLE DATA:**

TEST HOLE 1:  
 0-8" DARK BROWN FINE SANDY LOAM, GRANULAR, LOOSE  
 8-24" OLIVE BROWN SILT LOAM, BLOCKY, FRIABLE

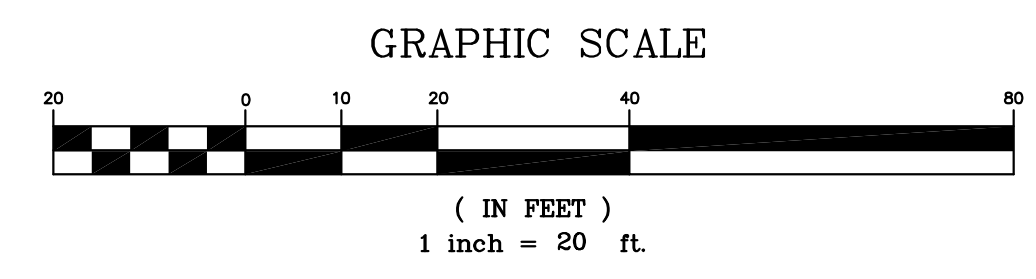
NO SHWT TO 24"

TEST HOLE LOGGED ON 10/27/17 BY MICHAEL J. SIEVERT, MJS ENGINEERING, PC.

FINAL APPROVAL BY DURHAM PLANNING BOARD.  
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER  
 CERTIFIED \_\_\_\_\_  
 DATE \_\_\_\_\_

**UTILITIES NOTE:**  
 ALL ELECTRIC, GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATION FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE. 1-888-DIG-SAFE (1-888-344-7233)

- LEGEND**
- UTILITY POLE
  - STONE WALL
  - PROPERTY LINE
  - EXISTING EDGE OF GRAVEL
  - STRUCTURE SETBACK LINE
  - EXISTING CONTOUR
  - EXISTING FENCE
  - PROPOSED CONTOUR
  - PROPOSED SPOT GRADE
  - EXISTING SPOT GRADE
  - PROPOSED SILT SOCK
  - ARBOR VITAE
  - MAPLE TREE
  - APPLE TREE
  - SPRUCE TREE



NO.	REVISIONS	DATE	INT.
1	INITIAL SUBMISSION TO TOWN PLANNING BOARD	11/7/17	MS
2	PLAN UPDATES PER TRC MEETING AND PLANNER REVIEW	12/4/17	EHK
3	COMPLETION OF COA & FINAL PLANS FOR SIGNATURE	1/23/18	MS

DATE: 11/7/17  
 SCALE: 1"=20'  
 DESIGNED BY: MS  
 DRAWN BY: MS  
 APPROVED BY: MJS  
 DWG FILE: 17-043 C1G.dwg

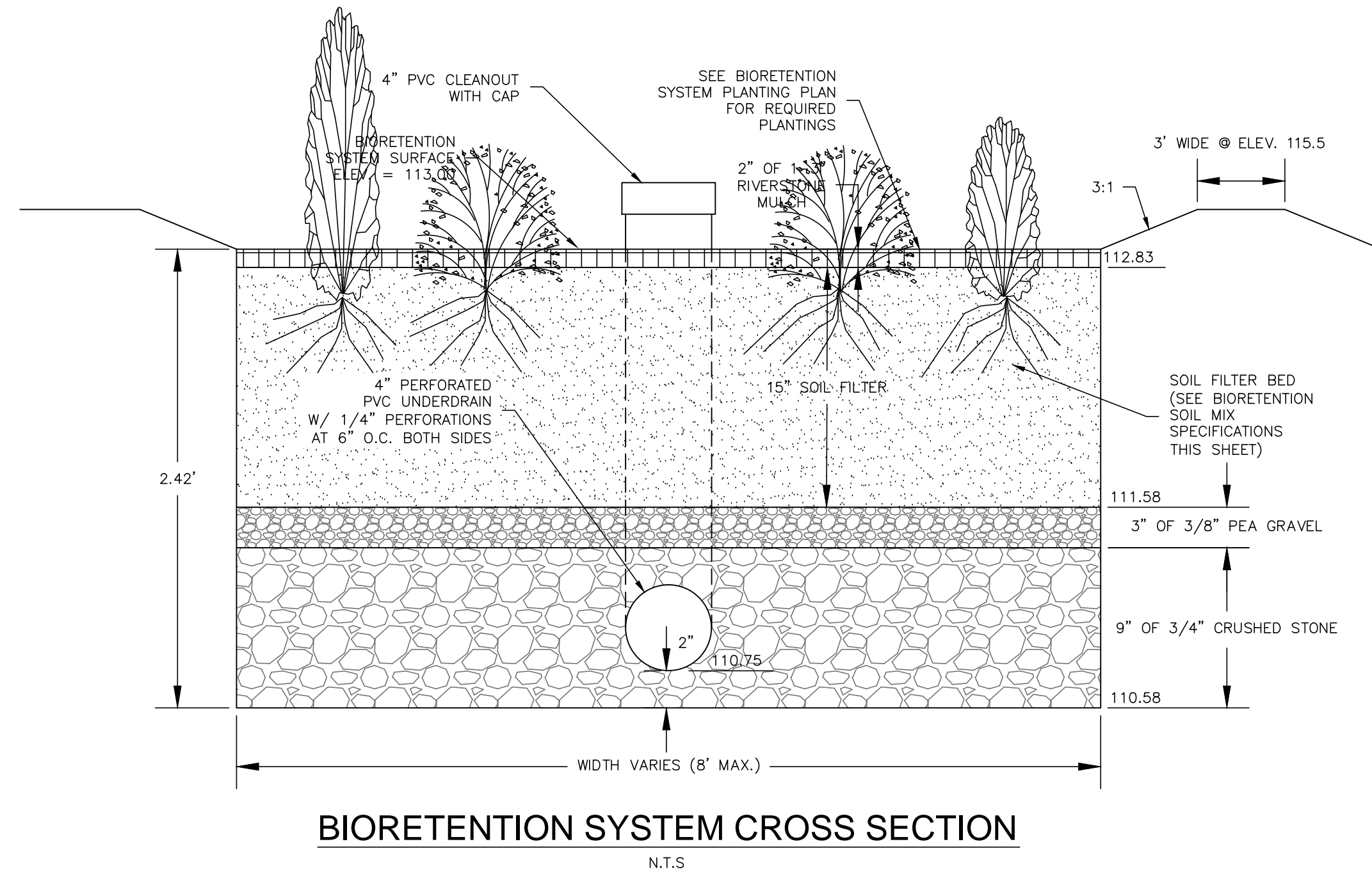
**SEAL**  
 MICHAEL J. SIEVERT  
 No. 6887  
 PROFESSIONAL ENGINEER  
 STATE OF NEW HAMPSHIRE

**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
 prepared for  
**GREAT BAY ANIMAL HOSPITAL, LLC**  
 TAX MAP 6, LOT 11-8  
 31 NEWMARKET ROAD DURHAM, NH

**MJS ENGINEERING PC.**  
 CIVIL • STRUCTURAL • ENVIRONMENTAL  
 5 HILLBORO ST., DURHAM, NH 03824  
 PHONE: (603) 659-4979, FAX: (603) 659-4627  
 E-MAIL: mjs@mjs-engineering.com

JOB: 17-043  
 C2





**BIORETENTION SYSTEM CROSS SECTION**  
N.T.S.

**CONSTRUCTION NOTES:**

- DO NOT PLACE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- TO PREVENT DEGRADATION OF INFILTRATION FUNCTION: DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION SYSTEM DURING ANY STAGE OF CONSTRUCTION. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- CLEAR AND GRUB THE AREA WHERE THE BIORETENTION SYSTEM IS TO BE LOCATED. STOCKPILE LOAM FOR REUSE LATER.
- THE FOUNDATION AREA SHALL BE SCARIFIED PRIOR TO PLACING FILL. ALL UNSUITABLE MATERIAL UNDER THE BERM SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION MATERIAL.
- THE BERM SHALL BE CONSTRUCTED BEGINNING FROM THE LOWEST POINT UNIFORMLY ALONG ITS ENTIRE LENGTH. PLACE MATERIALS IN MAXIMUM 12" LOOSE LIFTS COMPACTED TO 95% MAXIMUM MODIFIED PROCTOR DENSITY. EMBANKMENT SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LOOSE LIFT THICKNESS. STONES AROUND ANY STRUCTURES AND/OR CONDUITS SHALL NOT EXCEED 3 INCHES INDIAGONAL. MATERIAL SHALL HAVE THE FOLLOWING GRADATION:
 

SIEVE SIZE:	% PASSING:
#4	80-90
#40	50-80
#100	30-45
#200	15-30
- ALL PIPE TO PIPE CONNECTIONS SHALL BE WATER-TIGHT.
- ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED SHALL RECEIVE FOUR INCHES OF LOAM AND SEED.

FINAL APPROVAL BY DURHAM PLANNING BOARD.  
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER  
CERTIFIED \_\_\_\_\_  
DATE \_\_\_\_\_

**GENERAL MAINTENANCE:**

- THE BIORETENTION BASIN SHALL BE INSPECTED TWICE EACH YEAR WITH PREVENTATIVE MAINTENANCE PROVIDED.
- SYSTEMS SHALL BE INSPECTED ANNUALLY AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

**PLANTING REQUIREMENTS:**

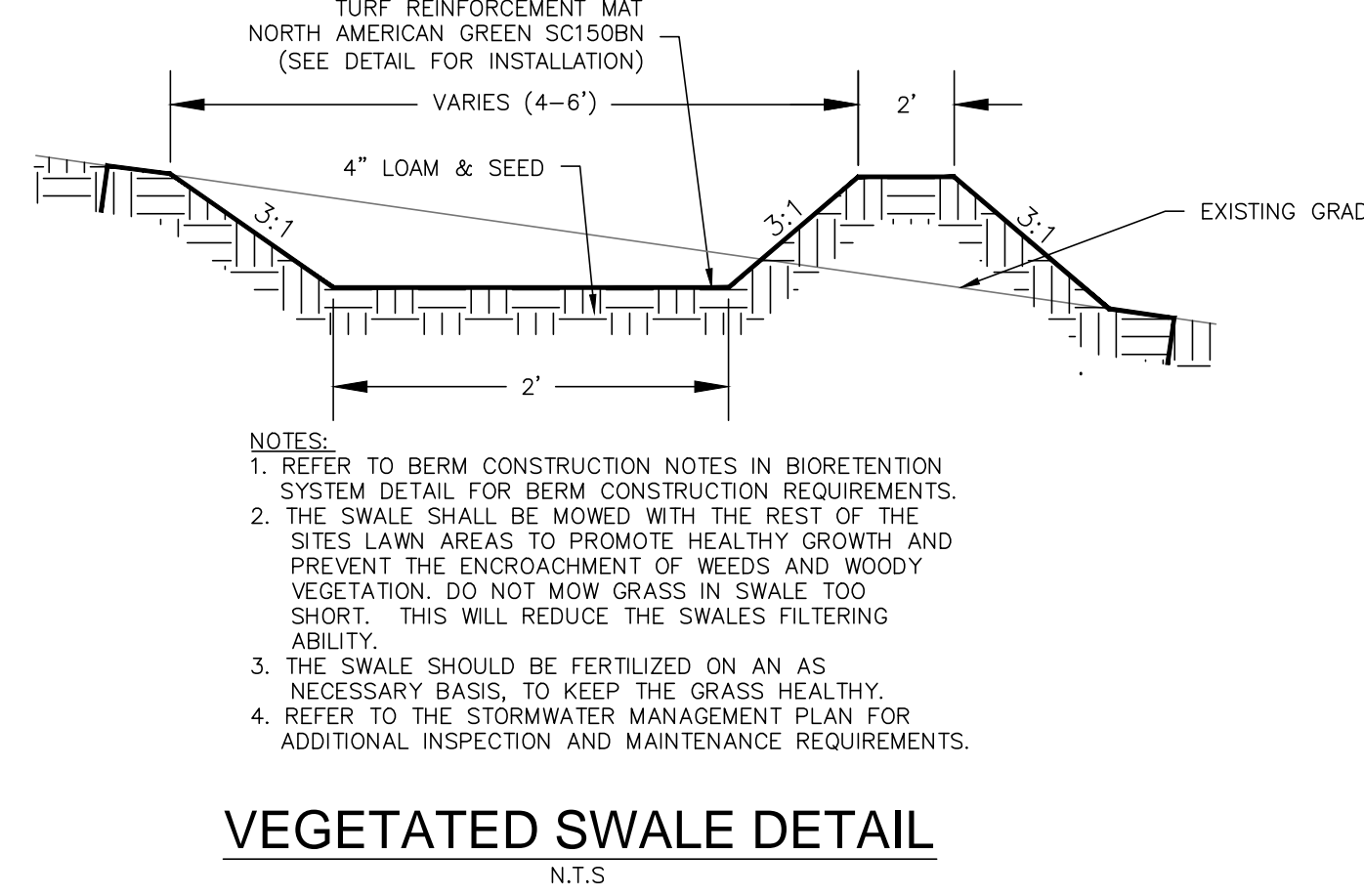
- THE BIORETENTION BASIN AND SEDIMENT FOREBAY BERM, BOTTOM AND INTERIOR SIDE SLOPES SHALL BE PLANTED WITH A 50:50 MIX OF NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOST SITES AND NEW ENGLAND CONSERVATION/WILDLIFE MIX AT 1,500 SF/LB AVAILABLE FROM:

NEW ENGLAND WETLAND PLANTS, INC.  
820 WEST AMHERST STREET  
AMHERST, MA 01002

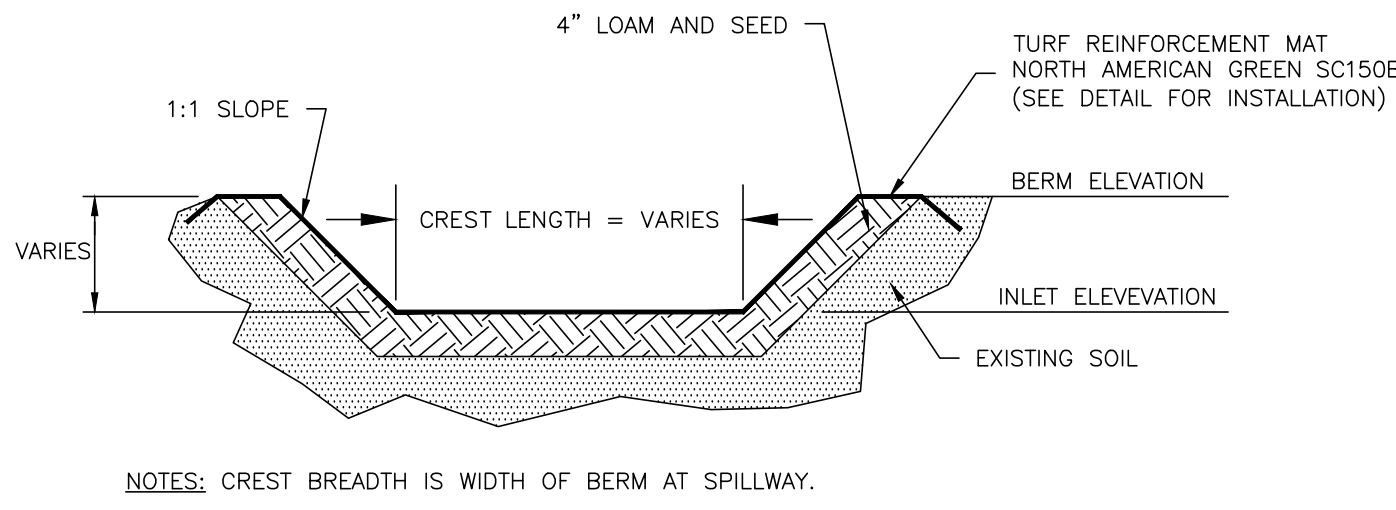
**BIORETENTION SYSTEM GENERAL NOTES:**

- BIORETENTION SYSTEM FILTER SOIL MIX SHALL MEET THE FOLLOWING REQUIREMENTS OF FILTER MEDIA OPTION A OR OPTION B.

BIORETENTION SYSTEM SOIL MIX SPECIFICATIONS			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	% BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



**VEGETATED SWALE DETAIL**  
N.T.S.

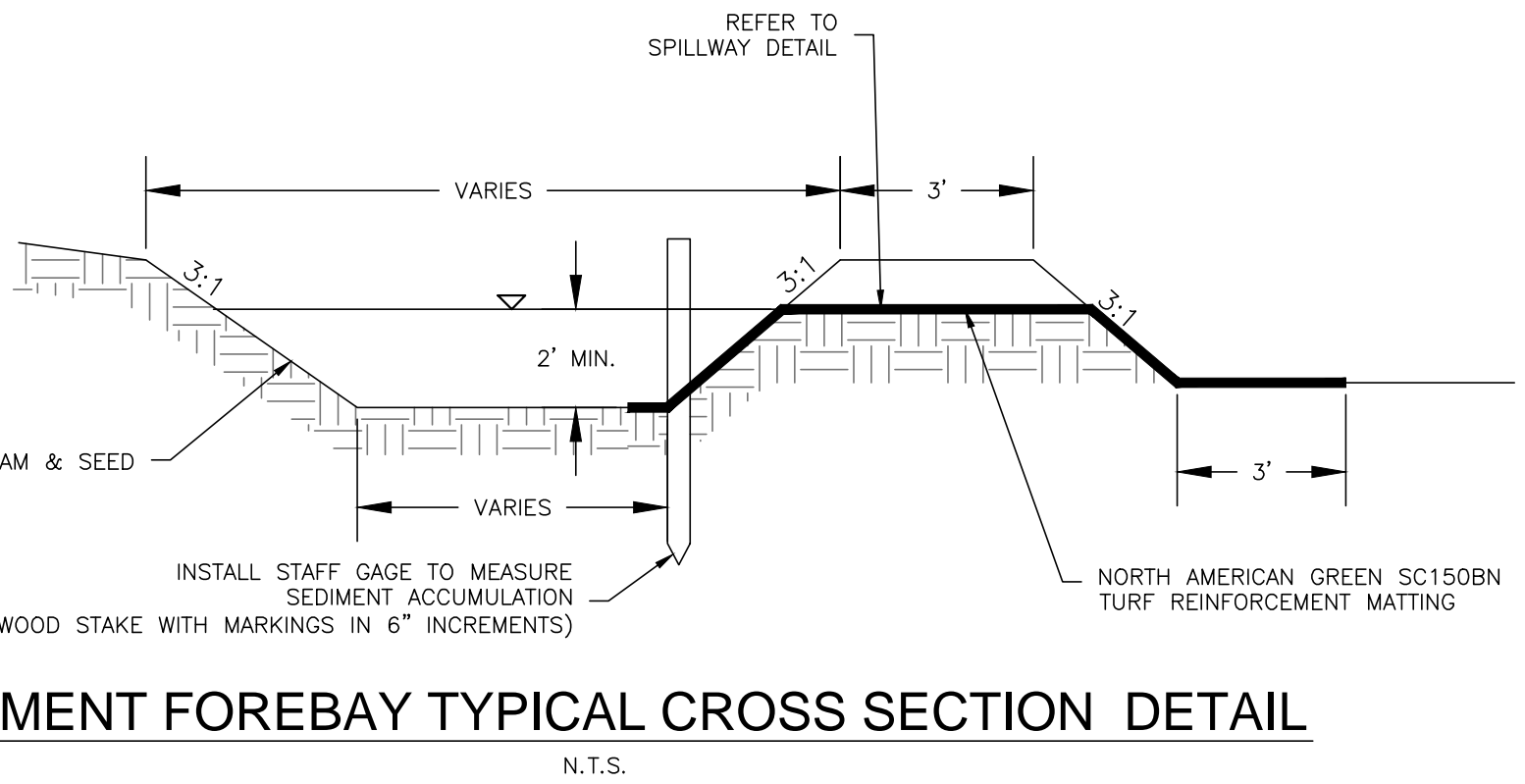


**BIORETENTION SYSTEM SPILLWAY CROSS SECTION**  
NOT TO SCALE

**SPILLWAY DIMENSION TABLE**

LOCATION	CREST ELEV.	BERM ELEV.	LENGTH*	WIDTH*
SPILLWAY #1 - SEDIMENT FOREBAY	114.50	115.50	3'	9'
SPILLWAY #2 - BIORETENTION SYSTEM	114.60	115.50	15'	8.4'

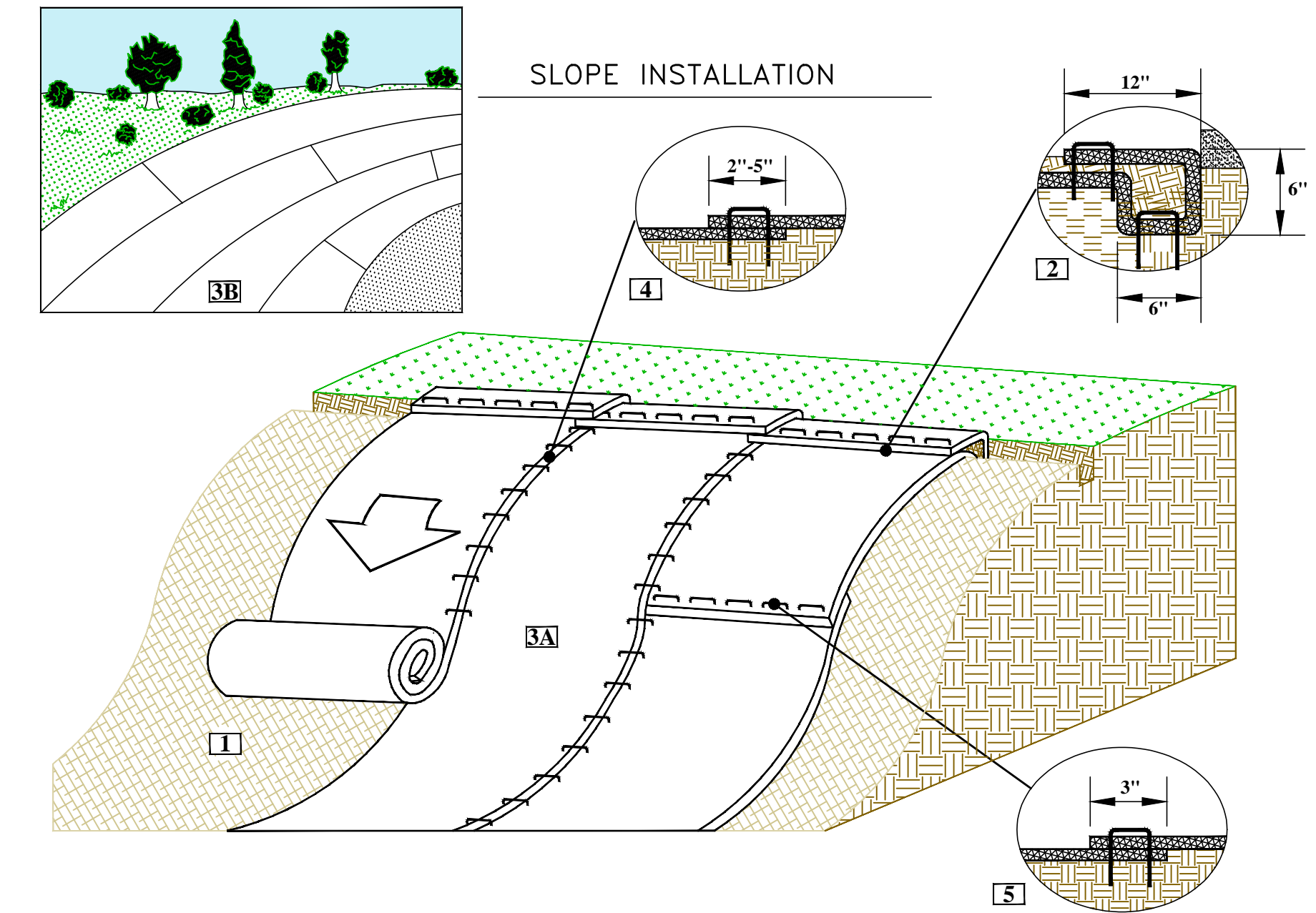
\*REFER TO DETAIL ABOVE FOR LOCATION OF WIDTH AND LENGTH



**SEDIMENT FOREBAY TYPICAL CROSS SECTION DETAIL**  
N.T.S.

**NOTES:**

- REFER TO BERM CONSTRUCTION NOTES IN BIORETENTION SYSTEM DETAIL FOR BERM CONSTRUCTION REQUIREMENTS.
- REFER TO SPILLWAY CROSS SECTION DETAIL FOR SPILLWAY CONSTRUCTION REQUIREMENTS.
- THE SEDIMENT FOREBAY SHALL BE MOWED WITH THE REST OF THE SITES LAWN AREAS TO PROMOTE HEALTHY GROWTH AND PREVENT THE ENCRoACHMENT OF WEEDS AND WOODY VEGETATION.
- INSTALL STAFF GAGE TO MEASURE SEDIMENT ACCUMULATION. SEDIMENT SHALL BE REMOVED AFTER SEDIMENT ACCUMULATES TO A DEPTH OF 1 FOOT.



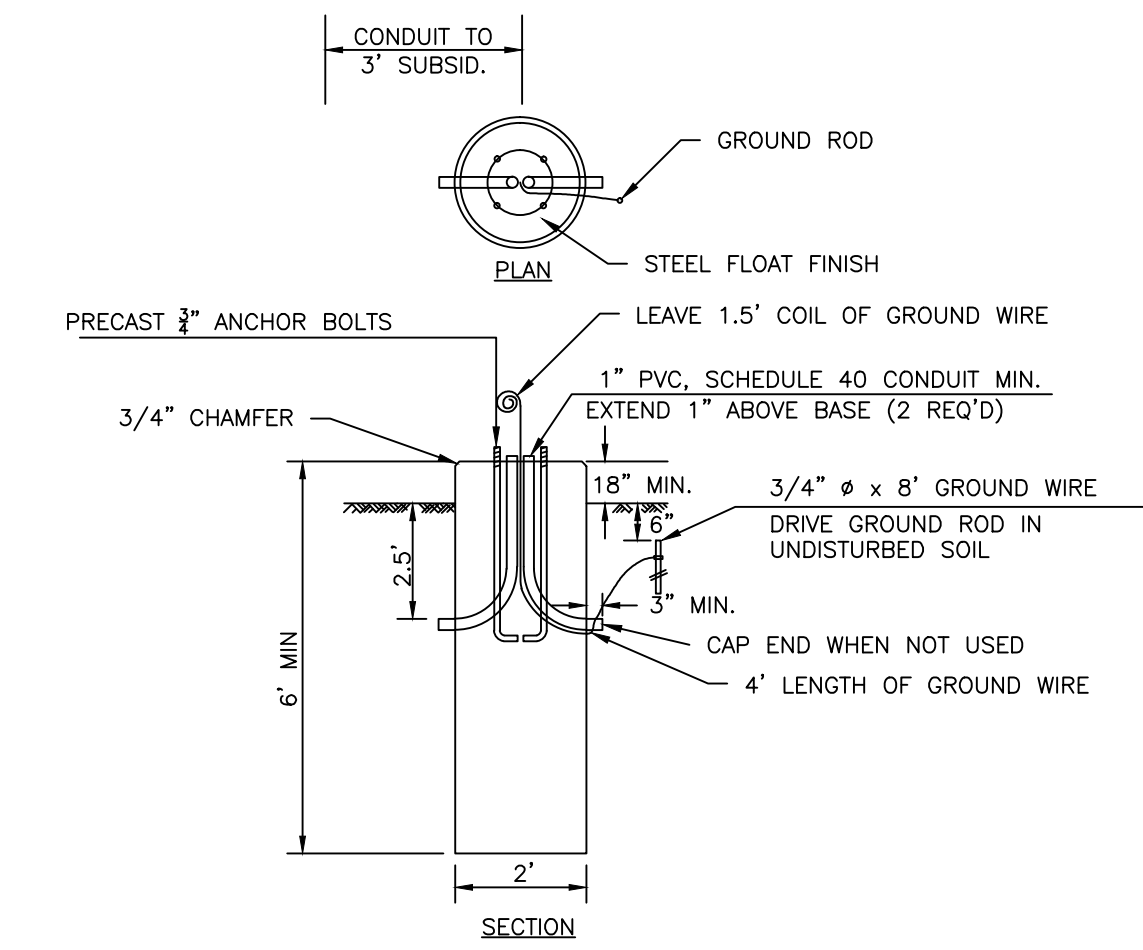
**TYPICAL TURF REINFORCEMENT MATTING DETAIL**  
N.T.S.

- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPS IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12"(30CM) PORTION OF THE RECPS BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12"(30CM) APART ACROSS THE WIDTH OF THE RECPS.
- ROLL THE RECPS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- THE EDGES OF PARALLEL RECPS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5-12.5CM) OVERLAP DEPENDING ON THE RECPS TYPE.
- CONSECUTIVE RECPS SPICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3"(7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12"(30CM) APART ACROSS ENTIRE RECPS WIDTH.

- NOTES:**
- BIORETENTION SYSTEM SPILLWAYS TO BE LINED WITH NORTH AMERICAN GREEN SC150BN EROSION CONTROL BLANKET OR APPROVED EQUAL.
  - FOR SALES CONTACT:  
EJI PRESCOTT, INC.  
210 SHEEP DAVIS RD.  
CONCORD, NH  
603-224-9545



**LITHONIA MR2-LED POLE MOUNTED LIGHT FIXTURE**  
N.T.S.



**CONCRETE LIGHT POLE BASE**  
N.T.S.

**POLE MOUNTED LIGHTING SPECIFICATIONS:**

- ALL SITE WORK SHALL CONFORM TO TOWN OF DURHAM STANDARDS AND LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL MATERIAL WORKMANSHIP SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING STANDARDS, NEW HAMPSHIRE ELECTRIC CODE, FIRE PROTECTION ASSOCIATION, NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION.
- ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE 1" MIN. DIAMETER PVC SCHEDULE 40. ALL ELBOWS SHALL BE SCHEDULE 40. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF THREE (3) FEET.
- ALL UNDERGROUND CONDUITS WILL HAVE NYLON PULL ROPE TO FACILITATE PULLING IN CABLES.
- ALL EQUIPMENT TO BE LITHONIA LIGHTING - MR2-LED SERIES.
- LUMINAIRES SHALL BE LITHONIA LIGHTING - MR2-LED SERIES.
- ALL EXTERIOR CONDUITS SHALL BE PROVIDED WITH 6" WIDE, METALIZED CONTINUOUS WARNING TAPE.
- POLES SHALL BE LITHONIA LIGHTING.
- PROVIDE FUSING ON ALL LUMINAIRES. FUSES TO BE LOCATED AT POLE HANDHOLE. ALL LUMINAIRES 277 VOLT.
- GROUND ALL POLES. PROVIDE 3/4" X 8'-0" GROUND ROD AT EACH POLE WITH #6 AWG COPPER GROUND CONNECTION.
- PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
- ALL NO. 6 WIRE AND LARGER SHALL BE TYPE THHN COPPER. NO. 8 WIRE AND SMALLER SHALL BE THHN COPPER.
- MOUNTING HEIGHT SHALL BE 17'-1".
- USE MR2 LED 600 LEDS, WITH DRIVE CURRENT OF 700 mA DISTANCE TYPE T3M.

**GENERAL LIGHTING NOTES:**

- LIGHTING SUPPLIER: VISIBLE LIGHT, INC. (603) 926-6049.
- OWNER MAY ELECT TO USE ALTERNATIVE LIGHT FIXTURES IF FIRST APPROVED BY DESIGNER AND TOWN.
- SITE LIGHTING WILL BE LOCATED AS SHOWN ON THE SITE PLAN.
- ALL NON-ESSENTIAL LIGHTING WILL BE REQUIRED TO BE TURNED OFF AFTER BUSINESS HOURS, LEAVING ONLY THE NECESSARY LIGHTING FOR SECURITY.
- ALL LIGHTING FOR SECURITY OR AESTHETICS WILL BE FULL CUT-OFF OR A SHIELDED TYPE, NOT ALLOWING ANY UPWARD DISTRIBUTION OF LIGHT.
- PRECAST CONCRETE POLE BASE SHEA CONCRETE OR EQUAL.

NO.	REVISIONS	DATE	INT.
1.	INITIAL SUBMISSION TO LEE PLANNING BOARD	11/7/17	MS
2.	COMPLETION OF COA & FINAL PLANS FOR SIGNATURE	1/23/18	MS

DATE: 11/7/17  
SCALE: AS SHOWN  
DESIGNED BY: MS  
DRAWN BY: MS  
APPROVED BY: MAJ  
DWG FILE: 17-043\_C1G.dwg

SEAL: MICHAEL BEHRENDT, TOWN PLANNER, No. 6887

CONSTRUCTION DETAILS prepared for  
**GREAT BAY ANIMAL HOSPITAL, LLC**  
TAX MAP 6, LOT 11-8  
31 NEWMARKET ROAD DURHAM, NH

**MJS ENGINEERING, P.C.**  
CIVIL - STRUCTURAL - ENVIRONMENTAL  
5 RAILROAD ST., P.O. BOX 259  
DURHAM, NH 03824  
PHONE: (603) 659-6979, FAX: (603) 659-6427  
EMAIL: MJS@MJS-ENGINEERING.COM

JOB: 17-043

D2