

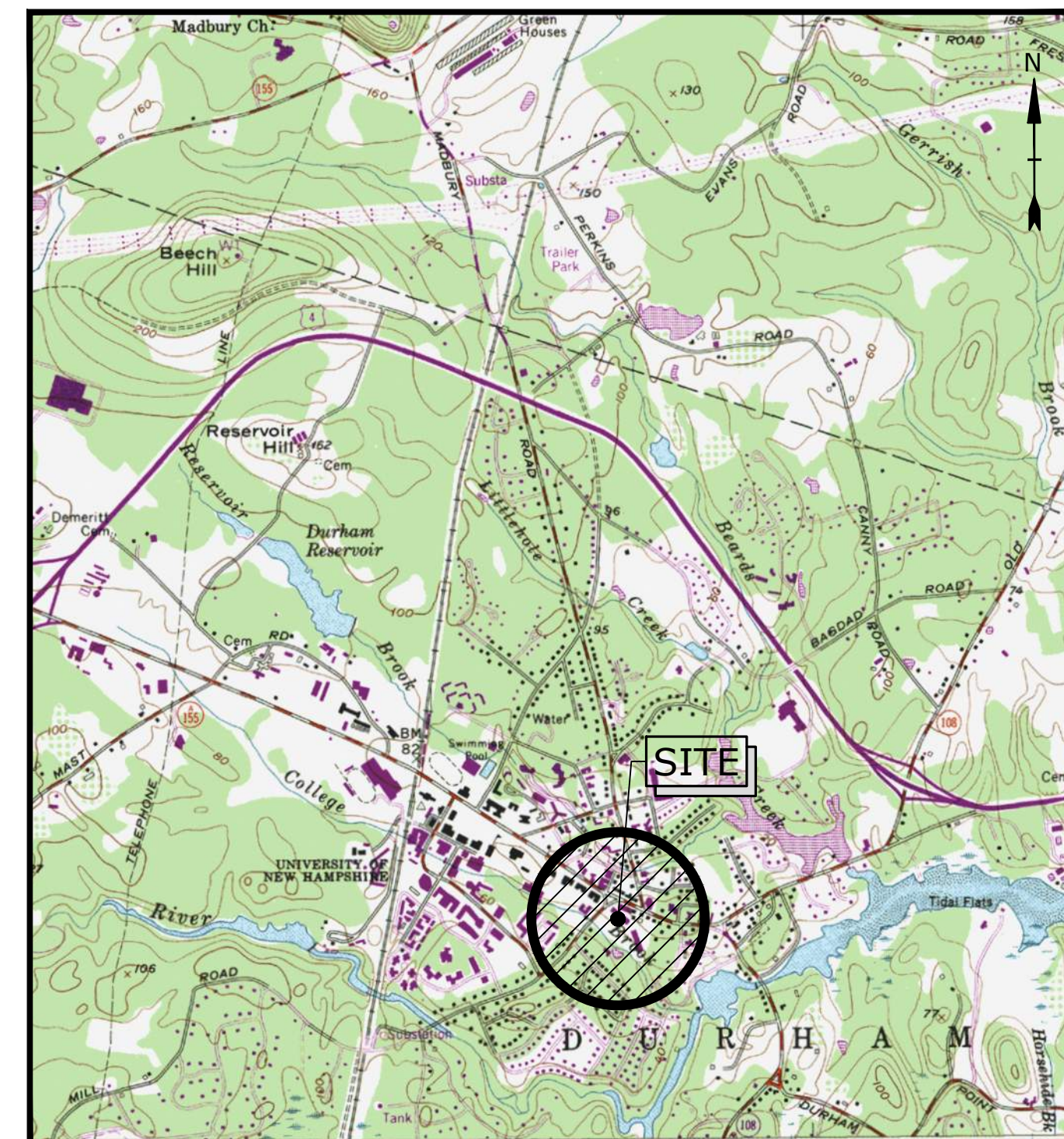
# MILL PLAZA REDEVELOPMENT

DURHAM, NEW HAMPSHIRE

# SITE PLANS

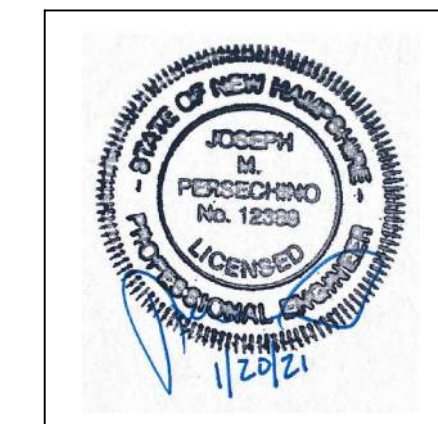
MAY 23, 2018

REVISED: JANUARY 20, 2021

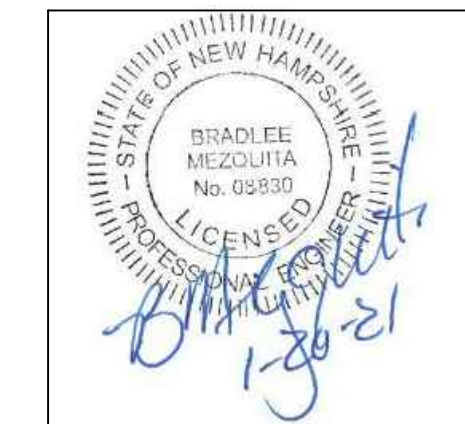


PREPARED BY:

**Tighe & Bond**  
Engineers & Environmental Specialists



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OWNER/APPLICANT:

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APPROVED DATE \_\_\_\_\_  
DURHAM, N.H.  
PLANNING BOARD

THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF DURHAM ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

PERMIT/APPROVAL	APPROVED	EXPIRES	NUMBER
Town of Durham Site Plan Approval	PENDING	-	-
Town of Durham Conditional Use Approval	PENDING	-	-
NHDES Sewer Connection Permit	PENDING	-	-
NHDES Alteration of Terrain Permit	PENDING	-	-

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	1/2/2020
G-101	NOTES AND LEGEND SHEET	1/2/2020
C-101	EXISTING CONDITIONS AND DEMOLITION PLAN	1/2/2020
C-102	SITE PLAN	1/20/2021
C-103	GRADING, DRAINAGE, AND EROSION CONTROL PLAN	1/20/2021
C-104	UTILITIES PLAN	1/20/2021
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	5/20/2020
C-502	DETAILS SHEET	5/20/2020
C-503	DETAILS SHEET	1/2/2020
C-504	DETAILS SHEET	1/2/2020
C-505	DETAILS SHEET	1/2/2020
C-506	DETAILS SHEET	5/20/2020
C-507	DETAILS SHEET	1/2/2020
C-508	DETAILS SHEET	5/20/2020
C-601	TRUCK TURNING PLAN	1/2/2020
C-701	BUFFER COVERAGE PLAN	10/20/2020
L2.0	LANDSCAPE OVERALL PLAN	1/20/2021
L2.1	PLANTING PLAN	1/20/2021
L2.2	PLANTING PLAN	1/20/2021
L2.3	PLANTING PLAN	1/20/2021
L2.4	ROOF PLANTING PLANS	1/20/2021
L3.0	PLANTING DETAILS	1/20/2021
L3.1	PLANTING DETAILS	1/20/2021
L3.2	PLANTING DETAILS	1/20/2021
L4.0	HARDSCAPE OVERALL PLAN	1/2/2020
L4.1	HARDSCAPE PLAN	1/2/2020
L4.2	HARDSCAPE PLAN	1/2/2020
A20.1	EXTERIOR ELEVATIONS	1/20/2021
A20.2	EXTERIOR ELEVATIONS	1/20/2021
A20.3	RENDERINGS	1/20/2021
A20.4	RENDERINGS	1/20/2021
A20.5	RENDERINGS	1/20/2021
A30.1	SITE SECTIONS	1/20/2021
A40.1	RENDERED PERSPECTIVE	1/20/2021
A40.2	RENDERED PERSPECTIVE	1/20/2021
ES10.1	ELECTRICAL SITE LIGHTING PLAN	1/20/2021
ES20.1	ELECTRICAL SITE PLAN	1/20/2021

**CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
3. TIGHE & BOND, ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.



**COMPLETE SET OF SHEETS**

- GENERAL NOTES:**
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
  - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE TOWN OF DURHAM.
  - THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER TO DETERMINE ALL LINES AND GRABES.
  - THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
  - THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
  - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF DURHAM PUBLIC WORKS DEPARTMENT, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
  - CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
  - CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
  - SEE EXISTING CONDITIONS AND DEMOLITION PLAN FOR BENCH MARK IDENTIFICATION.

- DEMOLITION NOTES:**
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
  - ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
  - COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
  - ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ADJUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
  - UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND TOWN OF DURHAM STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL. TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
  - PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
  - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN HEREIN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES, LANDSCAPING, AND CONCRETE MEDIUM.
  - REMOVE TREES AND SHRUBS AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
  - CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
  - PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
  - THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
  - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

- SITE NOTES:**
- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M248. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
  - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
  - SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
  - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
  - STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MICH STANDARDS.
  - CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
  - SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
  - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
  - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
  - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM WALL MANUFACTURERS, AND SUBMITTING DESIGN TO ENGINEER PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE SPECIFICATIONS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

- GRADING AND DRAINAGE NOTES:**
- COMPACTION REQUIREMENTS:  
BELOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%  
BELOW LOAM AND SEED AREAS 90%  
\* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
  - ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
  - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
  - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
  - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
  - ALL STORM DRAINAGE AND COLLECTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
  - ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4" SUMPS.

- EROSION CONTROL NOTES:**
- SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- UTILITY NOTES:**
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
    - NATURAL GAS - UNTIL
    - WATER - TOWN OF DURHAM
    - SEWER - TOWN OF DURHAM
    - ELECTRIC - EVERSOURCE
    - COMMUNICATIONS - COMCAST/FAIRPOINT COMMUNICATIONS
  - ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
  - ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE TOWN OF DURHAM WATER DEPARTMENT.
  - ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
  - CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO TOWN OF DURHAM STANDARDS.
  - EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
  - ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
  - THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
  - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
  - CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.

- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE TOWN OF DURHAM.
- COORDINATE TESTING OPERATION WITH THE TOWN OF DURHAM.
- ALL SEWER PIPE WITH LESS THAN 6" OF COVER BENEATH PAVEMENT AND 4" OF COVER BELOW NON PAVED SURFACES SHALL BE INSULATED WITH 2 INCH RIGID FOAM INSULATION.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

- LANDSCAPE NOTES:**
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
  - ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
  - PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, LATEST REVISION.
  - PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
  - THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
  - NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
  - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
  - THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
  - LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
  - SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
  - PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
  - PARKING AREA PLANTED ISLANDS SHALL HAVE MINIMUM OF 1'-0" TOPSOIL, PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
  - TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A306 "TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES."
  - ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
  - EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT A FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
  - THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
  - UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWN AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
  - PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

- EXISTING CONDITIONS PLAN NOTES:**
- REFERENCE: TAX MAP 5, LOT 1-1
  - TOTAL PARCEL AREA: 449,328 SQ. FT. OR 10,315 AC.
  - OWNER OF RECORD: COLONIAL DURHAM ASSOCIATES  
ADMINISTRATIVE OFFICES  
405 PARK, 12 FLOOR  
NEW YORK, NY 10022  
S.C.R.D. BOOK 1716, PAGE 637

- LEGEND:**
- UTILITY POLE & GUY WIRE
  - UTILITY POLE W/ LIGHT
  - LIGHT POLE (TWO ARMS)
  - SIGN (TWO POSTS)
  - DRILL HOLE FOUND OR SET AS NOTED
  - IRON PIPE/ROD FOUND OR SET AS NOTED
  - FENCE POST
  - WIRE FENCE FOUND ON GROUND
  - FIRE HYDRANT
  - GAS GATE VALVE
  - WATER GATE VALVE
  - SURVEY MONUMENT IDENTIFIER (SEE TABLE)
  - BUILDING OCCUPANCY IDENTIFIER (SEE TABLE)
  - AUTO-SPRINKLER HOSE CONNECTION
  - GAS REGULATOR
  - ELECTRIC METER
  - WATER SHUTOFF VALVE
  - CATCH BASIN
  - HAND-HOLE
  - DRAIN MANHOLE
  - ELECTRIC MANHOLE
  - TELEPHONE MANHOLE
  - SEWER MANHOLE
  - MANHOLE
  - BENCHES
  - JURISDICTIONAL WETLAND SYMBOL
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - CONCRETE
  - RIP RAP
  - LANDSCAPED AREA
  - FLAT PAVEMENT STONE WALKWAY
  - SURFACE LEDGE
  - BOULDERS
  - HANDICAP PARKING SPACE

- REFERENCE PLANS:**
- "MILL ROAD LAND, SAMUEL A. TAMPOSI AND EDWARD N. LEHOULLER, DURHAM, N.H." DATED APRIL 1, 1974 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. POCKET 15, FOLDER 1, PLAN 38.
  - "SITE PLAN SUPERMARKET, DURHAM, N.H." DATED 4/29/66 BY ALBERT, LAROCHELLE & HODSON ENGINEERING CORP. INC. POCKET 15, FOLDER 1, PLAN 11.
  - "LOT LINE REVISION DURHAM, NEW HAMPSHIRE FOR NICHOLAS B. KARABELAS" DATED JUNE 6, 1986 BY JOHN W. DURGIN ASSOCIATES, INC. S.C.R.D. PLAN # 29A-21
  - "SUBDIVISION OF LAND FOR KYRAGES INC. IN DURHAM, N.H." DATED FEBRUARY 23, 1987 BY BRUCE L. PONOPEK LAND SURVEYORS. S.C.R.D. PLAN #26-105.
  - "PLAN SHOWING LAND OWNED BY ESTATE OF LEROY GOWEN MAIN STREET, DURHAM, N.H." DATED SEPT. 1951 BY H. G. HERSEY G.E. S.C.R.D. POCKET 3, FOLDER 2, PLAN 5.
  - "PLAN OF PART OF RED TOWER ESTATE DURHAM, N.H." DATED JUNE 1944 BY JOHN W. DURGIN. S.C.R.D. POCKET 4, FOLDER 3, PLAN 7.
  - "UNIVERSITY OF NEW HAMPSHIRE FACULTY DEVELOPMENT, DURHAM, N.H." DATED NOVEMBER 1945 BY NED SPAULDING. S.C.R.D. POCKET 4, FOLDER 3, PLAN 9.
  - "WALTER W. CHENEY PLAN OF DISHMAN LOT, MILL ROAD, DURHAM, N.H." DATED OCT. 1984 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. PLAN #17E-95.
  - "BUILDING SITE PLAN PREPARED FOR PASZEC INVESTORS, INC. LOCATED AT MAIN STREET, DURHAM, NEW HAMPSHIRE" DATED 11 DEC., 2000 BY ATLANTIC SURVEY COMPANY. S.C.R.D. PLAN #63-3.
  - "DOVER ASSOCIATES SITE PLAN, DURHAM, N.H." DATED OCT. 1968 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. POCKET 5, FOLDER 1, PLAN 30.
  - "WALTER W. CHENEY SITE PLAN OSGOOD LOT, DURHAM, N.H." DATED JAN 1979 BY G.L. DAVIS & ASSOCIATES, NOT RECORDED.
  - "WALTER W. CHENEY, INC. OSGOOD LOT, DURHAM, NEW HAMPSHIRE" COPIES MAY 1990 FROM PLAN BY G.L. DAVIS & ASSOCIATES, "WALTER W. CHENEY SITE PLAN, OSGOOD LOT, DURHAM, N.H." FILE NO. 117-715 DATED JANUARY 1979, NOT RECORDED.
  - "WALTER W. CHENEY, INC. OSGOOD LOT, DURHAM, NEW HAMPSHIRE" DATED NOV. 1970 BY G.L. DAVIS & ASSOCIATES, NOT RECORDED.
  - "DEVELOPMENT PLAN - RED TOWER ESTATE, DURHAM, N.H." DATED 17 JUNE 1953 BY HERSEY A. SPAULDING, INC. S.C.R.D. POCKET 4, FOLDER 3, PLAN 27.
  - "FINAL PLAN FOR RED TOWER DEVELOPMENT, DURHAM, NEW HAMPSHIRE" DATED DEC. 1958 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. POCKET 4, FOLDER 3, PLAN 29.
  - "DOVER ASSOCIATES SITE PLAN, DURHAM, N.H." DATED OCT. 1968 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. POCKET 5, FOLDER 1, PLAN 30.
  - "STATE OF NH HOT/ HOT ROW PLANS TOWN OF DURHAM, COUNTY OF STRAFFORD, SHEET NO 5, S.C.R.D. PLAN #60-57.
  - "PLAN FOR EXCHANGE ELIZABETH SMITH - ALEXANDER ARELL, MILL ROAD, DURHAM, N.H." DATED APRIL 1977 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. PLAN #17-100.
  - "BUILDING LOCATION PLAN FOR DWIGHT LADD #7 CHELSEY DRIVE, DURHAM, NEW HAMPSHIRE" DATED MAY 16, 1994 BY DOUCET SURVEY, INC., NOT RECORDED.
  - "TO ESTABLISH & RELOCATE BA/RA ZONE LINE - NORTH OF COLLEGE BROOK BETWEEN MILL ROAD & CHELSEY DRIVE EXISTING SEWER LINE IS SHOWN" DATED 20 JANUARY 1978 BY C.B. KNOWLES. S.C.R.D. #17B-12.
  - "SITE PLAN CHENEY ENTERPRISES DISHMAN PROPERTY, MILL ROAD, DURHAM, NEW HAMPSHIRE" DATED MAY 1984 BY G.L. DAVIS & ASSOCIATES. S.C.R.D. PLAN #24A-87.
  - "UNIVERSITY OF NEW HAMPSHIRE DURHAM, NH- LOW LEVEL SEWAGE SYSTEM-INTERCEPTING SEWER" SHEETS 2 AND 3, DATED DEC. 1935 BY WESTON AND SAMSON, CONSULTING ENGINEERS, ON FILE AT UNH.
  - "PLAN OF LOT FOR JOHN O'NEIL DURHAM, NEW HAMPSHIRE" DATED MAY 10, 1956 BY G.L. DAVIS & ASSOCIATES, NOT RECORDED.
  - "EXISTING FEATURES PLAN FOR VARSITY CAPITAL ADVISORS, LLC." DATED FEBRUARY 27, 2007 BY AMES MSC. NOT RECORDED.
  - EXISTING CONDITIONS PLAN OF MILL ROAD PLAZA FOR HANNAFORD BROTHERS CO." DATED MAY 28, 2015 BY DOUCET SURVEY INC.

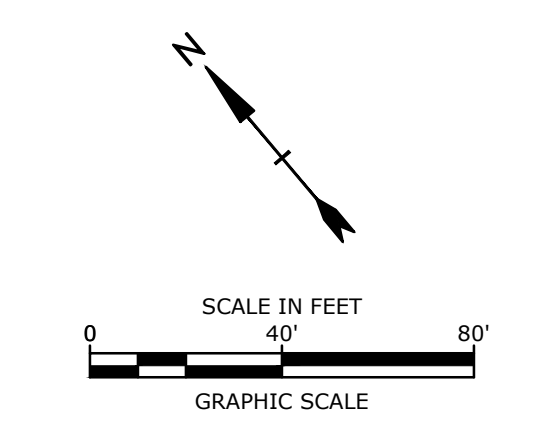
**ABBREVIATIONS**

ABBREVIATION	DESCRIPTION	UNIT
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS	SF SQUARE FEET
TBR	TO BE REMOVED	
TC	TOP OF CURB	TC TOP OF CURB
TW	TOP OF WALL	TW TOP OF WALL
BLDG	BUILDING	TY TYPICAL
BOC	BOTTOM OF CURB	UD UNDERDRAIN
BOW	BOTTOM OF WALL	RD ROOF DRAIN
CB	CATCH BASIN	EW EDGE OF PAVEMENT
CONST	CONSTRUCT	SL SINGLE WHITE LINE
COORD	COORDINATE	DYL DOUBLE YELLOW LINE
DIA	DIAMETER	CONC. CONCRETE
DMH	DRAINAGE MANHOLE	VGC VERTICAL GRANITE CURB
DWG	DRAWING	SGC SLOPED GRANITE CURB
ELEV	ELEVATION	VBB VERTICAL BITUMINOUS BERM
FES	FLARED END SECTION	CONC. CONDUIT
FF	FINISHED FLOOR	
HDPE	HIGH DENSITY POLYETHYLENE	
INV	INVERT	
LF	LINEAR FEET	
MAX	MAXIMUM	
MIN	MINIMUM	
NHDES	NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES	
NRCS	NATURAL RESOURCES CONSERVATION SERVICE	
PCB	PROPOSED CATCH BASIN	
PDHM	PROPOSED DRAINAGE MANHOLE	
PSMH	PROPOSED SEWER MANHOLE	
PVC	POLYVINYL CHLORIDE	
PYD	PROPOSED YARD DRAIN	
R	RADIUS	



Harriman Project No.	16117
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**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



SYMBOL	DESCRIPTION
x60.7'	EXISTING SPOT GRADE
x 60.7'	PROPOSED SPOT GRADE
○	MONITORING WELL
—○—○—	SILT SOCK
—SS—SS—	PROPOSED SEWER LINE
—PG—PG—	PROPOSED GAS LINE
—PW—PW—	PROPOSED WATER LINE
—P&B&C—P&B&C—	UNDERGROUND ELECTRIC AND COMMUNICATIONS LINE
⊙	PROPOSED DRAIN MANHOLE
⊙	PROPOSED SEWER MANHOLE
⊙	PROPOSED CATCH BASIN
▨	PROPOSED BITUMINOUS CONCRETE SIDEWALK
▨	PROPOSED CONCRETE PAD
—	PROPOSED SIGN
—	PROPOSED LIGHT POLE BASE
▨	PROPOSED ACCESSIBLE PARKING SPACE
▨	PROPOSED CROWLSWALK
▨	PROPOSED PAINTED ARROW
3'R	PROPOSED CURB RADIUS
DYLL	PROPOSED DOUBLE YELLOW LANE LINE
VGC	PROPOSED VERTICAL GRANITE CURB
SGC	PROPOSED SLOPED GRANITE CURB
▨	PROPOSED THRUST BLOCK
▨	PROPOSED FIRE HYDRANT
▨	PROPOSED WATER GATE VALVE
▨	PAVEMENT TO BE REMOVED
▨	PROPOSED STANDARD DUTY PAVEMENT SECTION
▨	PROPOSED HEAVY DUTY PAVEMENT SECTION
▨	PROPOSED LIMIT OF WORK
▨	PROPOSED SAWCUT
▨	RIGHT OF WAY LINE
▨	EXISTING BUILDING
▨	EXISTING BUILDING OVERHANG
▨	EDGE OF WETLANDS
▨	75' UPLAND WETLAND PROTECTION BUFFER
▨	FEMA 100-YR FLOODPLAIN
▨	PROPOSED BUILDING
▨	PROPOSED TREE LINE

**Colonial Durham  
Associates, LP**

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
	1/2/2020	GENERAL REVISIONS
PROJECT NO:	M1529-002	
DATE:	5/23/2018	
FILE:	M1529-002_NOTES.dwg	
DRAWN BY:	EGD	
CHECKED:	JMP	
APPROVED:	BLM	

**NOTES AND LEGEND SHEET**

SCALE: AS SHOWN

G-101

Last Saved: 5/23/2018 3:54pm By: EGregorius  
 Plotted On: Dec 30, 2015 10:59 AM  
 Tighe & Bond | 11 Mill Plaza | Durham, NH 03824 | www.tigheandbond.com | 603.278.1100 | NOTES.dwg

UTILITY POLE TABLE

UP1	NETT/4/PSNH/7/1C
UP2	PSNH/7/1A W/EMETER & POWER DOWN
UP3	NO #S W/ POWER DOWN
UP4	BELL ATL3/PSNH/7/1B

SPECIAL NOTE:  
CONTRACTOR TO INSTALL INLET PROTECTION BARRIERS (SILT SACK OR APPROVED EQUAL) ON EXISTING CATCH BASINS WITHIN THE LIMIT OF WORK, REGARDLESS IF THEY ARE TO REMAIN AFTER CONSTRUCTION OR NOT. THE INLET PROTECTION BARRIER SHALL BE MAINTAINED UNTIL THE BASIN IS REMOVED, OR UNTIL THE AREA DRAINING TO THE BASIN IS STABILIZED.

LINE TABLE

LINE	BEARING	LENGTH
L1	S 181°02' W	53.66
L2	N 52°35'58" W	19.00
L3	N 381°02' E	90.03
L4	N 381°02' E	35.55
L5	N 40°50'02" E	50.00
L6	N 451°02' E	50.00
L7	N 53°08'02" E	50.00
L8	N 56°28'02" E	50.00
L9	N 61°53'02" E	50.00
L10	N 70°08'02" E	50.00
L11	N 76°50'04" E	49.51
L12	N 241°44'57" E	70.11
L13	N 65°12'15" W	101.33
L14	N 65°59'15" W	50.72
L15	S 65°01'23" E	39.09
L16	S 22°46'30" W	24.21
L17	S 63°41'45" E	83.00
L18	S 081°41'33" E	31.64
L19	S 43°53'42" E	57.85
L20	S 42°58'39" E	18.49
L21	S 55°06'57" E	12.01
L22	N 15°04'04" E	13.33
L23	S 15°11'13" W	34.41
L24	S 69°27'57" E	43.18
L25	S 78°09'27" E	24.73

MONUMENT TABLE

①	1" SMOOTH IRON ROD FOUND, UP 6" (HELD)
②	3/4" THREADED IRON ROD FOUND, UP 15", LOOSE & LEANING, LOCATED AT BASE
③	1" SMOOTH IRON ROD FOUND, UP 22", LOOSE & LEANING, LOCATED AT BASE (HELD)
④	1 1/4" SMOOTH IRON ROD FOUND, UP 12" (HELD)
⑤	1" SMOOTH IRON ROD FOUND, DOWN 7" (HELD)
⑥	1" IRON PIPE FOUND, WITH CRIMPED TOP, FLUSH (HELD)
⑦	5/8" RE-BAR, WITH I.D. CAP, SET UP 1"

TBM TABLE (SEE EXISTING CONDITION NOTE #9)

TBM	DESCRIPTION	ELEVATION
"A"	MAG NAIL SET UP 1' IN UTILITY POLE NETT/2/7/2 ON THE SOUTH SIDE OF MILL ROAD	37.96'
"B"	CHISLED SQUARE IN THE CONCRETE BASE OF THE SOUTHEASTERN MOST LIGHT POLE IN FRONT OF DOMINGOS	39.67'

SEWER STRUCTURE TABLE

SMH 1127	RIM=41.8' (1) INV. 4" CIP=36.6' (2) INV. 8" ASBESTOS=32.1' (3) INV. 8" ASBESTOS=32.0'
SMH 1128	RIM=41.2' (1) INV. 8" ASBESTOS=35.1' (2) INV. 8" ASBESTOS=35.0' (3) INV. 6" CIP=36.1'
SMH 1311	RIM=35.1' (1) & (4) INV. 18" UNKNOWN CENTER CHANNEL=19.6' (2) INV. 6" UNKNOWN=20.9' (3) INV. 8" ASBESTOS=27.7'
SMH 1312	RIM=41.2' (1) & (3) INV. 18" UNKNOWN CENTER CHANNEL=18.0' (2) INV. UNKNOWN=19.4
SMH 1601	RIM=34.0' (2) & (3) INV. 18" UNKNOWN CENTER CHANNEL=19.6' (1) INV. 8" ASBESTOS=18.0' (4) INV. 8" UNKNOWN=24.6'
SMH 1765	RIM=36.7' (1) INV. 12" CMP=24.2' (2) INV. 18" CMP=23.9'
SMH 1775	RIM=29.0' INV. OUT 15" CMP=25.1'
SMH 1927	RIM=39.3' (1) & (2) INV. 8" ASBESTOS CENTER CHANNEL=34.1'
SMH 2638	RIM=32.5' (1) INV. 18" UNKNOWN CENTER CHANNEL (1) & (2)=20.7'

DRAINAGE STRUCTURE TABLE

CB 1011	RIM=32.0' (1) INV. 18" RCP=26.5' (2) INV. 24" RCP=26.8'
CB 1012	RIM=31.9' (1) INV. 18" RCP=26.7' (2) INV. 18" RCP=26.7'
CB 1062	RIM=33.1' (1) INV. 18" RCP=27.2' (2) INV. 18" RCP=27.2'
DMH 1129	RIM=42.1' (1) INV. 6" CIP=36.4' (2) INV. 8" CIP=35.1' (3) INV. 8" CIP=35.2'
DMH 1768	RIM=36.2' (1) INV. 12" CMP=29.8' (2) INV. 18" CMP=29.6'
CB 1769	RIM=29.1' (1) INV. 12" CMP=24.2' (2) INV. 18" CMP=23.9'
CB 1777	RIM=29.1' INV. OUT 15" CMP=25.1'
CB 1912	RIM=36.3' INV. OUT 12" CMP=29.9'
CB 2196	RIM=41.7' W/VERTICAL 12" CPP & PVC PIPES FROM BUILDING INV. OUT 12" CPP=37.4'
CB 2198	RIM=41.2' (1) INV. 12" CPP=35.1' (2) INV. 15" CPP=34.7'
CB 2214	RIM=39.4' (1) INV. 15" CMP=33.4' (2) INV. 8" CIP=33.9' (3) INV. 15" CPP=33.6' (4) INV. 12" CMP=35.7' (5) INV. 8" ASBESTOS=33.7'
DMH 2452	RIM=38.0' (1) INV. 8" PVC=33.3" (2) INV. 15" RCP=30.4' (3) INV. 15" RCP
CB 2453	RIM=38.3' INV. OUT 8" PVC=34.7'
CB 2504	RIM=46.7' SUMP ONLY
CB 2714	RIM=35.3' INV. OUT 10" CPP=32.0'
CB 2717	RIM=39.0' INV. OUT 12" CMP=35.7'
CB 2720	RIM=33.3' (1) INV. 18" RCP=27.9' (2) INV. 15" RCP=28.1'
GRATE DRAIN	RIM=38.0' INV. OUT 6" PVC= 36.8'

**Tighe & Bond**  
Engineers | Environmental Specialists

**HARRIMAN**  
AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117

**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION

SCALE IN FEET  
0 40 80  
GRAPHIC SCALE

**Mill Plaza**  
Redevelopment

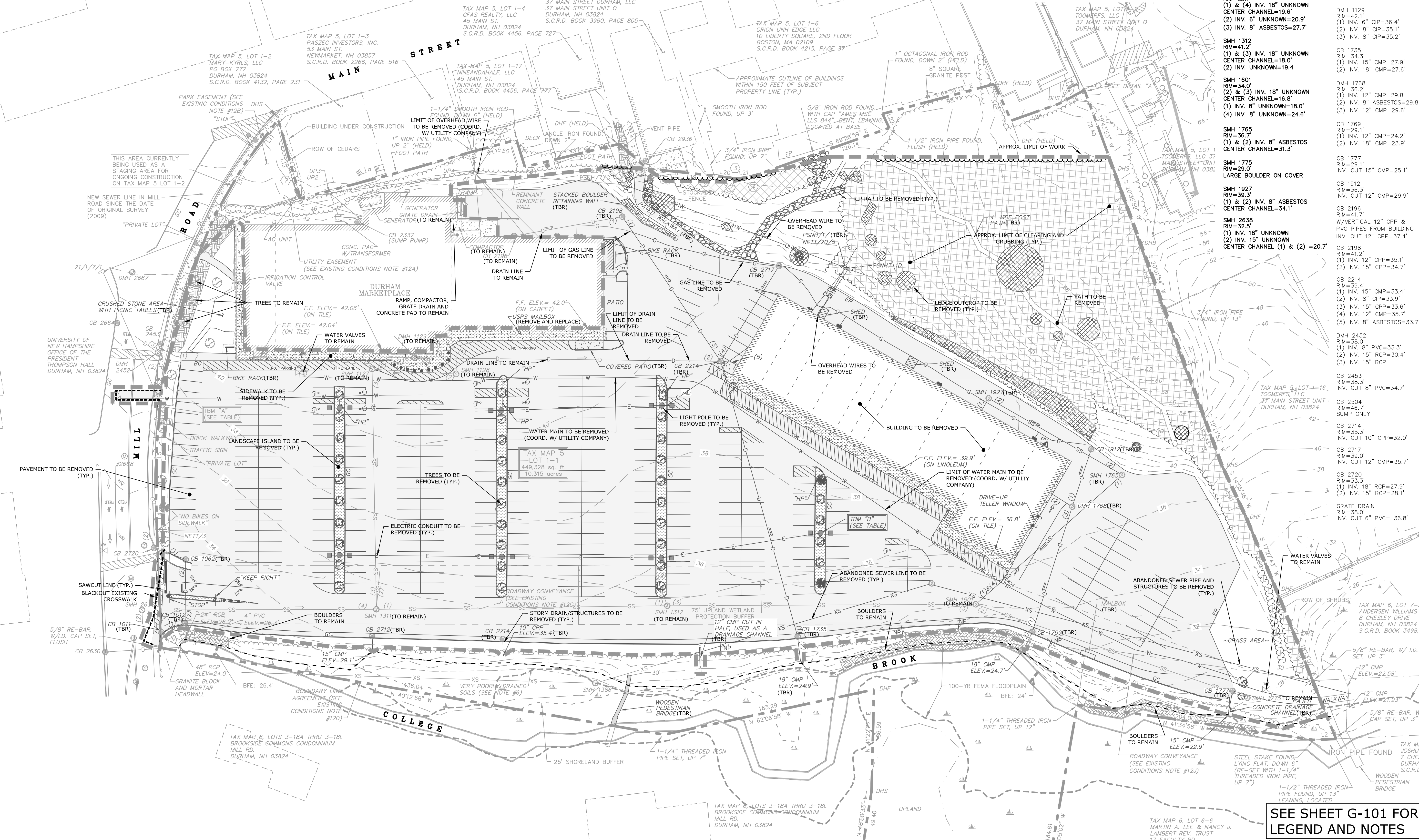
**Colonial Durham**  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
1/2/2020		GENERAL REVISIONS

PROJECT NO: M1529-002  
DATE: 5/23/2018  
FILE: M1529-002-C-DEMO.dwg  
DRAWN BY: EGD  
CHECKED: JMP  
APPROVED: BLM

EXISTING CONDITIONS AND DEMOLITION PLAN  
SCALE: AS SHOWN  
C-101



Lot 1, Sheet 1 of 2, 5/23/2018  
Plotted On: Dec 30, 2018 4:09pm By: EdDorras  
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L:\CADD\Mill Plaza\Drawings - Figures\AutoCAD\Sheet\M1529-002\_C\_DEMO.dwg

**SITE DATA:**  
 (BASED ON TOWN OF DURHAM ZONING ORDINANCE, DATE VARIES/VESTED)  
 ZONING DISTRICT: CENTRAL BUSINESS DISTRICT (CB)  
 PERMITTED USES: PARKING, RESTAURANT, RETAIL, OFFICES, MIXED USE/RESIDENTIAL, BANK WITH DRIVE-THROUGH

**DIMENSIONAL REQUIREMENTS:**

MINIMUM LOT SIZE:	REQUIRED 5,000 SF	PROPOSED 449,341 SF
MINIMUM LOT AREA PER UNIT:	1,200 SF	1,742 SF (258 UNITS)
MAXIMUM OCCUPANTS:	N/A	258
MINIMUM STREET FRONTAGE:	50 FT	475 FT
MINIMUM FRONT YARD SETBACK:	N/A	N/A
SIDE SETBACK:	N/A	N/A
REAR SETBACK:	N/A	N/A
MAXIMUM IMPERVIOUS SURFACE RATIO:	100%	<100%
MAXIMUM BUILDING HEIGHT:	30 FT	<41 FT
	(50 FT W/ PB APPROVAL)	
MAXIMUM BUILDING HEIGHT (MIXED USE):	4 STORIES	4 STORIES
MINIMUM BUFFER STRIP TO PROPERTY LINE:	5 FT	10 FT
MINIMUM BUFFER STRIP TO ROW:	0 FT	>10 FT

**AREA CALCULATIONS:**

IMPERVIOUS (SF)	EXISTING 275,734	PROPOSED 290,535
EFFECTIVE IMPERVIOUS COVER (SF)	275,734	275,734

**PARKING REQUIREMENTS:**

- STANDARD STALL DIMENSIONS: 9 FT X 18 FT
- COMPACT STALL DIMENSIONS: 8 FT X 16 FT
- MINIMUM AISLE WIDTH: 22 FT
- MINIMUM DRIVEWAY WIDTH: 24 FT
- NUMBER OF ACCESSIBLE SPACES: 12 SPACES
- 2% OF TOTAL FOR 501 TO 1000 SPACES

**NON-RESIDENTIAL PARKING REQUIREMENTS**

BANK: 1 PER 250 SF (3,505 SF)	REQUIRED 14 SPACES	PROPOSED 16 + 6 SPACES
RESTAURANT <4,000 SF: 1 PER 100 SF + 1 PER EMPLOYEE (1,600 SF)	46 SPACES	64 SPACES
RESTAURANT >4,000 SF: 40 + 1 PER 200 SF OVER 4,000 SF (5,032 SF)	64 SPACES	192 SPACES
PROFESSIONAL OFFICE: 1 PER 350 SF (22,226 SF)	64 SPACES	192 SPACES
RETAIL/COMMERCIAL: 1 PER 250 SF (47,887 SF)	192 SPACES	338 SPACES
<b>NON-RESIDENTIAL TOTAL: (80,250 SF)</b>	<b>338 SPACES</b>	<b>411 SPACES</b>

**RESIDENTIAL PARKING REQUIREMENTS**

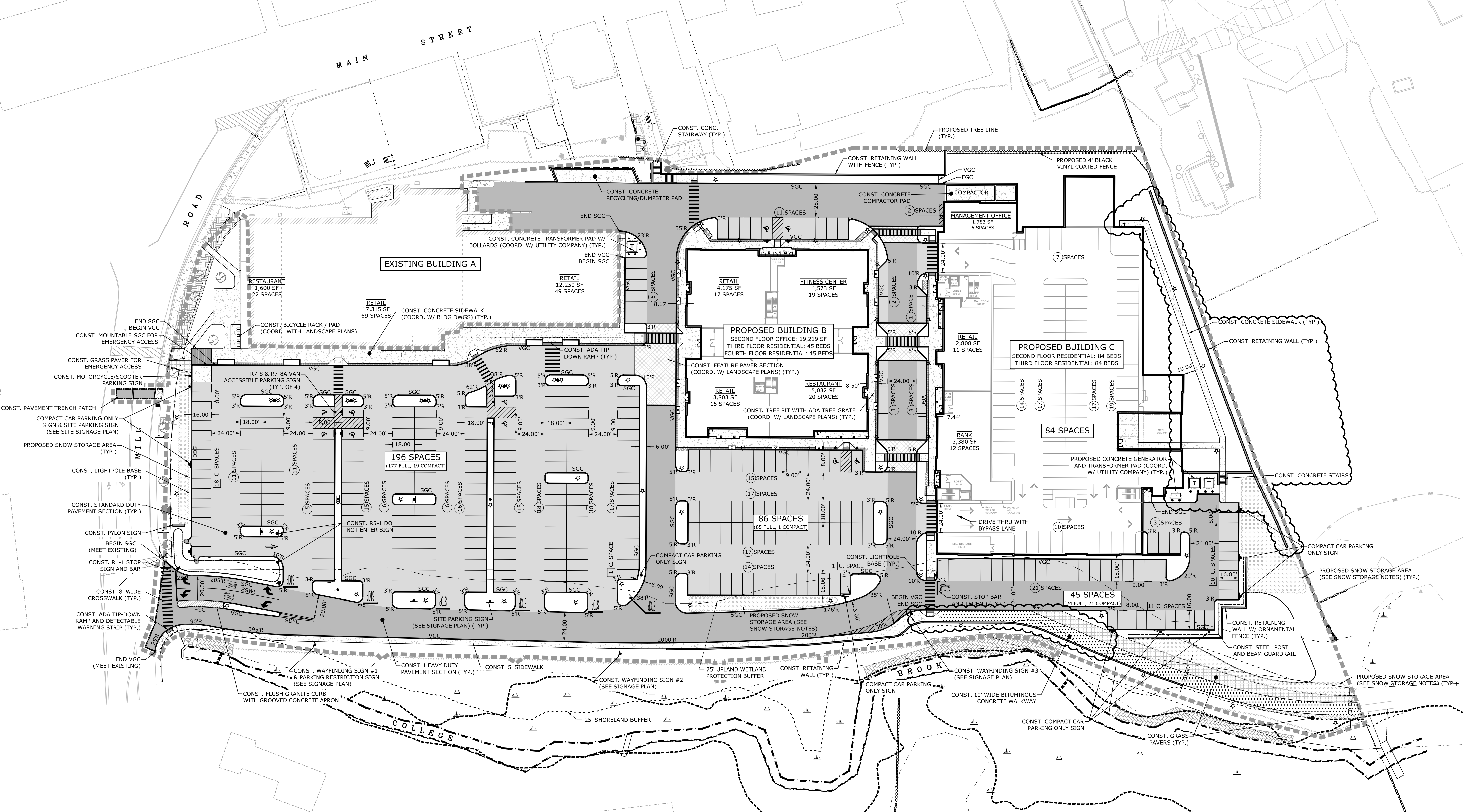
DWELLING UNITS: 1 PER RESIDENT (258 BEDS)	REQUIRED 258 SPACES	PROPOSED 0 SPACES
<b>RESIDENTIAL TOTAL: (258 BEDS)</b>	<b>258 SPACES</b>	<b>0 SPACES</b>
<b>TOTAL PARKING REQUIREMENTS</b>	<b>REQUIRED 596 SPACES</b>	<b>PROPOSED 411 SPACES (1)</b>

**PARKING NOTES:**

- EXISTING SITE CONTAINS 345 PARKING SPACES. THE PROPOSED 411 SPACES CONSIST OF 327 SURFACE PARKING (41 COMPACT, 286 STANDARD) PLUS 84 GARAGE SPACES.
- PER AGREEMENT WITH TOWN OF DURHAM, DATED DECEMBER 14, 2015, PARKING ON SITE SHALL BE INCREASED BEYOND THE 345 SPACES THAT CURRENTLY EXIST.
- SECTION 175-112.A., OF THE DURHAM ZONING ORDINANCE ALLOWS AN EXEMPTION FROM THE PARKING REQUIREMENTS IN THE CENTRAL BUSINESS DISTRICT. THIS PLAN REQUIRES AN EXEMPTION OF 185 PARKING SPACES.

**SNOW STORAGE NOTES:**

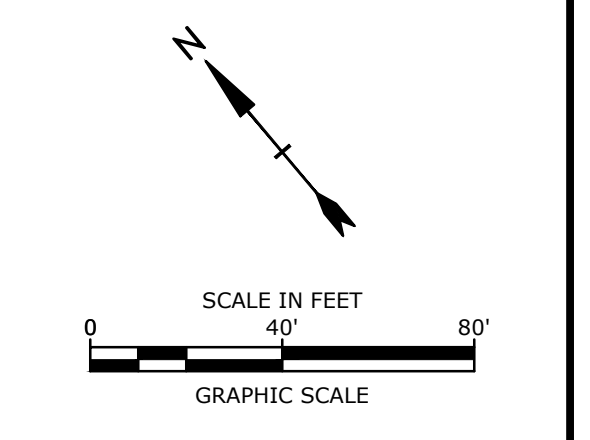
- SNOW SHALL NOT BE STORED ALONG COLLEGE BROOK OR IN THE PROPOSED STORMWATER TREATMENT AREAS, INCLUDING THE GRAVEL WETLAND AND RAIN GARDEN.
- SNOW THAT CANNOT BE STORED ON SITE SHALL BE REMOVED FROM THE SITE.
- SNOW STORAGE AND REMOVAL OPERATIONS SHALL AVOID DAMAGING LANDSCAPING TO THE EXTENT FEASIBLE. LANDSCAPING THAT HAS BEEN DAMAGED SHALL BE REPLACED.



Harriman Project No. 16117



**PERMIT DRAWINGS  
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**Mill Plaza  
 Redevelopment**

Colonial Durham  
 Associates, LP

7 Mill Road, Unit L  
 Durham,  
 New Hampshire 03824

MARK	DATE	DESCRIPTION
5	1/20/2021	RESPONSE TO COMMENTS
4	11/4/2020	GENERAL REVISIONS
3	8/4/2020	GENERAL REVISIONS
2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS

PROJECT NO: M1529-002  
 DATE: 5/23/2018  
 FILE: M1529-002\_C-SITE.dwg  
 DRAWN BY: EGD  
 CHECKED: JMP  
 APPROVED: BLM

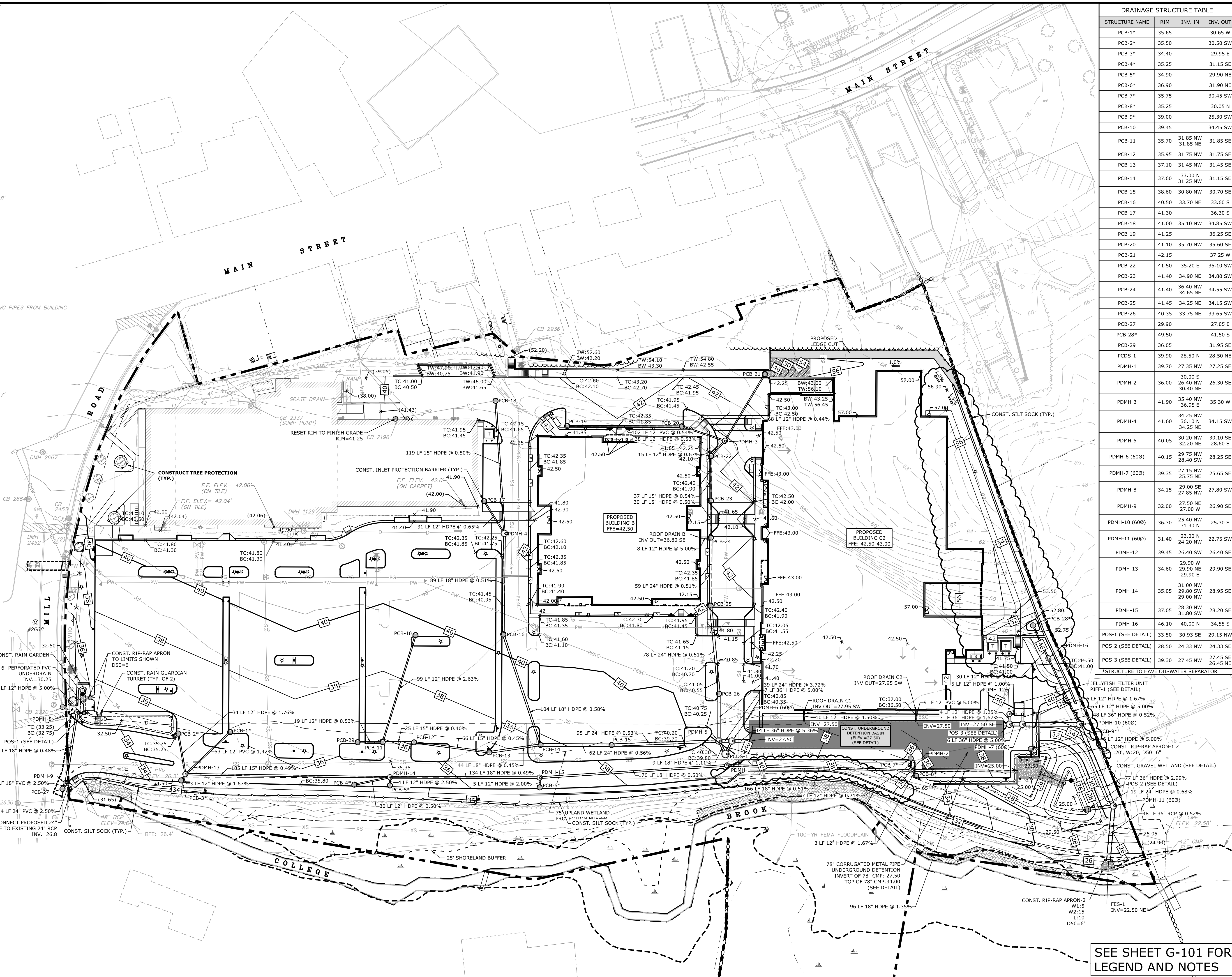
SITE PLAN  
 SCALE: AS SHOWN  
 C-102

SEE SHEET G-101 FOR  
 LEGEND AND NOTES

Last Saved: 1/26/2021  
 Plotted On: Feb 01, 2021 5:39pm By: Edoremus  
 Tighe & Bond \31\Mill Plaza\Drawings - Figures\AutoCAD\Sheet\M1529-002\_C-SITE.dwg

**DRAINAGE STRUCTURE TABLE**

- CB 1011  
RIM=32.0'  
(1) INV. 18" RCP=26.5'  
(2) INV. 24" RCP=26.8'
- CB 1012  
RIM=31.9'  
(1) INV. 18" RCP=26.7'  
(2) INV. 18" RCP=26.7'
- CB 1062  
RIM=33.1'  
(1) INV. 18" RCP=27.2'  
(2) INV. 18" RCP=27.2'
- DMH 1129  
RIM=42.1'  
(1) INV. 6" CIP=36.4'  
(2) INV. 8" CIP=35.1'  
(3) INV. 8" CIP=35.2'
- CB 1735  
RIM=34.3'  
(1) INV. 15" CIP=27.9'  
(2) INV. 18" CIP=27.6'
- DMH 1768  
RIM=36.2'  
(1) INV. 12" CMP=29.8'  
(2) INV. 8" ASBESTOS=29.8'  
(3) INV. 12" CMP=29.6'
- CB 1769  
RIM=32.5'  
(1) INV. 12" CMP=27.6'  
(2) INV. 18" CMP=27.3'
- CB 1777  
RIM=29.1'  
INV. OUT 15" CMP=25.1'
- CB 1912  
RIM=36.3'  
INV. OUT 12" CMP=29.9'
- CB 2196  
RIM=41.7'  
W/VERTICAL 12" CPP & PVC PIPES FROM BUILDING  
INV. OUT 12" CPP=37.4'
- CB 2198  
RIM=41.2'  
(1) INV. 12" CPP=35.1'  
(2) INV. 15" CPP=34.7'
- CB 2214  
RIM=39.4'  
(1) INV. 15" CMP=33.4'  
(2) INV. 8" CIP=33.9'  
(3) INV. 15" CPP=33.6'  
(4) INV. 12" CMP=33.7'  
(5) INV. 8" ASBESTOS=33.7'
- DMH 2452  
RIM=38.0'  
(1) INV. 6" PVC=33.3'  
(2) INV. 15" RCP=30.4'  
(3) INV. 15" RCP
- CB 2453  
RIM=38.3'  
INV. OUT 8" PVC=34.7'
- CB 2504  
RIM=46.7'  
SUMP ONLY
- CB 2714  
RIM=35.3'  
INV. OUT 10" CPP=32.0'  
INV. OUT 12" CMP=35.7'
- CB 2717  
RIM=39.0'  
INV. OUT 12" CMP=35.7'
- CB 2720  
RIM=33.1'  
(1) INV. 18" RCP=27.9'  
(2) INV. 15" RCP=28.1'
- GRATE DRAIN  
RIM=38.0'  
INV. OUT 6" PVC=36.8'



**DRAINAGE STRUCTURE TABLE**

STRUCTURE NAME	RIM	INV. IN	INV. OUT
PCB-1*	35.65		30.65 W
PCB-2*	35.50		30.50 SW
PCB-3*	34.40		29.95 E
PCB-4*	35.25		31.15 SE
PCB-5*	34.90		29.90 NE
PCB-6*	36.90		31.90 NE
PCB-7*	35.75		30.45 SW
PCB-8*	35.25		30.05 N
PCB-9*	39.00		25.30 SW
PCB-10	39.45		34.45 SW
PCB-11	35.70	31.85 NW	31.85 SE
PCB-12	35.95	31.75 NW	31.75 SE
PCB-13	37.10	31.45 NW	31.45 SE
PCB-14	37.60	33.00 N	31.15 SE
PCB-15	38.60	30.80 NW	30.70 SE
PCB-16	40.50	33.70 NE	33.60 S
PCB-17	41.30		36.30 S
PCB-18	41.00	35.10 NW	34.85 SW
PCB-19	41.25		36.25 SE
PCB-20	41.10	35.70 NW	35.60 SE
PCB-21	42.15		37.25 W
PCB-22	41.50	35.20 E	35.10 SW
PCB-23	41.40	34.90 NE	34.80 SW
PCB-24	41.40	36.40 NW	34.55 SW
PCB-25	41.45	34.25 NE	34.15 SW
PCB-26	40.35	33.75 NE	33.65 SW
PCB-27	29.90		27.05 E
PCB-28*	49.50		41.50 S
PCB-29	36.05		31.95 SE
PCDS-1	39.90	28.50 N	28.50 NE
PDMH-1	39.70	27.35 NW	27.25 SE
PDMH-2	36.00	30.00 S	26.30 SE
PDMH-3	41.90	35.40 NW	35.30 W
PDMH-4	41.60	34.25 NW	34.15 SW
PDMH-5	40.05	30.20 NW	30.10 SE
PDMH-6 (600)	40.15	29.75 NW	28.25 SE
PDMH-7 (600)	39.35	27.15 NW	25.65 SE
PDMH-8	34.15	29.00 SE	27.80 SW
PDMH-9	32.00	27.50 NE	26.90 SE
PDMH-10 (600)	36.30	25.40 NW	25.30 S
PDMH-11 (600)	31.40	23.00 N	22.75 SW
PDMH-12	39.45	26.40 SW	26.40 SE
PDMH-13	34.60	29.90 W	29.90 SE
PDMH-14	35.05	31.00 NW	28.95 SE
PDMH-15	37.05	28.30 NW	28.20 SE
PDMH-16	46.10	40.00 N	34.55 S
POS-1 (SEE DETAIL)	33.50	30.93 SE	29.15 NW
POS-2 (SEE DETAIL)	28.50	24.33 NW	24.33 SE
POS-3 (SEE DETAIL)	39.30	27.45 NW	27.45 SE
*STRUCTURE TO HAVE OIL-WATER SEPARATOR			

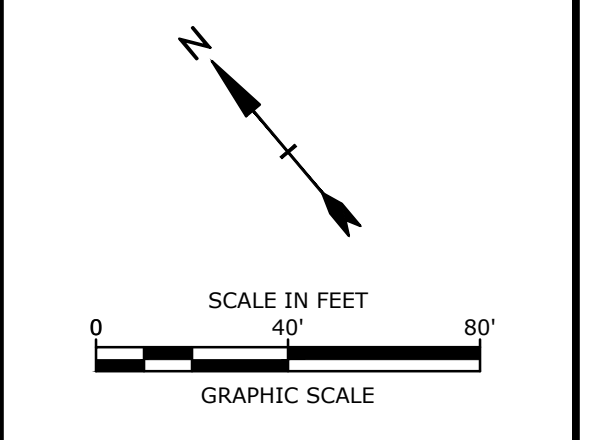
SEE SHEET G-101 FOR LEGEND AND NOTES



Harriman Project No. 16117



**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION



**Mill Plaza**  
Redevelopment

Colonial Durham Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
5	1/20/2021	RESPONSE TO COMMENTS
4	11/4/2020	GENERAL REVISIONS
3	8/4/2020	GENERAL REVISIONS
2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS

PROJECT NO: M1529-002  
DATE: 5/23/2018  
FILE: M1529-002\_C-GRAD.dwg  
DRAWN BY: EGD  
CHECKED: JMP  
APPROVED: BLM

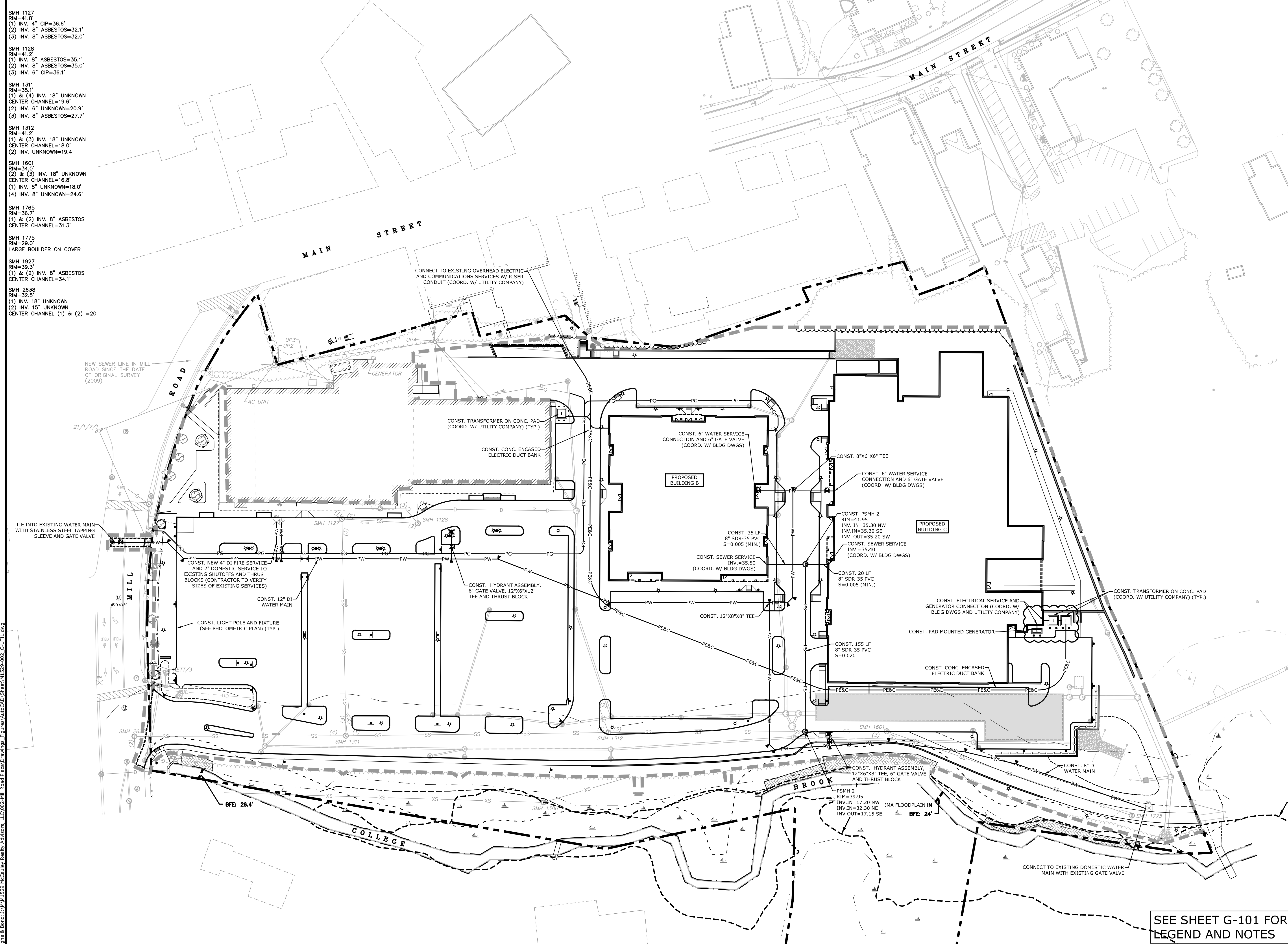
GRADING, DRAINAGE AND EROSION CONTROL PLAN

SCALE: AS SHOWN  
C-103

L:\Projects\16117\03\Drawings\16117-002-C-GRAD.dwg  
 Plotted On: 5/23/2018 10:09:21 AM  
 Plotted By: EGD  
 Title: Mill Plaza Redevelopment - Grading, Drainage and Erosion Control Plan  
 Author: EGD  
 Date: 5/23/2018 10:09:21 AM  
 Scale: AS SHOWN  
 Plotter: HP DesignJet T1100e  
 Plot Style: Mill Plaza.dwt  
 Sheets: 103 of 103

SEWER STRUCTURE TABLE

- SMH 1127  
RIM=41.8'  
(1) INV. 4" CIP=36.6'  
(2) INV. 8" ASBESTOS=32.1'  
(3) INV. 8" ASBESTOS=32.0'
- SMH 1128  
RIM=41.2'  
(1) INV. 8" ASBESTOS=35.1'  
(2) INV. 8" ASBESTOS=35.0'  
(3) INV. 6" CIP=36.1'
- SMH 1311  
RIM=35.1'  
(1) & (4) INV. 18" UNKNOWN  
CENTER CHANNEL=19.6'  
(2) INV. 6" UNKNOWN=20.9'  
(3) INV. 8" ASBESTOS=27.7'
- SMH 1312  
RIM=41.2'  
(1) & (3) INV. 18" UNKNOWN  
CENTER CHANNEL=18.0'  
(2) INV. UNKNOWN=19.4
- SMH 1601  
RIM=34.0'  
(2) & (3) INV. 18" UNKNOWN  
CENTER CHANNEL=16.8'  
(1) INV. 8" UNKNOWN=18.0'  
(4) INV. 8" UNKNOWN=24.6'
- SMH 1765  
RIM=36.7'  
(1) & (2) INV. 8" ASBESTOS  
CENTER CHANNEL=31.3'
- SMH 1775  
RIM=29.0'  
LARGE BOULDER ON COVER
- SMH 1927  
RIM=39.3'  
(1) & (2) INV. 8" ASBESTOS  
CENTER CHANNEL=34.1'
- SMH 2638  
RIM=32.5'  
(1) INV. 18" UNKNOWN  
(2) INV. 15" UNKNOWN  
CENTER CHANNEL (1) & (2) =20.

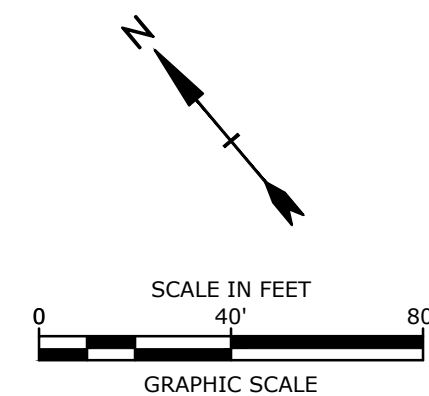


**HARRIMAN**  
AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

5	1/20/2021	RESPONSE TO COMMENTS
4	11/4/2020	GENERAL REVISIONS
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1	1/2/2020	GENERAL REVISIONS
MARK	DATE	DESCRIPTION
PROJECT NO: M1529-002		
DATE: 5/23/2018		
FILE: M1529-002_C-UTIL.dwg		
DRAWN BY: EGD		
CHECKED: JMP		
APPROVED: BLM		

UTILITIES PLAN

SCALE: AS SHOWN

C-104

SEE SHEET G-101 FOR  
LEGEND AND NOTES

**GENERAL PROJECT INFORMATION**

PROJECT OWNER: COLONIAL DURHAM ASSOCIATES  
405 PARK, 12 FLOOR  
NEW YORK, NY 10022  
PROJECT NAME: MILL ROAD PLAZA  
PROJECT ADDRESS: MILL ROAD, DURHAM, NH 03804  
PROJECT MAP / LOT: MAP 5/ LOT 1-1  
PROJECT LATITUDE: 43°-07'-58"N  
PROJECT LONGITUDE: 70°-55'-30"W

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF THE DEMOLITION OF A 24,000 SF RETAIL BUILDING AND EXISTING PARKING LOT AS WELL AS THE CONSTRUCTION OF NEW PARKING LOT AND TWO (2) NEW ASSOCIATED BUILDINGS INCLUDING RETAIL, HOUSING AND A PARKING GARAGE. THE WORK IS ANTICIPATED TO START IN 2019, AND BE COMPLETED BY 2020.

**DISTURBED AREA**

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 7.5 ACRES.

**SOIL CHARACTERISTICS**

BASED ON THE USCS SITE SPECIFIC SOIL SURVEY CONDUCTED BY LUKE HARLEY OF GOVE ENVIRONMENTAL SERVICES, ON MAY 4, 2018 THE SOILS ON SITE CONSIST OF UDORTHENS, BUXTON, AND HOLLIS SOILS WHICH ARE POORLY DRAINED SOILS WITH HYDROLOGIC SOIL GROUP RATING(S) OF C AND D

**NAME OF RECEIVING WATERS**

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA OVERLAND FLOW TO A CLOSED DRAINAGE SYSTEM, TREATED VIA VARIOUS STORMWATER TREATMENT DEVICES PRIOR TO DISCHARGE TO COLLEGE BROOK.

**CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:**

- CUT AND CLEAR TREES.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
  - NEW CONSTRUCTION
  - DEVELOPMENT OF BORROW PIT AREAS
  - DISPOSAL OF SEDIMENT, SOIL, SLURRY AND OTHER SOLID WASTE
  - FLOOD PLAIN EXCAVATION WORK
  - STREAM CHANNEL MODIFICATIONS
  - CONTROL OF DUST
  - CONSTRUCTION OF ACCESS AND HAUL ROAD
  - NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMP'S PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

**SPECIAL CONSTRUCTION NOTES:**

- THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE - THIS NOTE IS APPLICABLE TO SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT.

NOTE: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

**EROSION CONTROL NOTES:**

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALE, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

**STABILIZATION:**

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- WINTER STABILIZATION PRACTICES:
  - ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
  - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
  - AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER RHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
  - TEMPORARY SEEDING;
  - MULCHING.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT, ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

**DUST CONTROL:**

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.

**STOCKPILES:**

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM COLLEGE BROOK, CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

**OFF SITE VEHICLE TRACKING:**

- THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

**VEGETATION:**

- TEMPORARY GRASS COVER:
  - SEEDBED PREPARATION:
    - APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
  - SEEDING:
    - UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
    - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
    - APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER), HYDROSEEDING, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
  - MAINTENANCE:
    - TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- VEGETATIVE PRACTICE:
  - FOR PERMANENT MEASURES AND PLANTINGS:
    - LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;

- FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
- SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 2,000 AND 4,000 POUNDS PER INCH OF WIDTH;
- SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED, ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION, AND BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
- HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
- SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT COVERING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED;
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
- A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEED MIX	APPLICATION RATE
CREeping RED FESCUE	60 % WEIGHT
TALL FESCUE	30 % WEIGHT
REDTOP	10% WEIGHT

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.

- DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
  - FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

**CONCRETE WASHOUT AREA:**

- CONCRETE SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM COLLEGE BROOK AND A MINIMUM OF 150 FEET AWAY FROM STORM DRAINS, SWALES, AND SURFACE WATERS OR DELINEATED WETLANDS;
- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
  - THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
  - IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO CONTROL DUST;
  - INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

**ALLOWABLE NON-STORMWATER DISCHARGES:**

- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- PAVED WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- UNCONTAMINATED EXCAVATION Dewatering;
- LANDSCAPE IRRIGATION.

**WASTE DISPOSAL:**

- WASTE MATERIAL:
  - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
  - NO CONSTRUCTION RELATED WASTE MATERIALS SHALL BE BURNED;
  - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
  - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
  - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE:
  - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

**SPILL PREVENTION:**

- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW. THE FOLLOWING ARE THE PRACTICES THAT SHALL BE USED TO PREVENT AND CONTROL SPILLS FROM OCCURRING OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
  - GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
    - ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
    - ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
    - MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED;
    - THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
    - SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
    - WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - HAZARDOUS CONTROL - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
    - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
    - ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
    - SURPLUS PRODUCT THAT MUST BE DISPOSAL OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
  - PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
    - PETROLEUM PRODUCTS:
      - ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
      - PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
    - FERTILIZERS:
      - FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
      - ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
      - STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALED PLASTIC BIN TO AVOID SPILLS.
    - PAINTS:
      - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
      - EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
      - EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
    - SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
      - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
      - MATERIALS AND EQUIPMENT FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA OR SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
      - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
      - THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
      - SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
      - THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
    - VEHICLE FUELING AND MAINTENANCE PRACTICE:
      - CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
      - CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
      - IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
      - CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
      - CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
      - CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

**EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES**

THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE ENGINEER. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ON SITE AT ALL TIMES.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

- OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
- A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
- IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

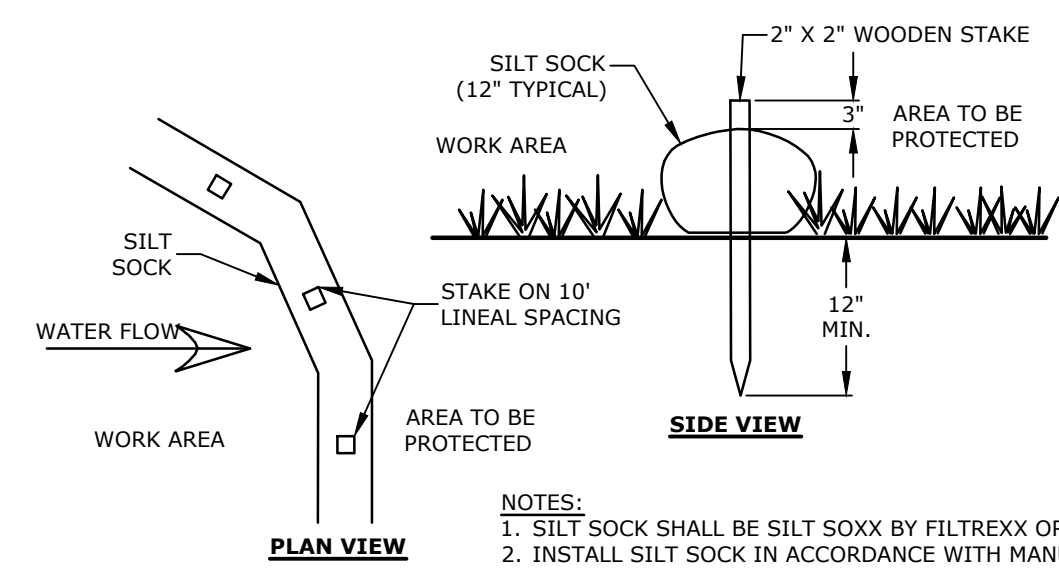
**BLASTING NOTES:**

- IF MORE THAN 5000 CUBIC YARDS ARE TO BE BLASTED A BLASTING PLAN SHALL BE PROVIDED. THE BLASTING PLAN SHALL INCLUDE:
  - LOCATION AND IDENTIFICATION OF DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES;
  - A GROUNDWATER QUALITY SAMPLING PROGRAM, APPROVED BY NHDES PRIOR TO INITIATING BLASTING, TO MONITOR FOR CHANGES IN GROUNDWATER QUALITY. SAMPLES SHALL BE TAKEN EITHER IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL OF THE DRINKING WATER SUPPLY WELLS IN THE AREA.
    - THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY NHDES.
- THE FOLLOWING PRACTICES FOR BLASTING SHALL BE COMPLIED WITH:
  - LOADING PRACTICES - THE FOLLOWING BASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
    - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND VEINS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS;
    - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLES, OR STORED IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
    - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND TURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;

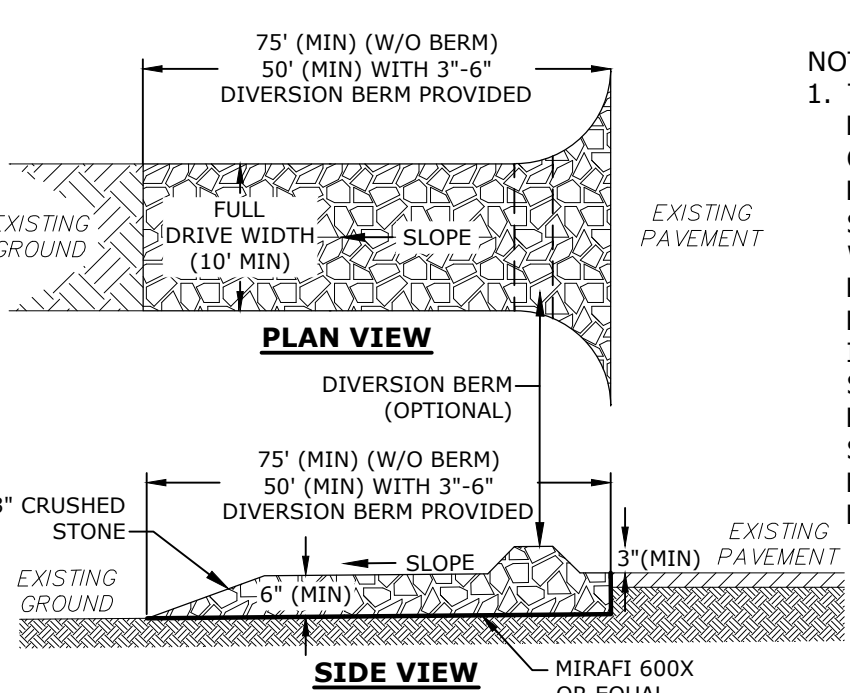
- LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BASTHOLE OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
- LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT;
- EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.

- EXPLOSIVE SELECTION - THE FOLLOWING BMP'S SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
  - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION;
  - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER
- PREVENTION OF MISFIRES, APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
- MUCK PILES MANAGEMENT - MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
  - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE;
  - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
- SPILL PREVENTION MEASURES AND SPILL MITIGATION - SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
  - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
    - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE;
    - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
    - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY;
    - INSPECT STORAGE AREAS WEEKLY;
    - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
    - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS;
  - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.

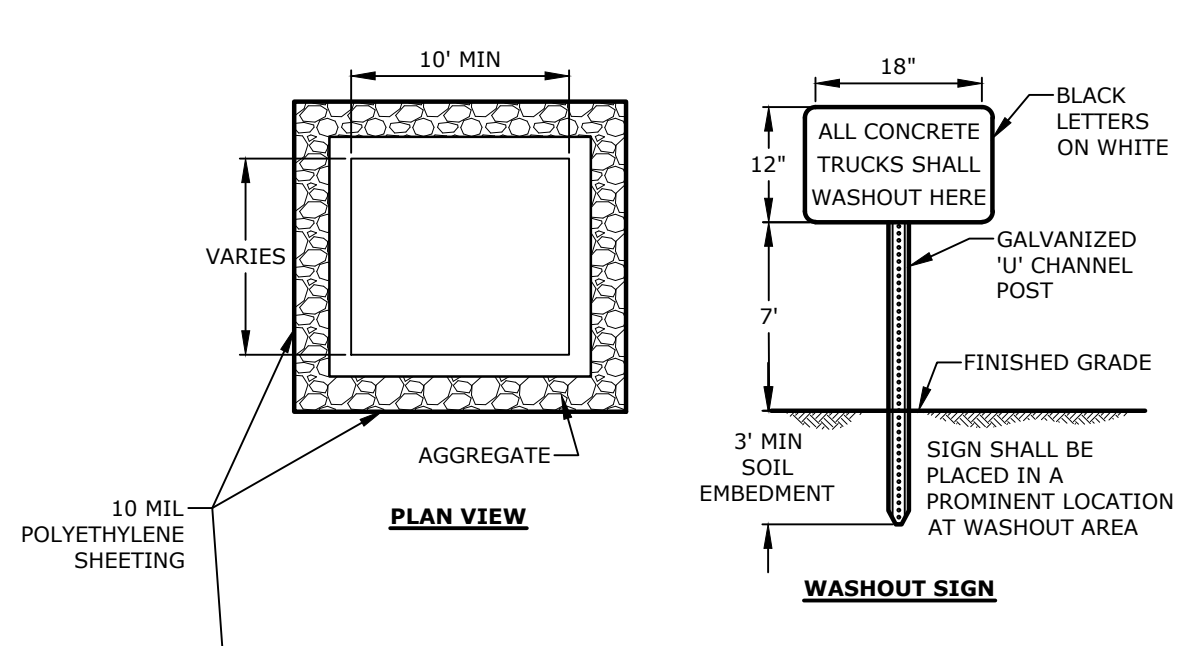
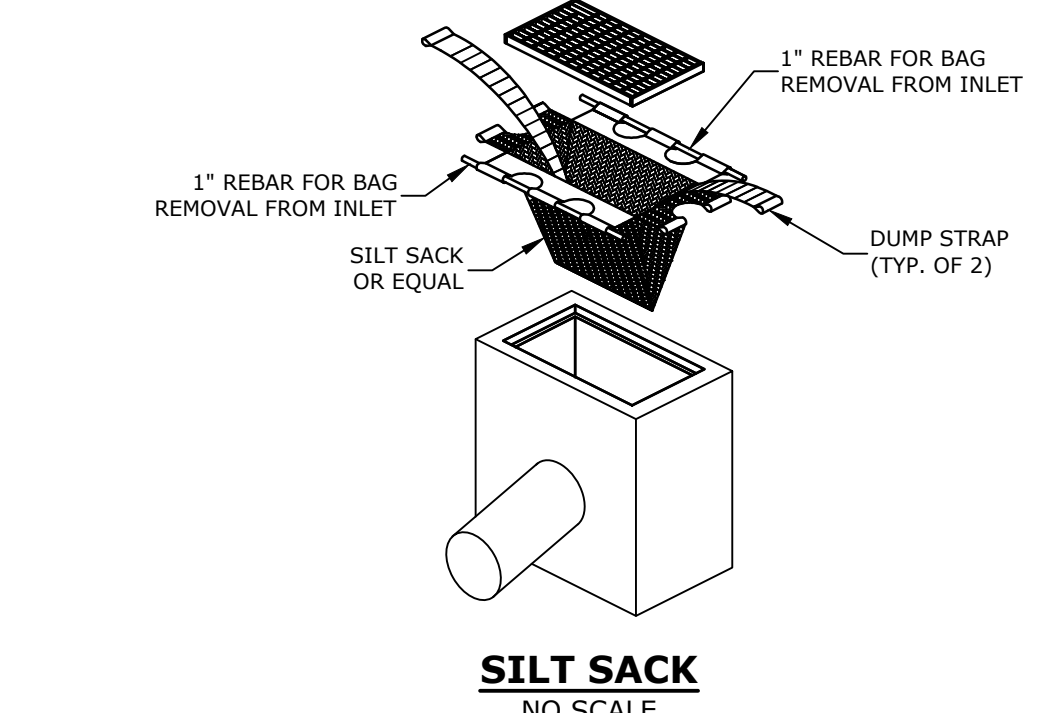
- THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
  - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
  - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
  - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
  - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES;
  - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
- THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
- FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES. THESE REQUIREMENTS ARE SUMMARIZED IN WID-WG08-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.  
HTTP://DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIF/FACTSHEETS/DWBG/DOCUMENTS/DW08-22-6.PDF



**SILT SOCK**  
NO SCALE

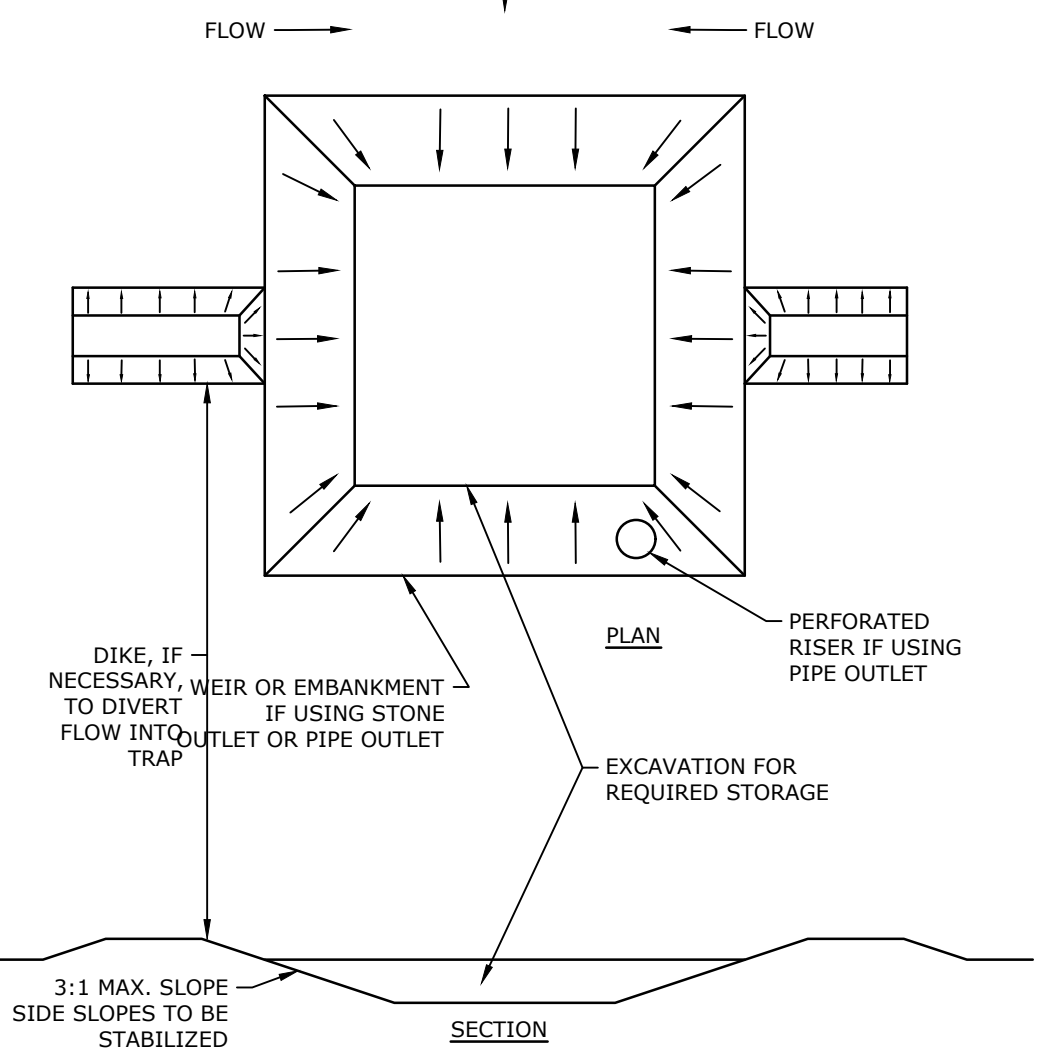


**STABILIZED CONSTRUCTION EXIT**  
NO SCALE



- NOTES:
- CONTAINMENT SHALL BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
  - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
  - WASHOUT SHALL BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
  - TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP.
  - TRAP SHALL DISCHARGE TO A STABILIZED AREA.
  - TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
  - MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
  - SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SLOPES ARE STABILIZED.
  - SEDIMENT TRAP SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM COLLEGE BROOK.

**CONCRETE WASHOUT AREA**  
NO SCALE



**SEDIMENT TRAP**  
NO SCALE

**Tighe & Bond**  
Engineers | Environmental Specialists

Harriman Project No. 16117

**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION**Mill Plaza**  
Redevelopment**Colonial Durham**  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS

PROJECT NO: M1529-002  
DATE: 5/23/2018  
FILE: M1529-002\_C-DTLS.dwg  
DRAWN BY: EGD  
CHECKED: JMP  
APPROVED: BLM

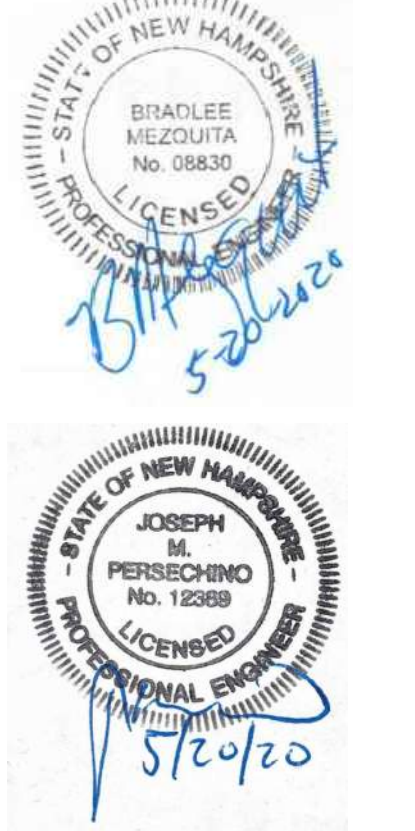
**EROSION CONTROL NOTES AND**  
DETAIL SHEET

SCALE: AS SHOWN

C-501



Harriman Project No. 16117



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

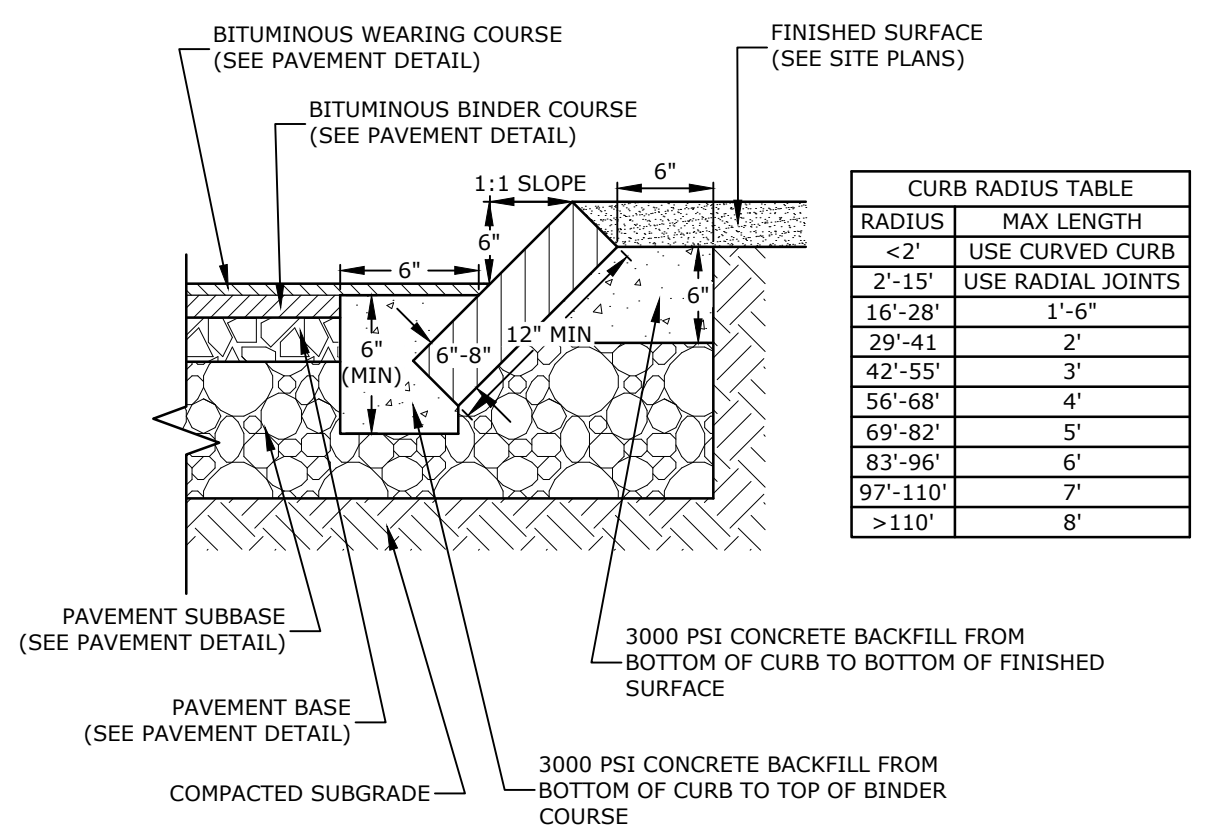
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS
MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	5/23/2018	
FILE:	M1529-002_C-DTLS.dwg	
DRAWN BY:	EGD	
CHECKED:	JMP	
APPROVED:	BLM	

DETAIL SHEET

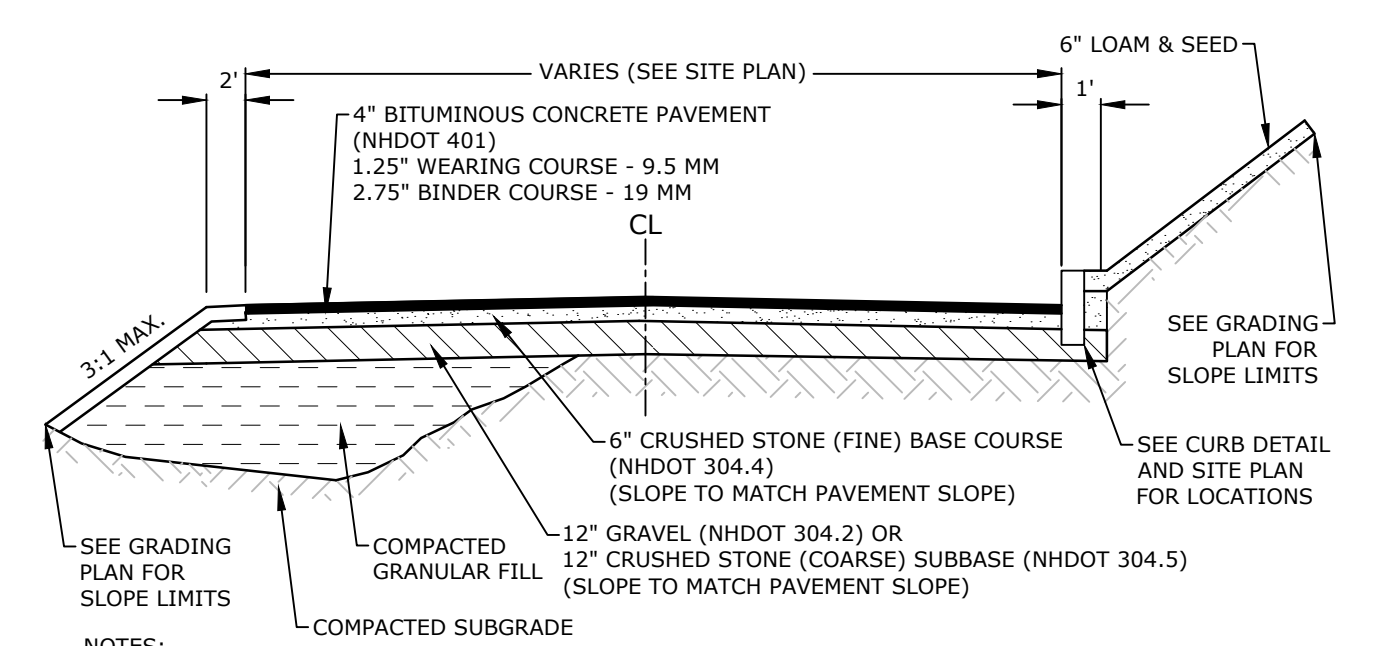
SCALE: AS SHOWN

C-502



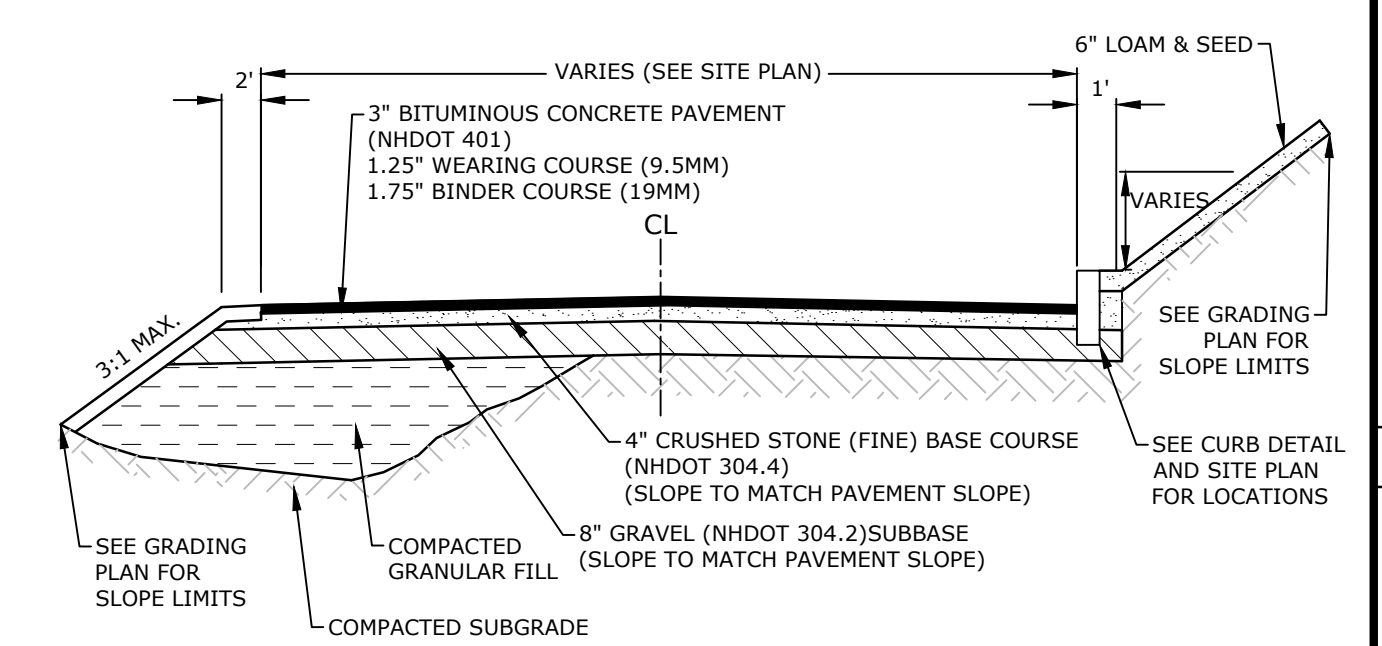
- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
  - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
  - MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
  - MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
  - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
  - JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

**SLOPED GRANITE CURB**  
NO SCALE



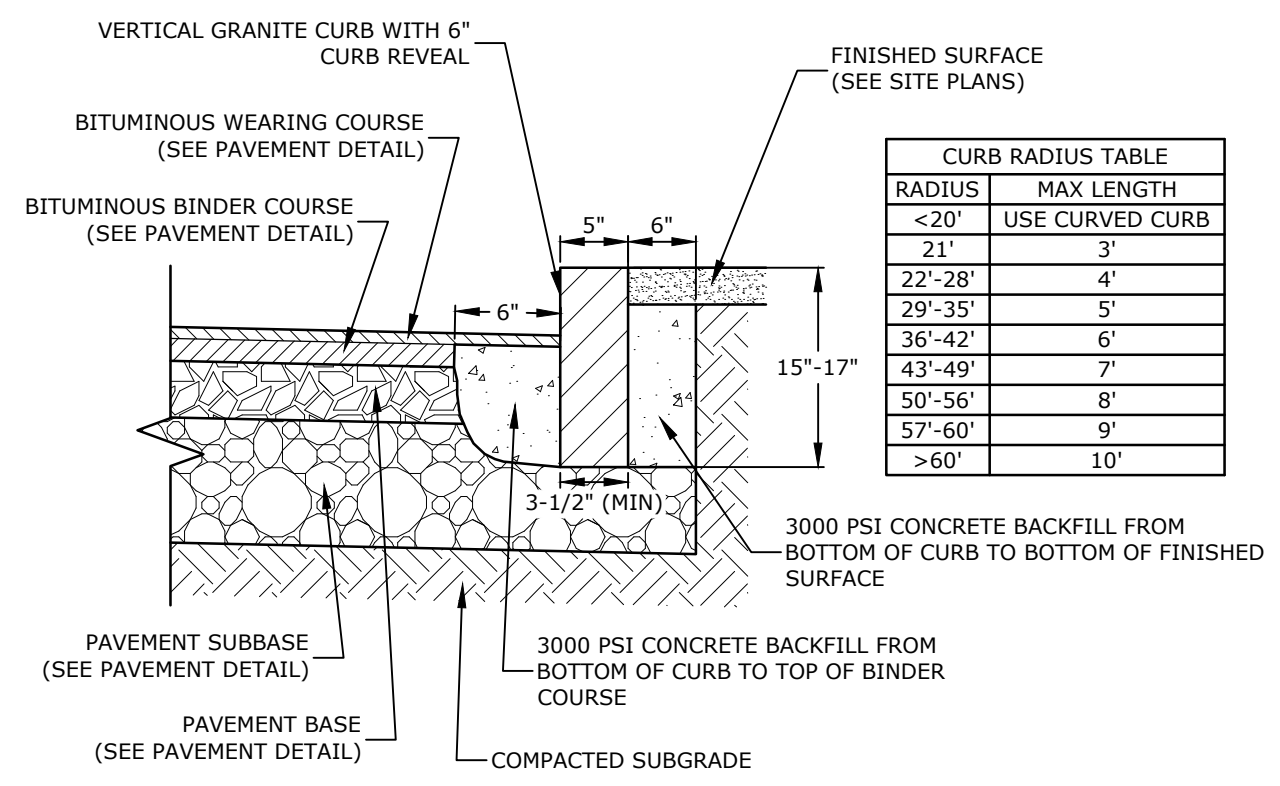
- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
  - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PAVEMENT SLOPES AND CROSS-SLOPES.
  - A TACK COAT SHALL BE PLACED ON TOP OF THE BINDER COURSE PRIOR TO PLACING THE WEARING COURSE.
  - CONTRACTOR SHALL HAVE THE OPTION OF RECLAIMING THE EXISTING PAVEMENT AND REMOVING THE MATERIAL, THEN REUSING THE RECLAIMED MATERIAL AS A PAVEMENT SUBBASE.

**HEAVY DUTY PAVEMENT SECTION**  
NO SCALE



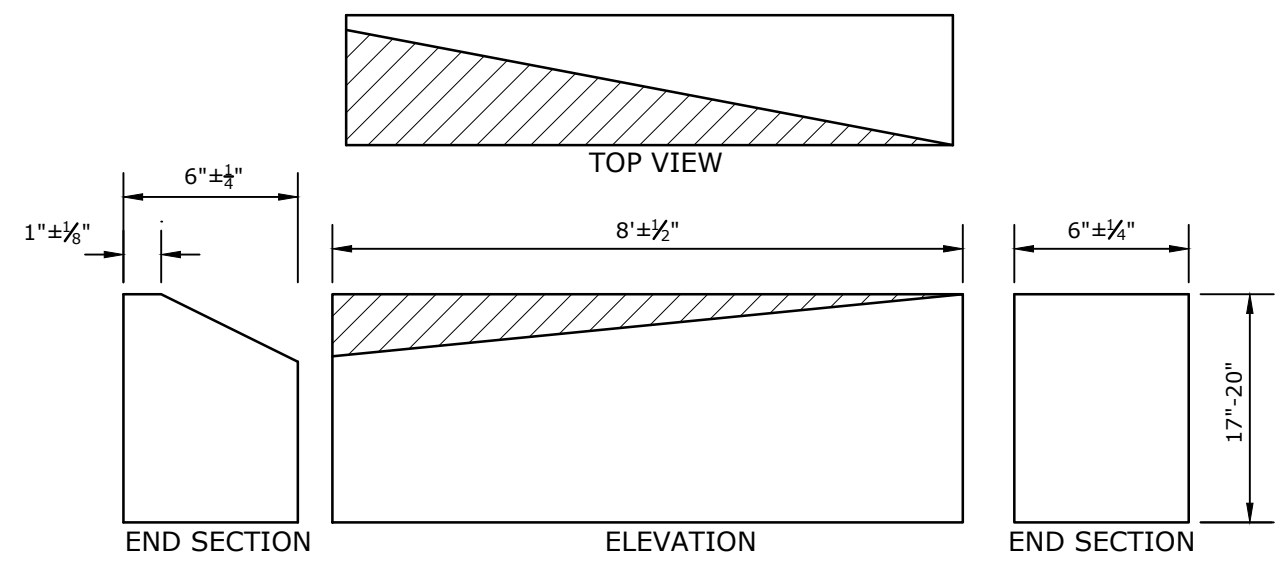
- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
  - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PAVEMENT SLOPES AND CROSS-SLOPES.
  - A TACK COAT SHALL BE PLACED ON TOP OF THE BINDER COURSE PRIOR TO PLACING THE WEARING COURSE.
  - CONTRACTOR SHALL HAVE THE OPTION OF RECLAIMING THE EXISTING PAVEMENT AND REMOVING THE MATERIAL, THEN REUSING THE RECLAIMED MATERIAL AS A PAVEMENT SUBBASE.

**STANDARD DUTY PAVEMENT SECTION**  
NO SCALE



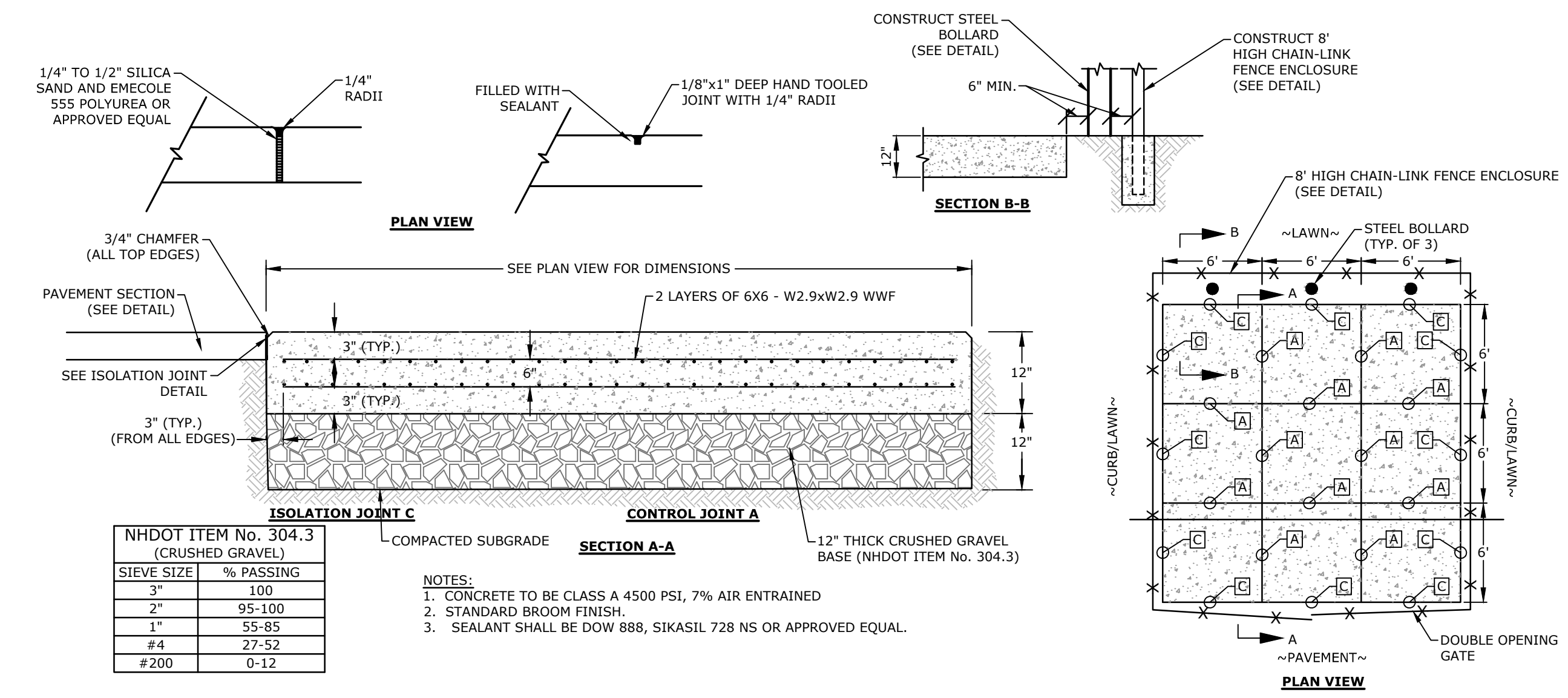
- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
  - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
  - MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
  - MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
  - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
  - ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
  - JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

**VERTICAL GRANITE CURB**  
NO SCALE

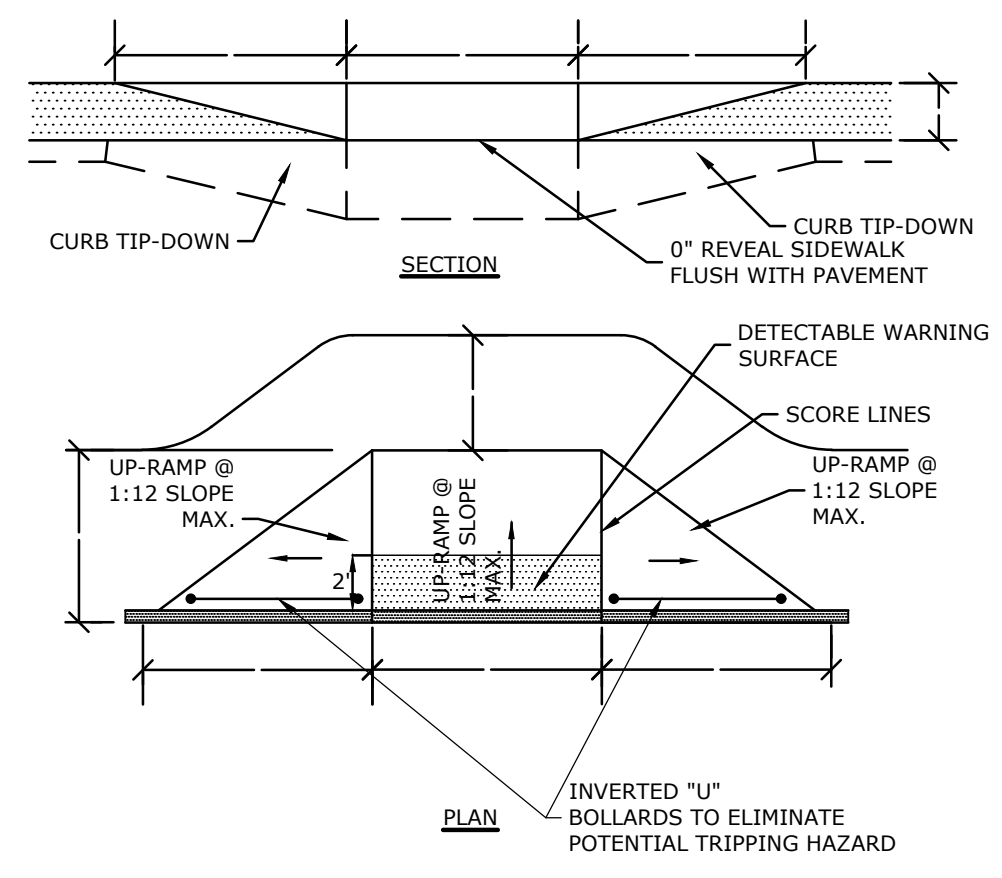


- NOTES:
- THE INTENT OF THIS ITEM IS TO PROVIDE A SMOOTH TRANSITION BETWEEN STRAIGHT GRANITE CURB AND SLOPE CURB WITHOUT REQUIRING FIELD CHIPPING DURING INSTALLATION. THE SLOPE CURB MAY REQUIRE ADJUSTMENTS TO MEET THE TRANSITION PIECE HEIGHT. TRANSITION SLOPE CURB TO STANDARD REVEAL AS QUICKLY AS POSSIBLE TO PROVIDE FOR THIS SMOOTH TRANSITION.

**CURB TRANSITION**  
NO SCALE

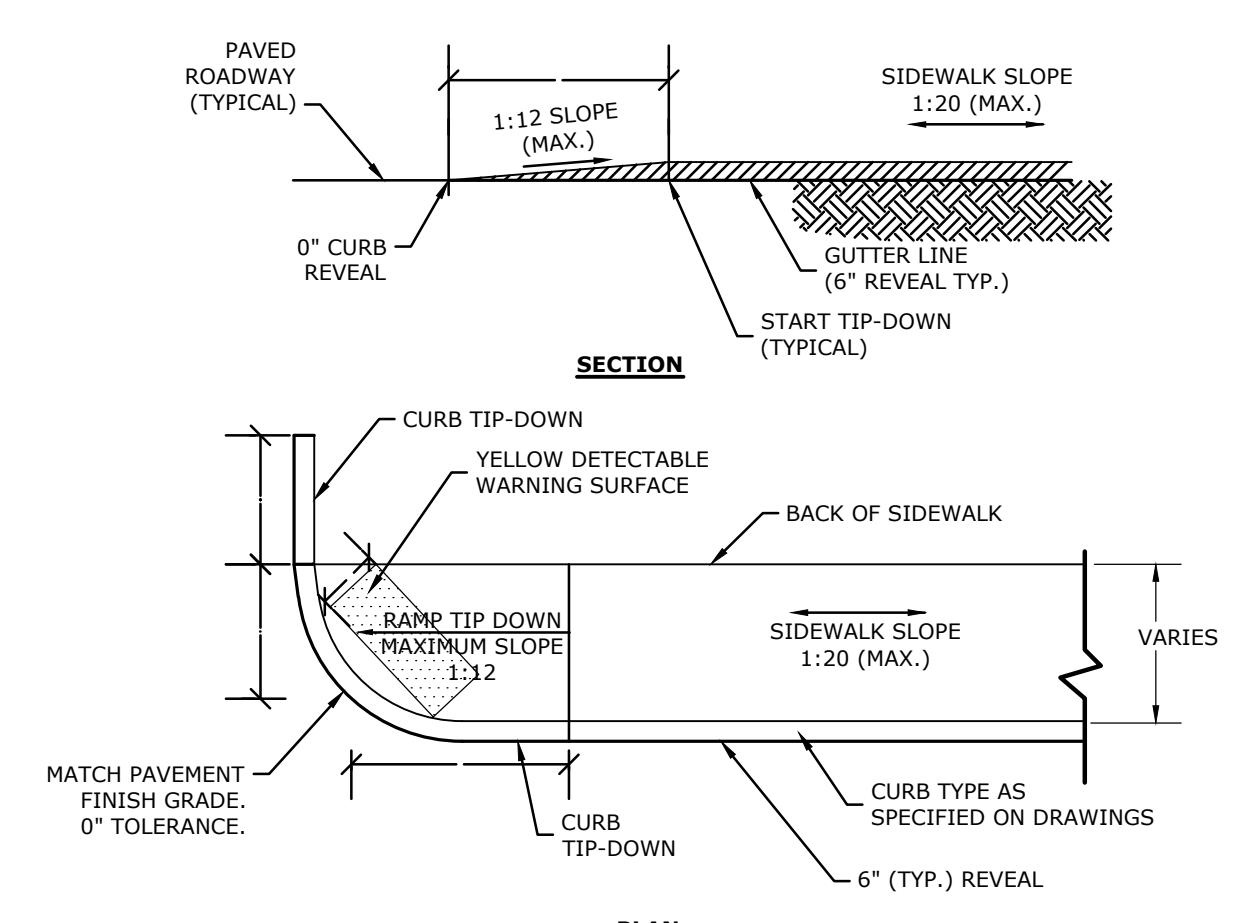


**DUMPSTER PAD**  
NO SCALE



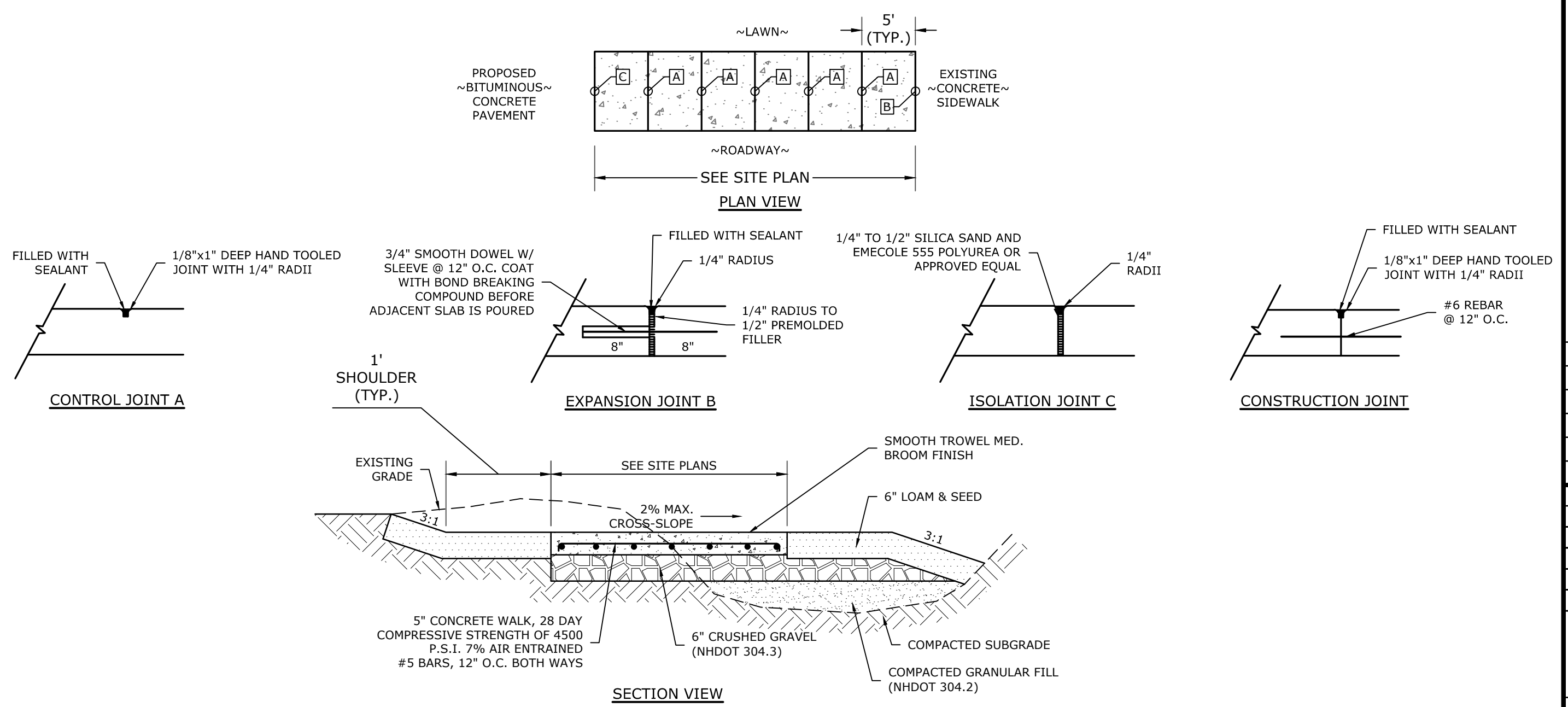
- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
  - PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMPS
  - DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

**CONCRETE WHEEL CHAIR ACCESSIBLE**  
NO SCALE



- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
  - PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMPS
  - DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

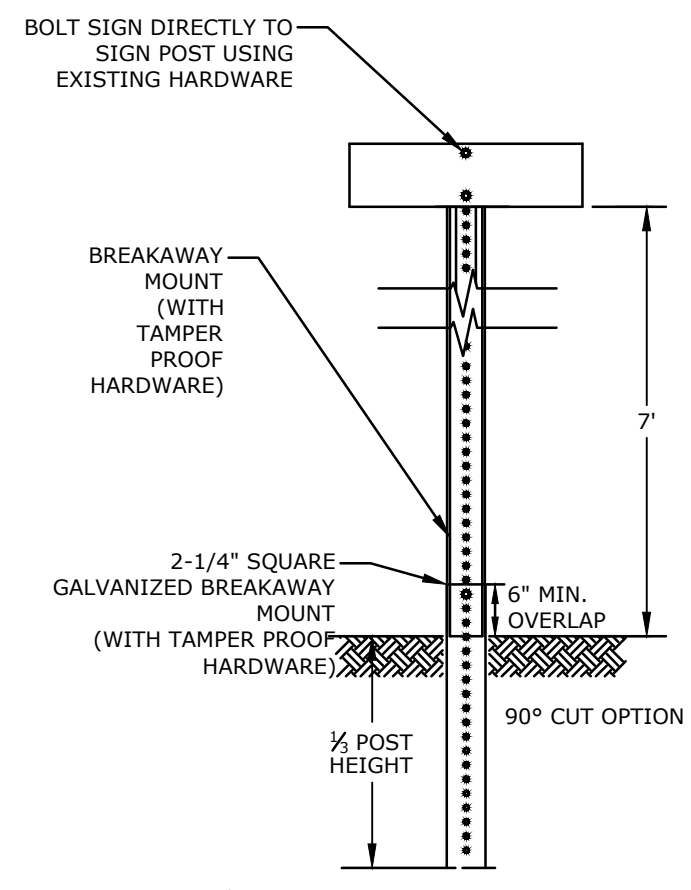
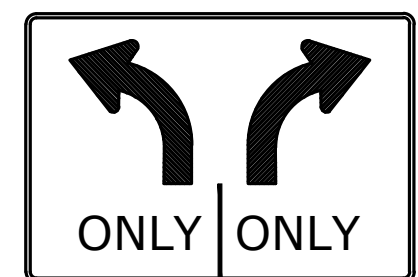
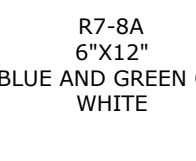
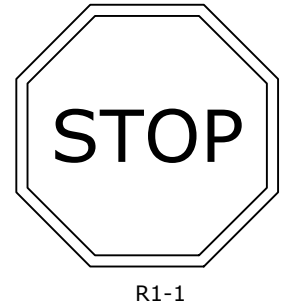
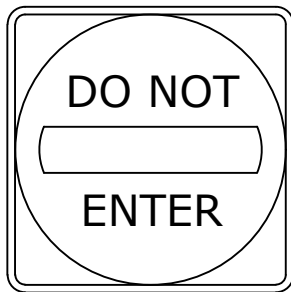
**CONCRETE SIDEWALK TIP DOWN RAMP**  
NO SCALE



**CONCRETE SIDEWALK**  
NO SCALE

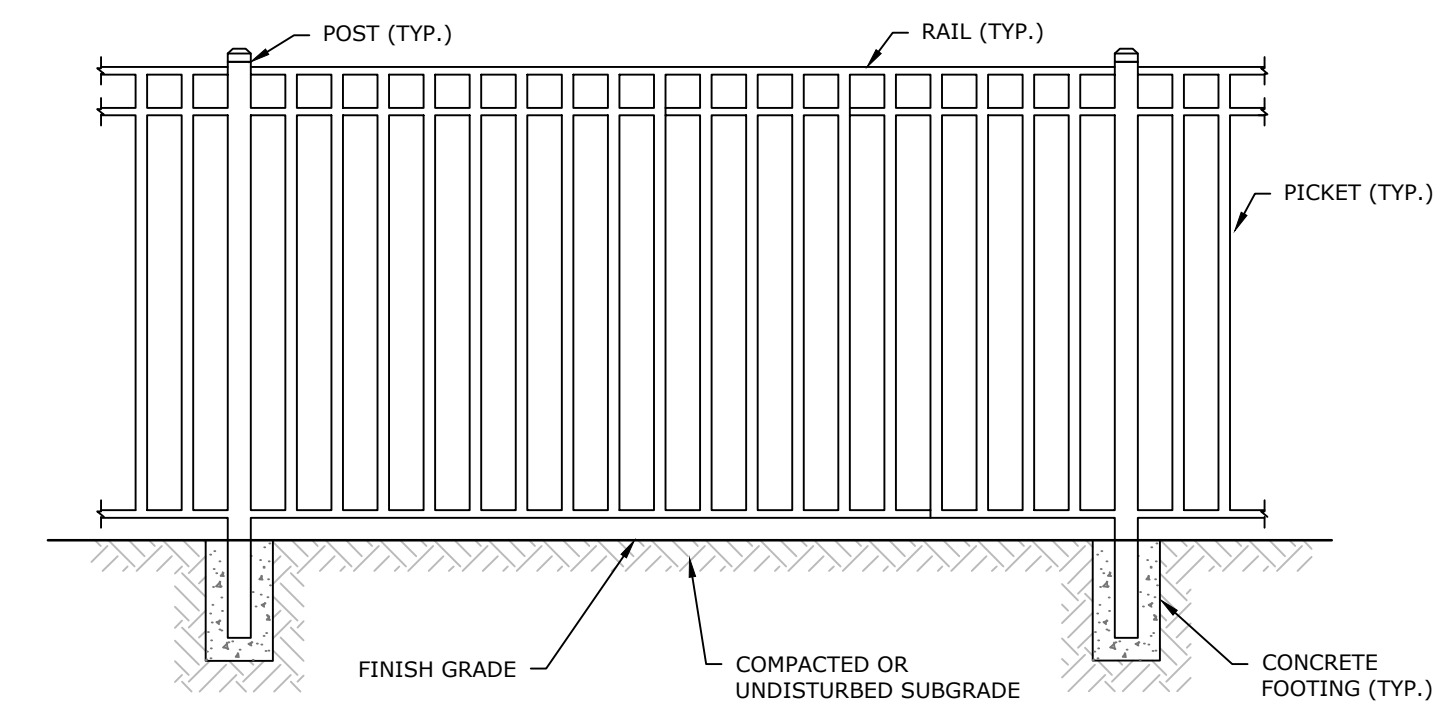
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 L:\002-Mill Road Plaza Drawings-Figures\AutoCAD\Sheet\M1529-002\_C-DTLS.dwg





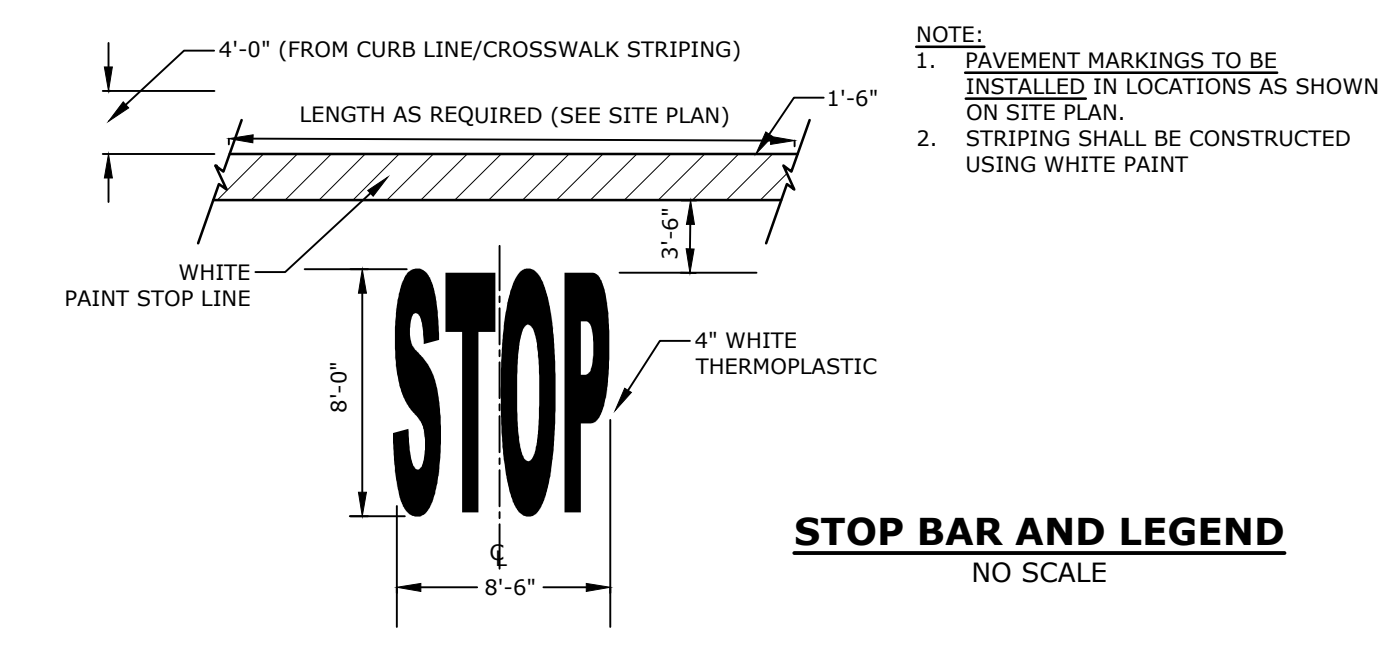
\* IN LEDGE DRILL & GROUT TO A MIN OF 2' NOTE:  
 ALL SIGNS TO BE CONSTRUCTED PER THE LATEST EDITION OF THE FHWA STANDARD HIGHWAY SIGNS MANUAL AND INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.  
 LENGTH: AS REQUIRED  
 WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)  
 HOLES: 7/16\"/>

**SIGN LEGEND & SIGN POST**  
NO SCALE

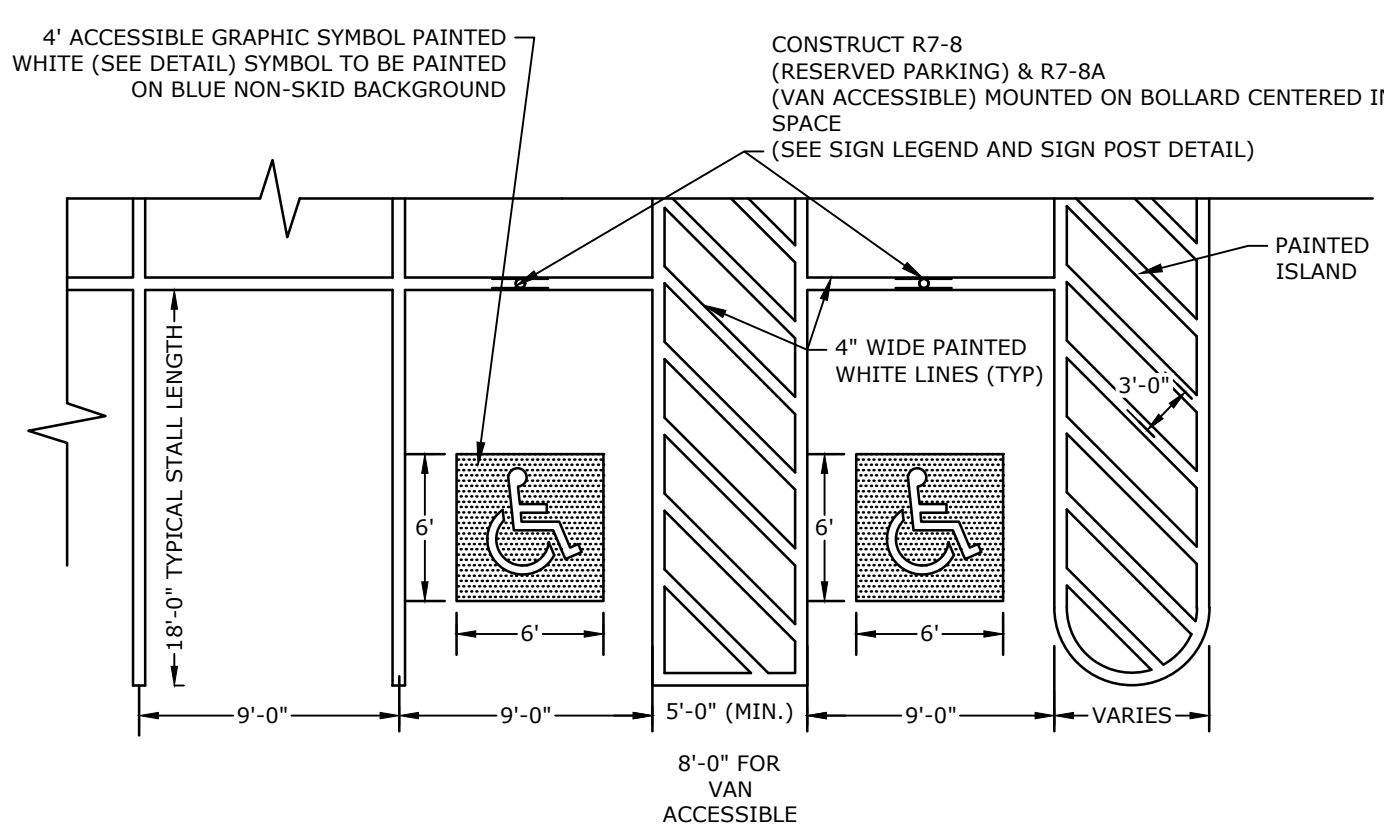


NOTES:  
 1. FENCE TO BE NATIONAL FENCE SYSTEMS, INC. OPAL GEMSTONE ALUMINUM STYLE FENCE OR APPROVED EQUAL, AS APPROVED BY OWNER.  
 2. FINISH TO BE HOT DIP GALVANIZED, PAINTED WITH ONE COAT TWO-PART EPOXY PRIMER AND FINISH COATED WITH TWO-PART POLYURETHANE. COLOR TO BE FLAT BLACK.  
 3. FIELD TOUCH UP ALL FASTENERS AND SCRATCHES DUE TO SHIPPING, PACKAGING, AND ERECTION USING PAINT KIT PROVIDED.  
 4. SEE MANUFACTURERS RECOMMENDATIONS FOR CONCRETE FOOTING DIMENSIONS AND SPECIFICATIONS.

**ORNAMENTAL METAL FENCE**  
NO SCALE

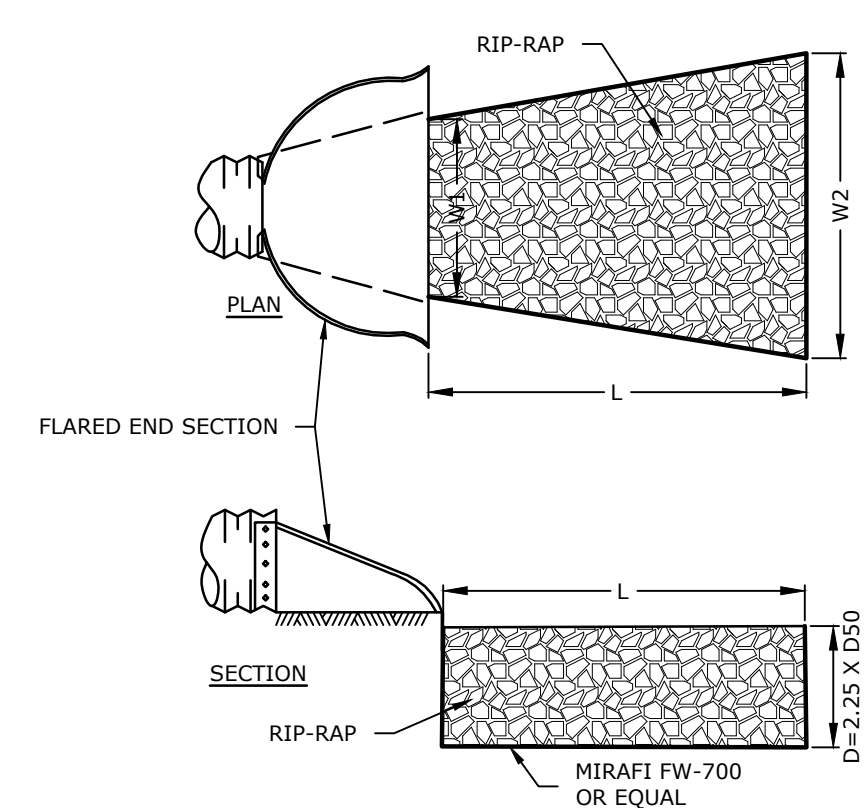


**STOP BAR AND LEGEND**  
NO SCALE



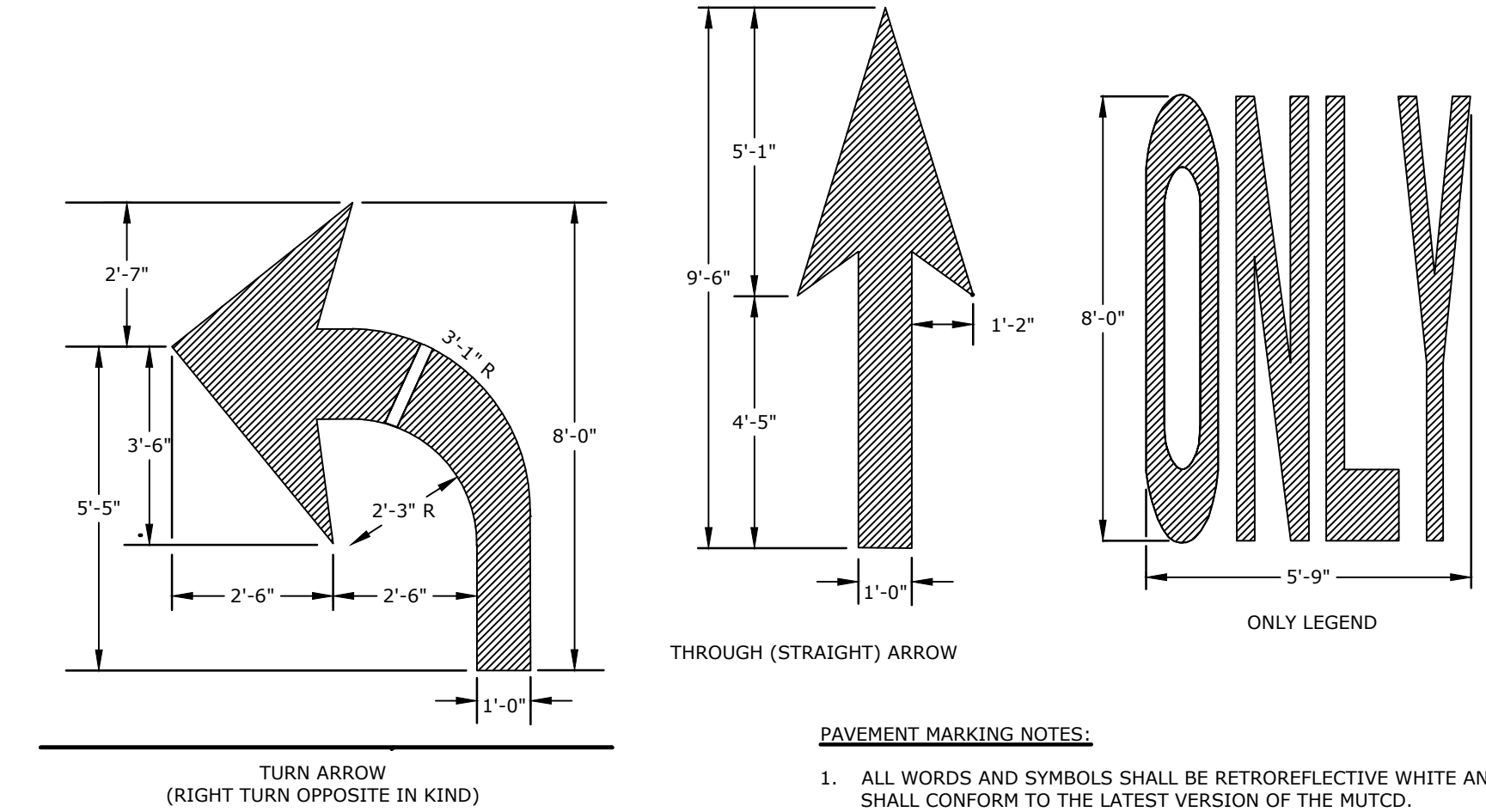
NOTES:  
 1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.  
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.  
 3. FINISH PAVEMENT GRADES AT ALL HANDICAP ACCESSIBLE STALLS AND PAINTED ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.

**PARKING STALL/PAINTED ISLAND STRIPING**  
NO SCALE



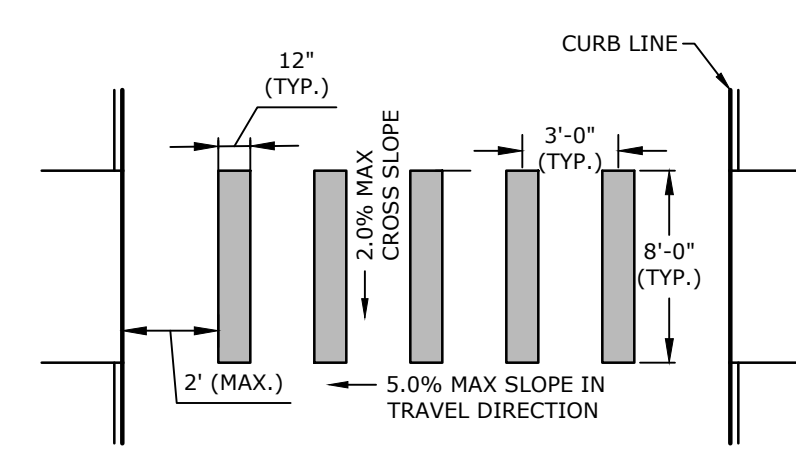
NOTES:  
 1. STONE SIZE AND MAT DIMENSIONS DETAILED ON PLANS.  
 2. STONE SHALL CONSIST OF SUB-ANGULAR FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE. FLAT OR ROUND ROCKS ARE NOT ACCEPTABLE. THE STONE SHALL BE HARD AND OF SUCH QUALITY THAT IT WILL NOT DISINTEGRATE ON EXPOSURE TO WATER OR WEATHERING, BE CHEMICALLY STABLE AND IT SHALL BE SUITABLE IN ALL OTHER RESPECTS FOR THE PURPOSE INTENDED. THE BULK SPECIFIC GRAVITY (SATURATED SURFACE-DRY BASIS) OF THE INDIVIDUAL STONES SHALL BE AT LEAST 2.5.  
 3. THE STONE SHALL BE COMPOSED OF A WELL-GRADED MIXTURE DOWN TO THE ONE-INCH SIZE PARTICLE SUCH THAT 50 PERCENT OF THE MIXTURE BY WEIGHT SHALL BE LARGER THAN THE D50 SIZE SPECIFIED. A WELL-GRADED MIXTURE IS DEFINED AS A MIXTURE COMPOSED PRIMARILY OF THE LARGER STONE SIZE BUT WITH A SUFFICIENT MIXTURE OF OTHER SIZES TO FILL THE PROGRESSIVELY SMALLER VOIDS BETWEEN THE STONES. THE DIAMETER OF THE LARGEST STONE SIZE IN SUCH A MIXTURE SHALL BE 1.5 TIMES THE D50 SIZE.

**RIP-RAP APRON DETAIL**  
NO SCALE



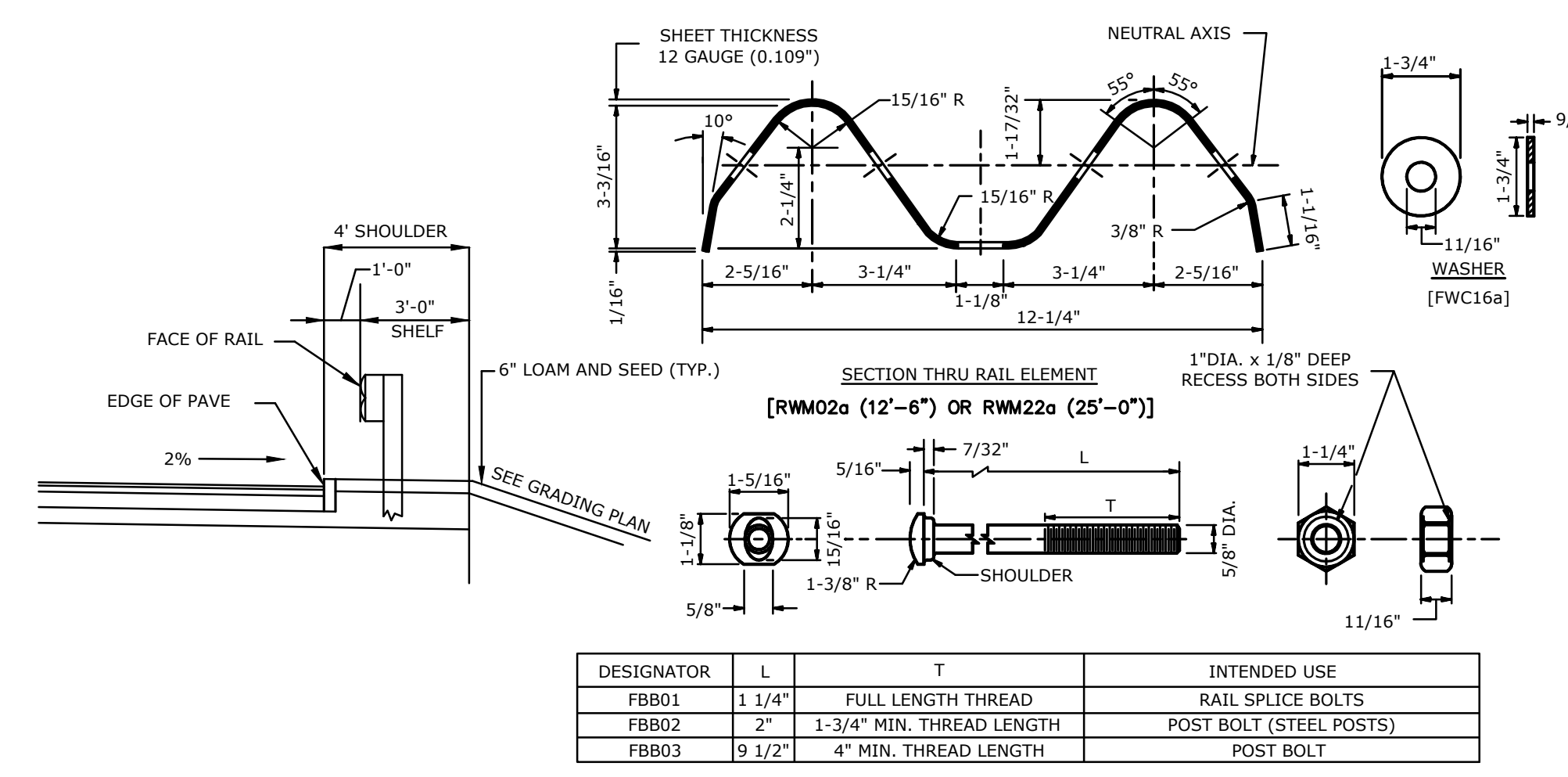
PAVEMENT MARKING NOTES:  
 1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.  
 2. MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.  
 3. THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".  
 4. COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH ARROWS). HOWEVER, THE SHAFTS OF THE ARROWS SHALL COINCIDE AS SHOWN.  
 5. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.  
 6. WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.  
 7. ALL STOP BARS, WORDS, SYMBOLS AND ARROW SHALL BE WHITE PAINT.

**PAVEMENT MARKINGS**  
NO SCALE



NOTES:  
 1. PAVEMENT MARKINGS AND STRIPING TO BE CONSTRUCTED USING FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.  
 2. 12\"/>

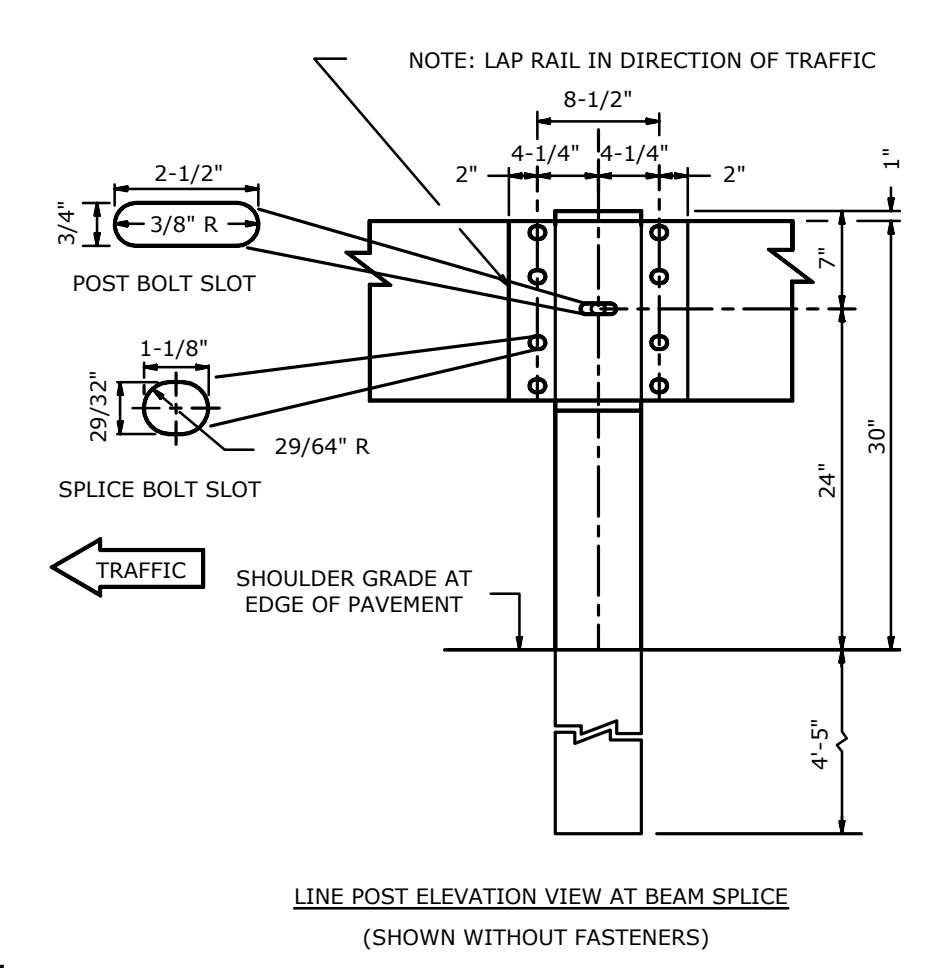
**CROSSWALK STRIPING**  
NO SCALE



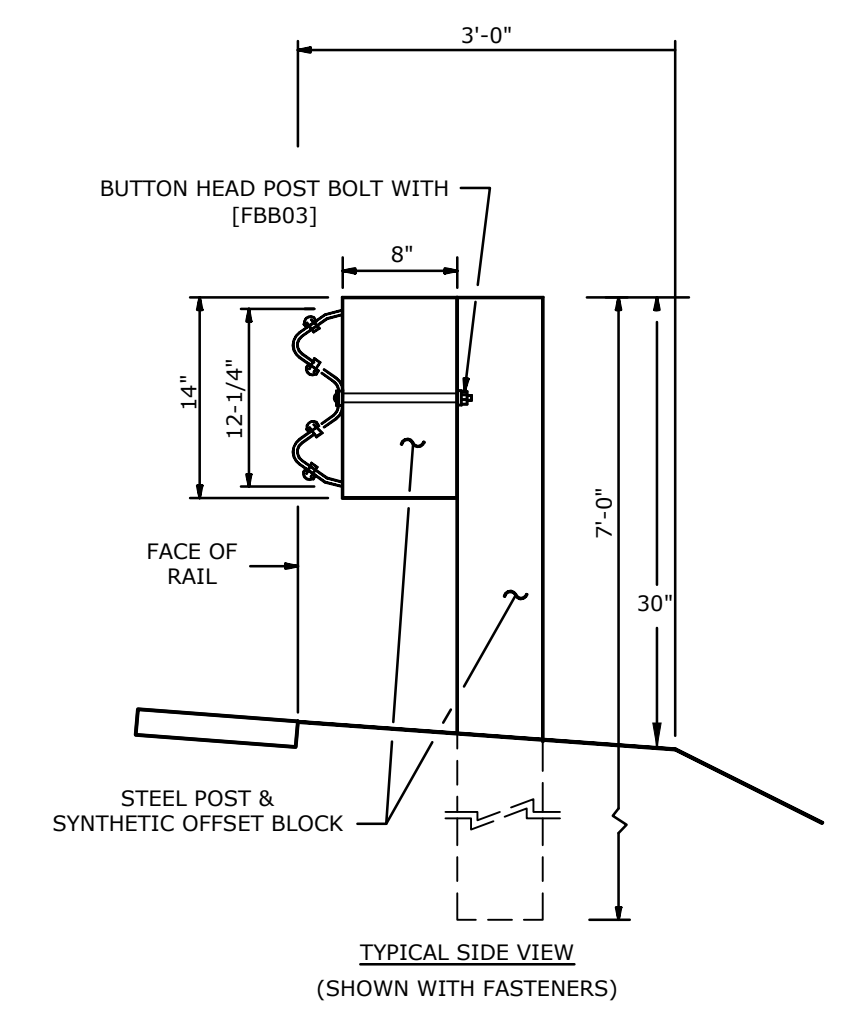
NOTES:  
 1. THE LENGTH OF NEED IS THE TOTAL LENGTH OF A LONGITUDINAL BARRIER NEEDED TO SHIELD AN AREA OF CONCERN. TO DETERMINE THE LENGTH OF NEED, REFER TO THE "ROADSIDE DESIGN GUIDE" - AASHTO (1989).  
 2. DESIGNATION PROVIDED IN BRACKETS ( ) REFERENCE STANDARD ELEMENTS DETAILED IN "A GUIDE TO STANDARDIZED HIGHWAY BARRIER RAIL HARDWARE" (1979) - AASHTO - AGC - ARTBA JOINT COOPERATIVE COMMITTEE.  
 3. USE 12\"/>

DESIGNATOR	L	T	INTENDED USE
FB01	1 1/4"	FULL LENGTH THREAD	RAIL SPLICE BOLTS
FB02	2"	1-3/4" MIN. THREAD LENGTH	POST BOLT (STEEL POSTS)
FB03	9 1/2"	4" MIN. THREAD LENGTH	POST BOLT

**STEEL POST/STEEL BEAM GUARDRAIL**  
NO SCALE



**LINE POST ELEVATION VIEW AT BEAM SPLICE**  
(SHOWN WITHOUT FASTENERS)



**TYPICAL SIDE VIEW**  
(SHOWN WITH FASTENERS)



Harriman Project No. 16117

**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION

**Mill Plaza**  
Redevelopment

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

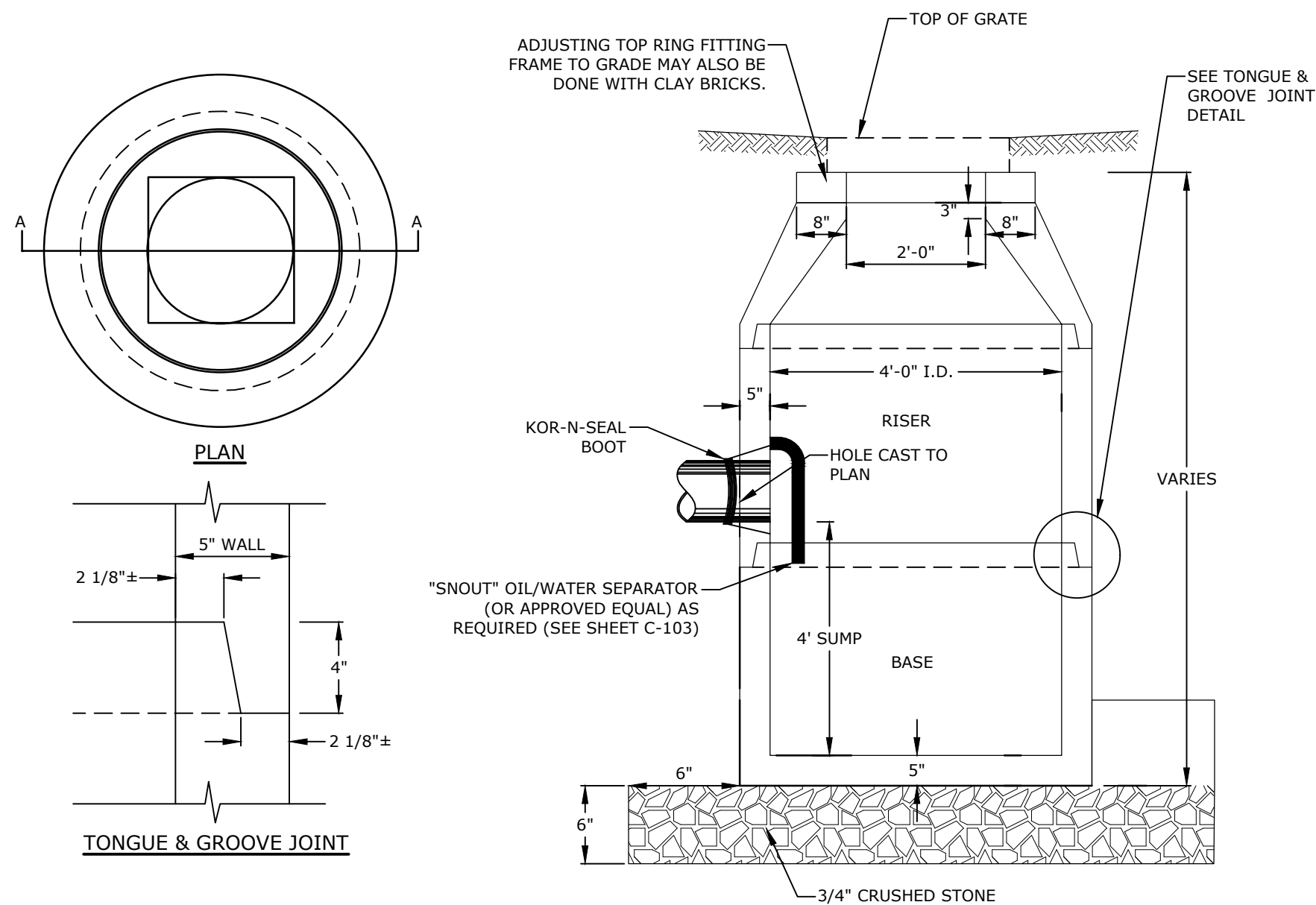
MARK	DATE	GENERAL REVISIONS
	1/2/2020	GENERAL REVISIONS
PROJECT NO:	M1529-002	
DATE:	5/23/2018	
FILE:	M1529-002_C-DTLS.dwg	
DRAWN BY:	EGD	
CHECKED:	JMP	
APPROVED:	BLM	

DETAIL SHEET

SCALE: AS SHOWN

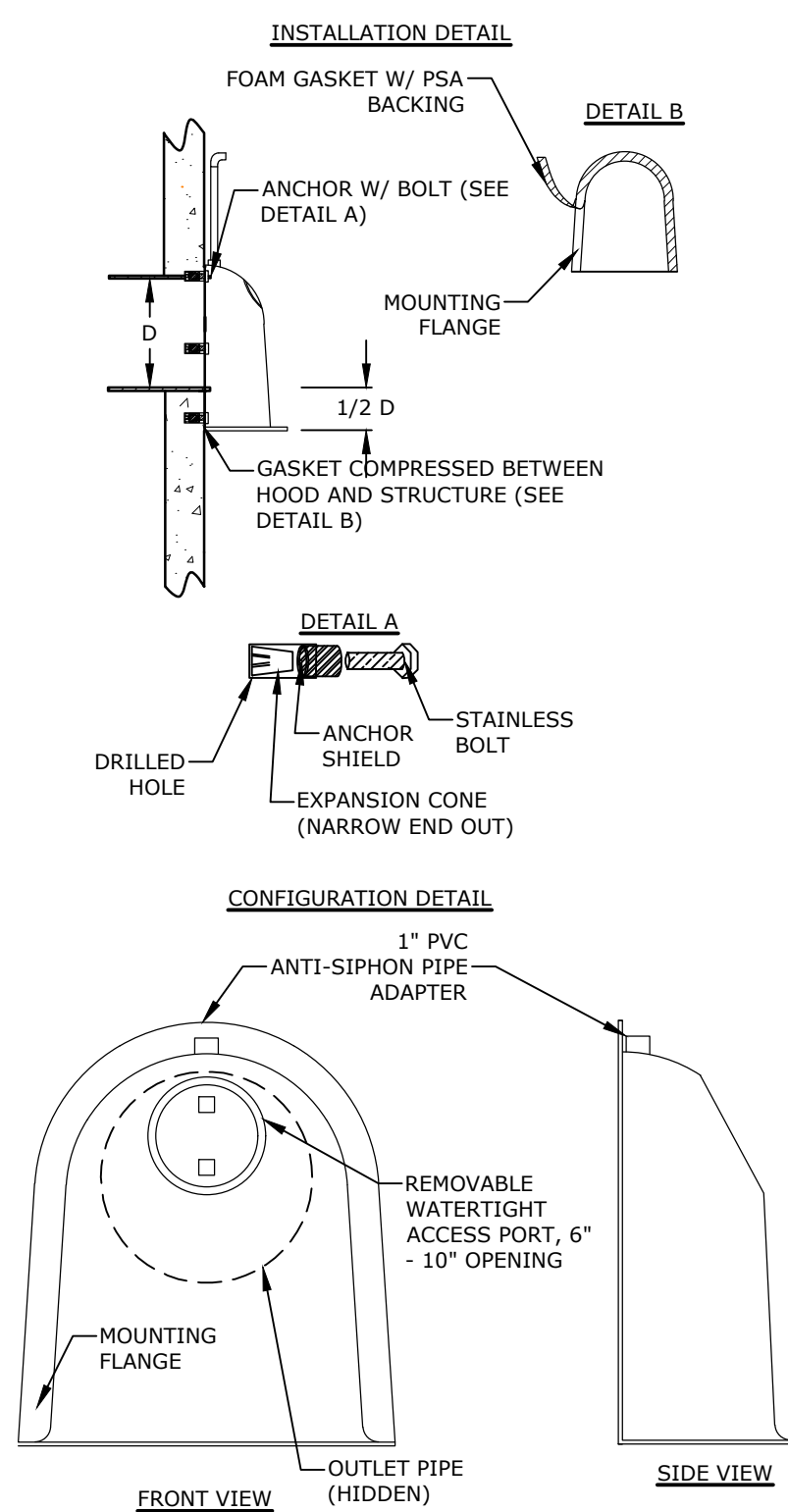
C-503

Left Sheet: 12/30/2019 3:07pm By: Edoremus  
 Plotted On: Dec 30, 2019 4:07pm By: Edoremus  
 Tighe & Bond: J:\M1529-002\_C-DTLS.dwg



- NOTES:
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI).
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF WALL.
  3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
  4. RISERS OF 1', 2', 3', & 4' CAN BE USED TO REACH DESIRED DEPTH.
  5. THE STRUCTURES SHALL BE DESIGN FOR H2O LOADING.
  6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.

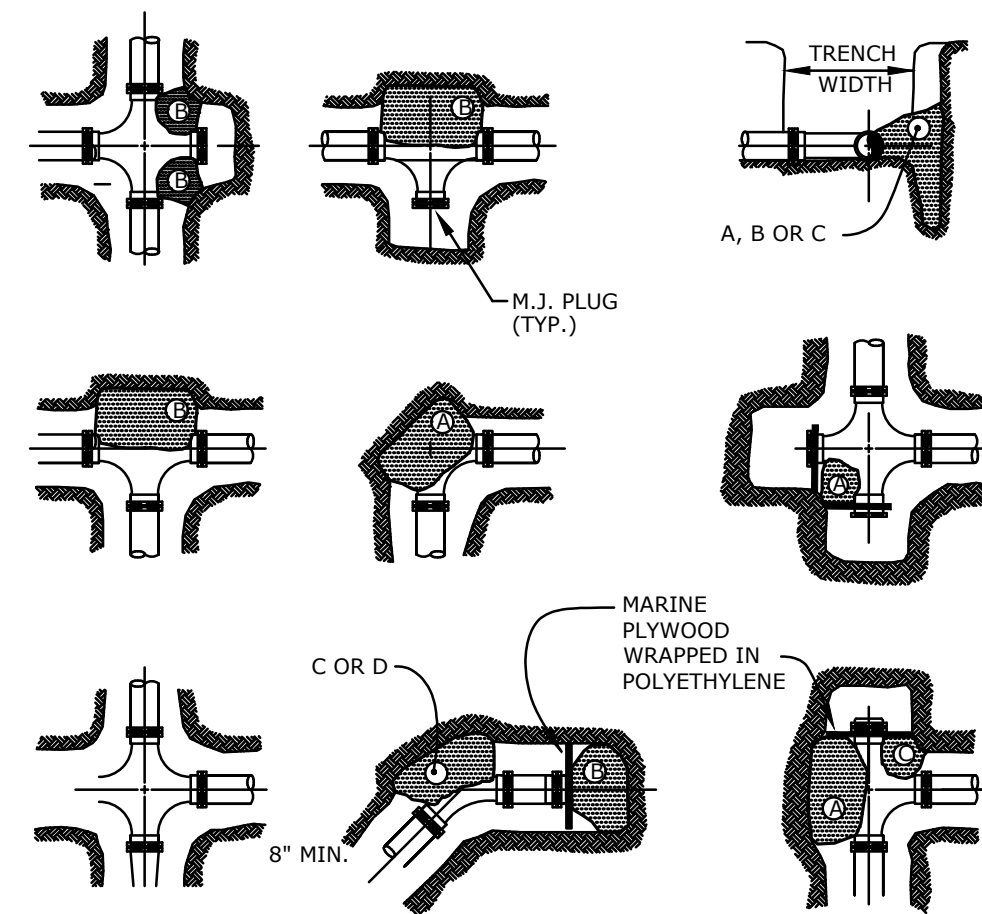
**4' DIAMETER CATCHBASIN**  
NO SCALE



PIPE SIZE (I.D.)	SNOUT MODEL REQ'D
12"	18R
15"	18R
18"	24R
24"	30R
30"	54R
36"	54R
42"	72F
48"	72F
54"	96F
60"	96F
66"	96F

F=SQUARE STRUCTURE  
R=CIRCULAR STRUCTURE

**SNOUT OIL-WATER-DEBRIS SEPARATOR**  
NO SCALE

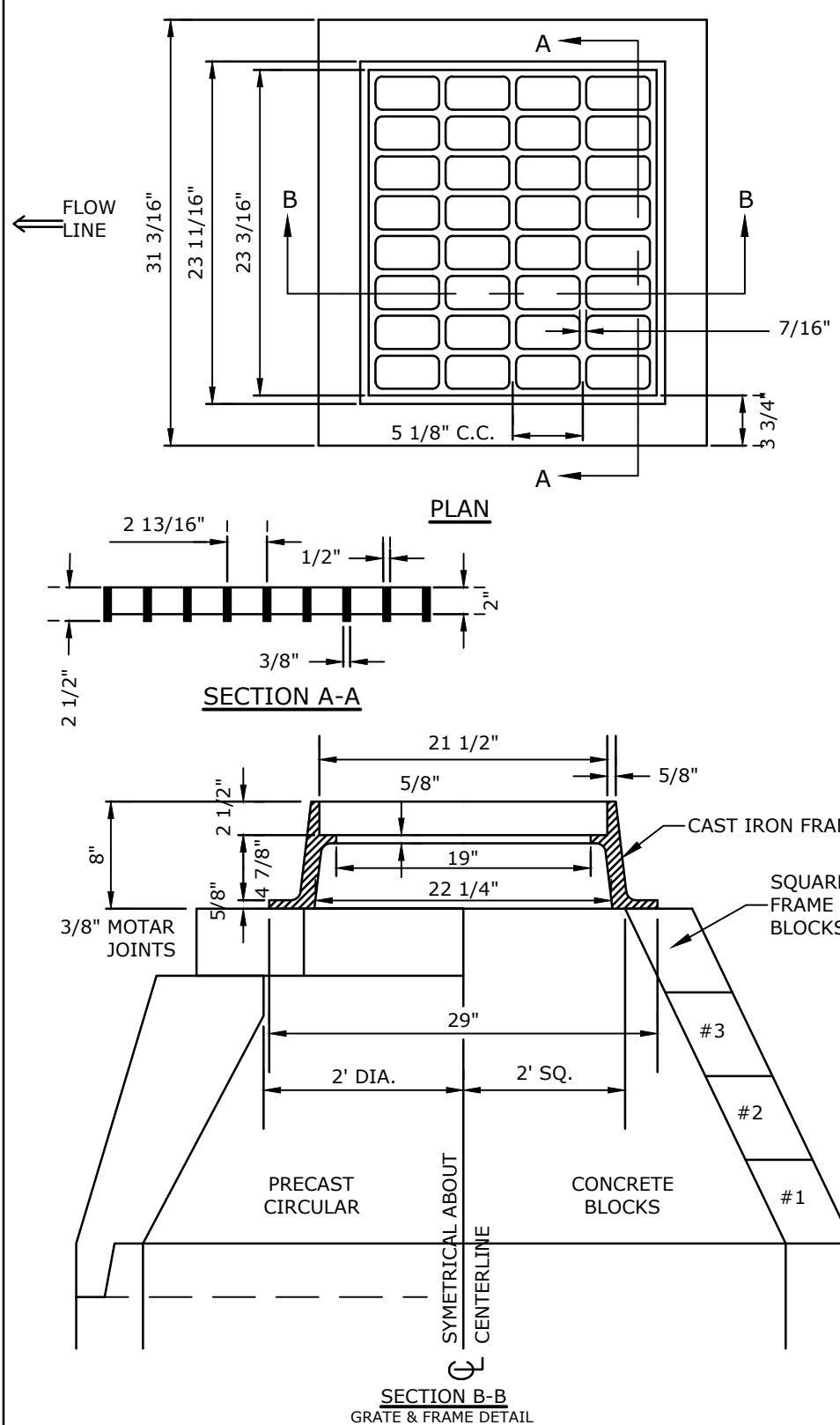


**THRUST BLOCK DETAIL**  
NO SCALE

VOLUME OF CONCRETE AS DETERMINED BY ENGINEER

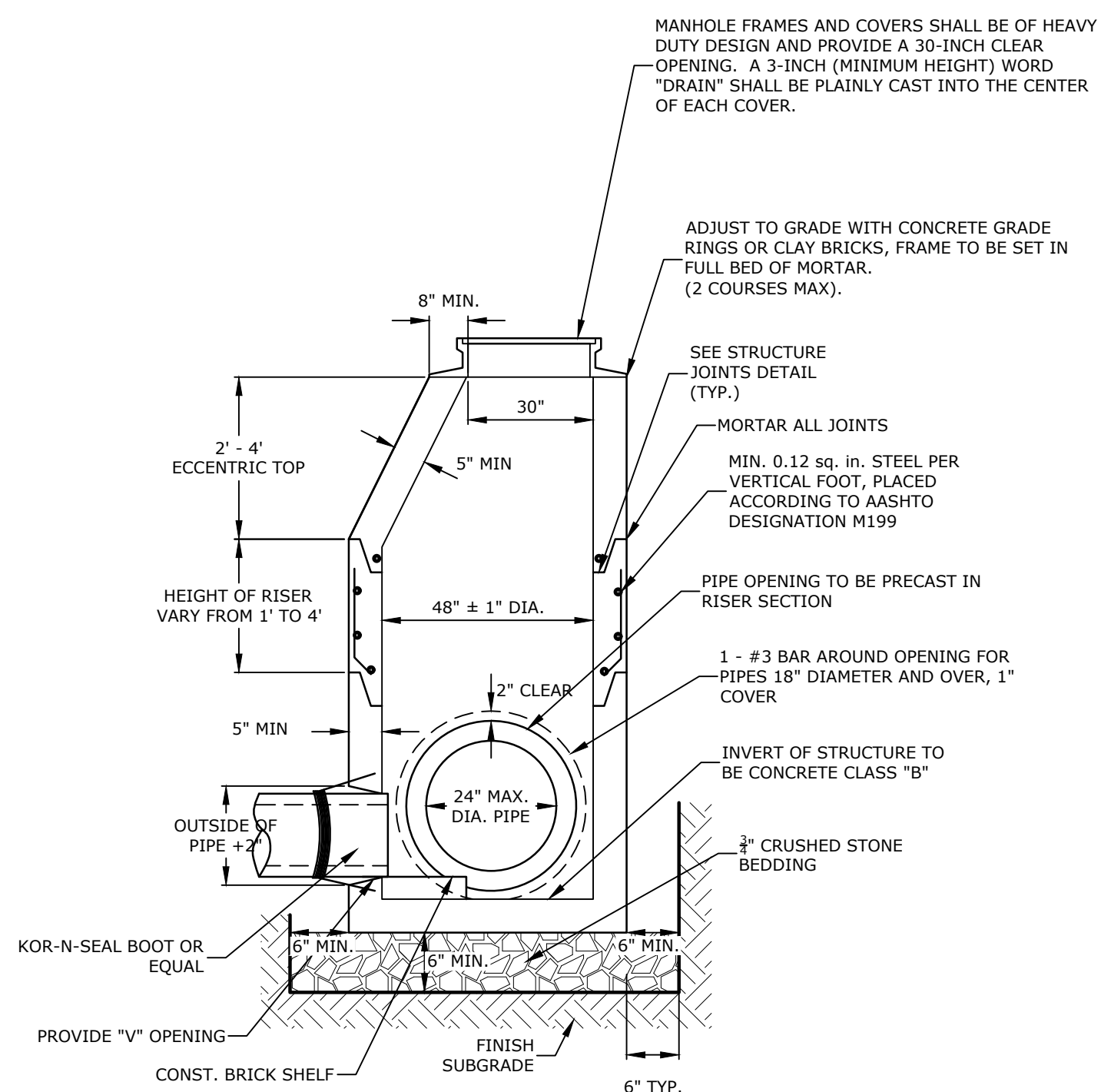
REACTION TYPE	PIPE SIZE			
	4"	6"	8"	10"
A 90°	0.89	2.19	3.82	11.14
B 180°	0.65	1.55	2.78	8.38
C 45°	0.48	1.19	2.12	6.02
D 22-1/2°	0.25	0.60	1.06	3.08
E 11-1/4°	0.13	0.30	0.54	1.54

- NOTES:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
  2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
  4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
  5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE PER COMMUNITY SERVICES DEPARTMENT.



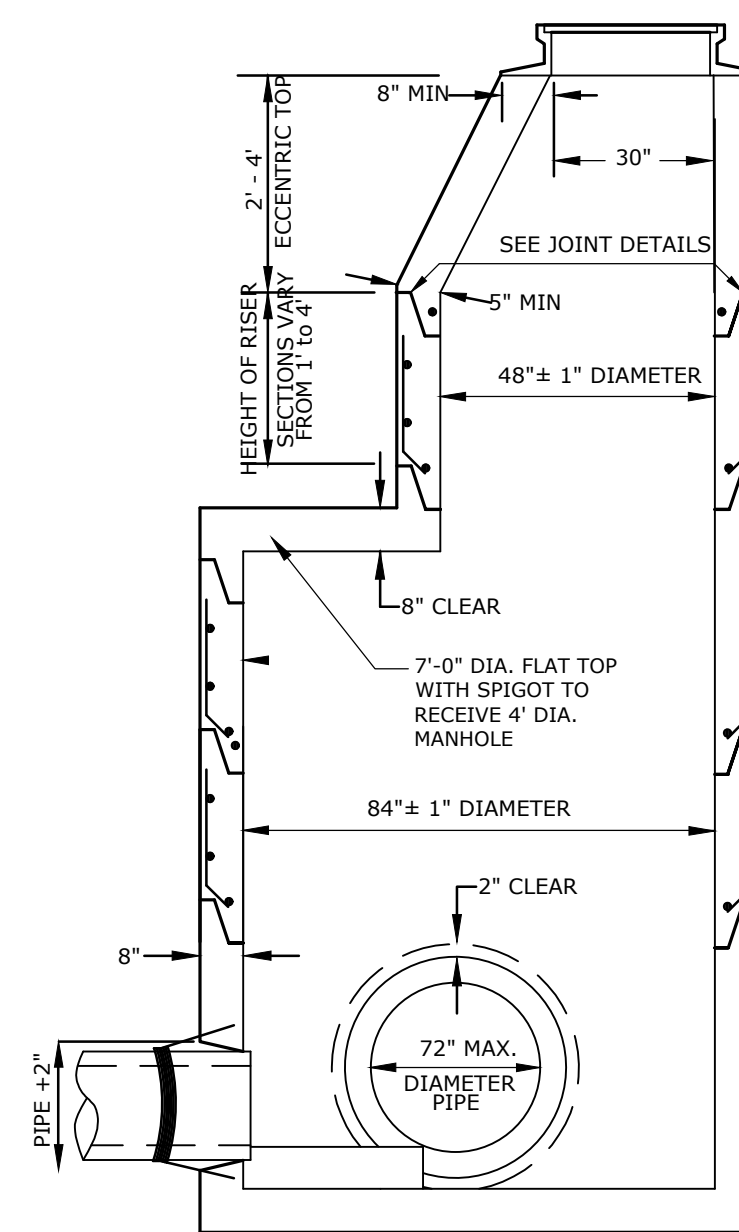
- NOTE:
1. GRATE TO BE CAST IRON (NHOOT TYPE B ALTERNATE 1)
  2. FRAME AND GRATE TO BE MANUFACTURED IN THE USA

**CATCH BASIN FRAME & GRATE**  
NO SCALE



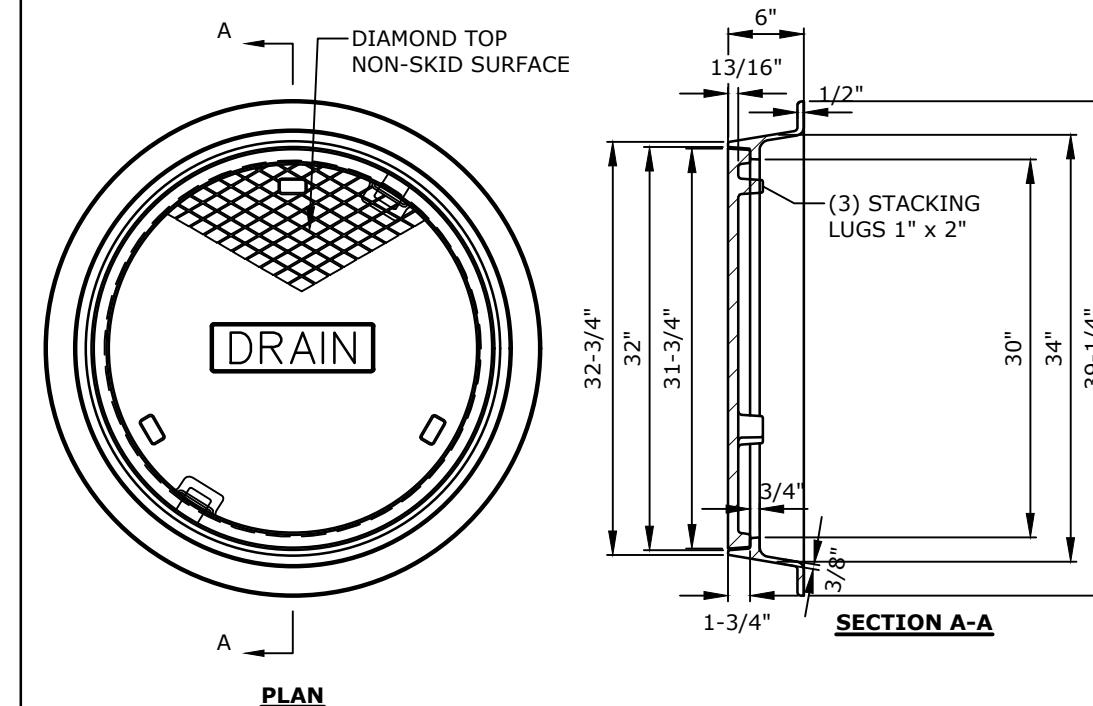
**4' DIAMETER DRAIN MANHOLE**  
NO SCALE

- NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
  3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  4. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
  5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
  6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
  7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
  8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 2" BEYOND INSIDE WALL OF STRUCTURE.
  9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
  10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.



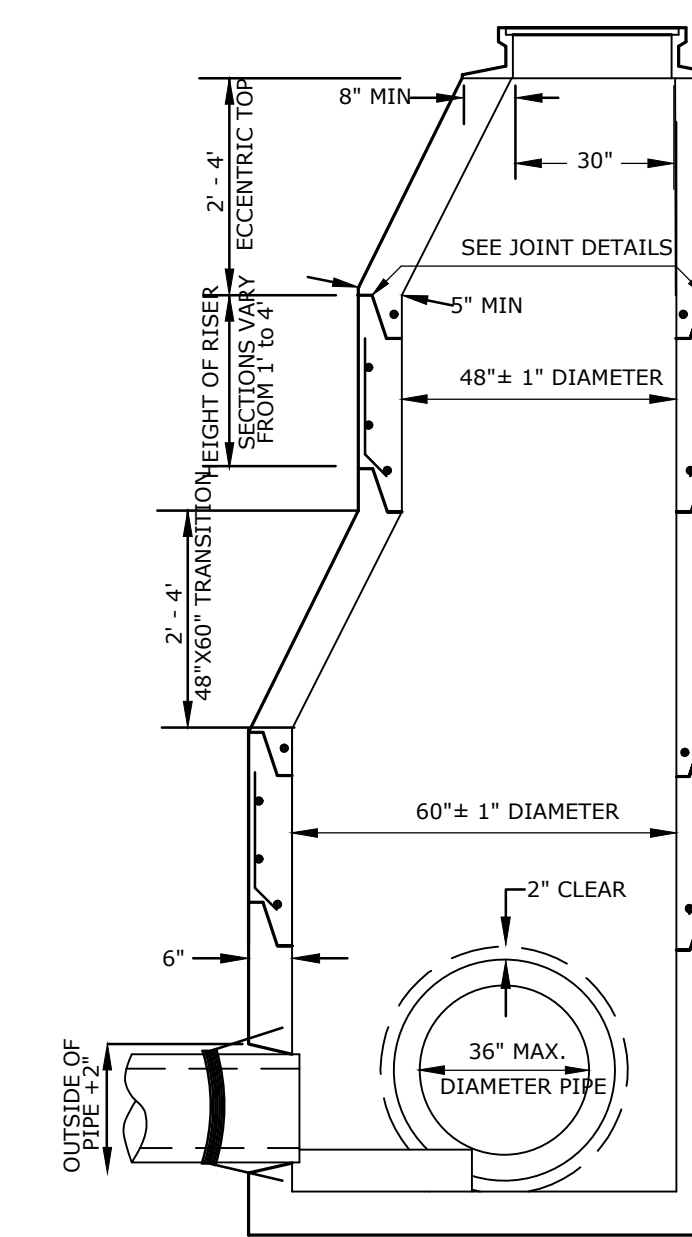
**7' DIAMETER DRAIN MANHOLE**  
NO SCALE

- NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
  3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  4. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
  5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
  6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.

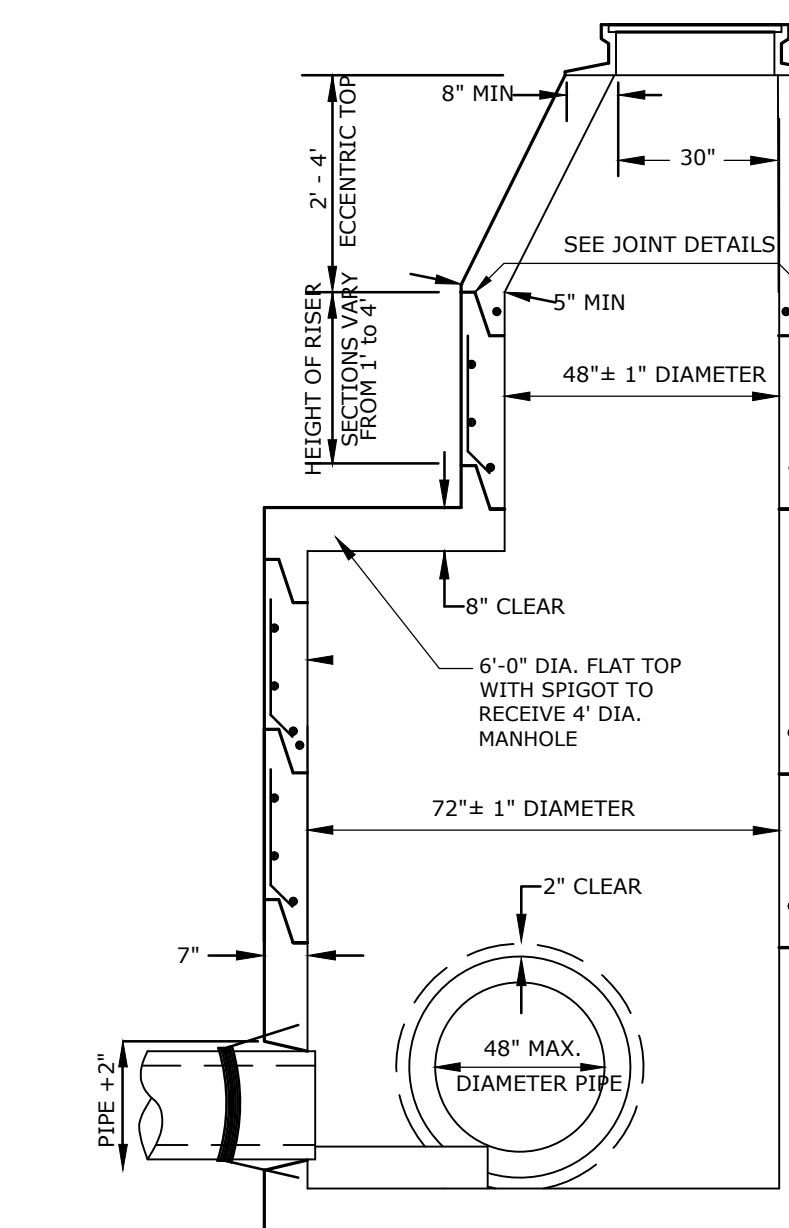


**DRAIN MANHOLE FRAME & COVER**  
NO SCALE

- NOTES:
1. ALL DIMENSIONS ARE NOMINAL.
  2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
  - 2.A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
  - 2.B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
  - 2.C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
  3. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.



**5' DIAMETER DRAIN MANHOLE**  
NO SCALE



**6' DIAMETER DRAIN MANHOLE**  
NO SCALE



**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION

**Mill Plaza**  
Redevelopment

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

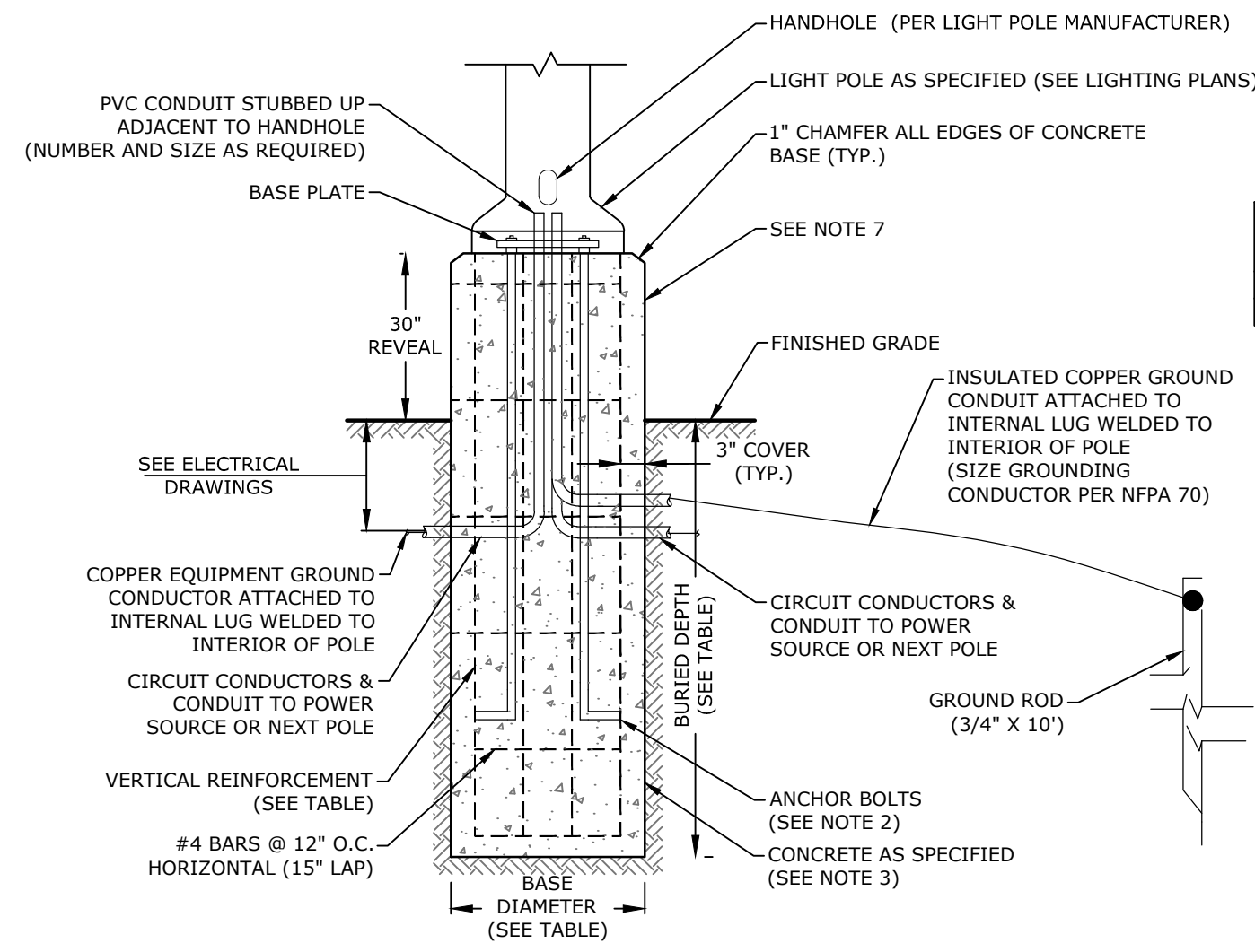
MARK	DATE	DESCRIPTION
	1/2/2020	GENERAL REVISIONS

PROJECT NO: M1529-002  
DATE: 5/23/2018  
FILE: M1529-002\_C-DTLS.dwg  
DRAWN BY: EGD  
CHECKED: JMP  
APPROVED: BLM

DETAIL SHEET

SCALE: AS SHOWN

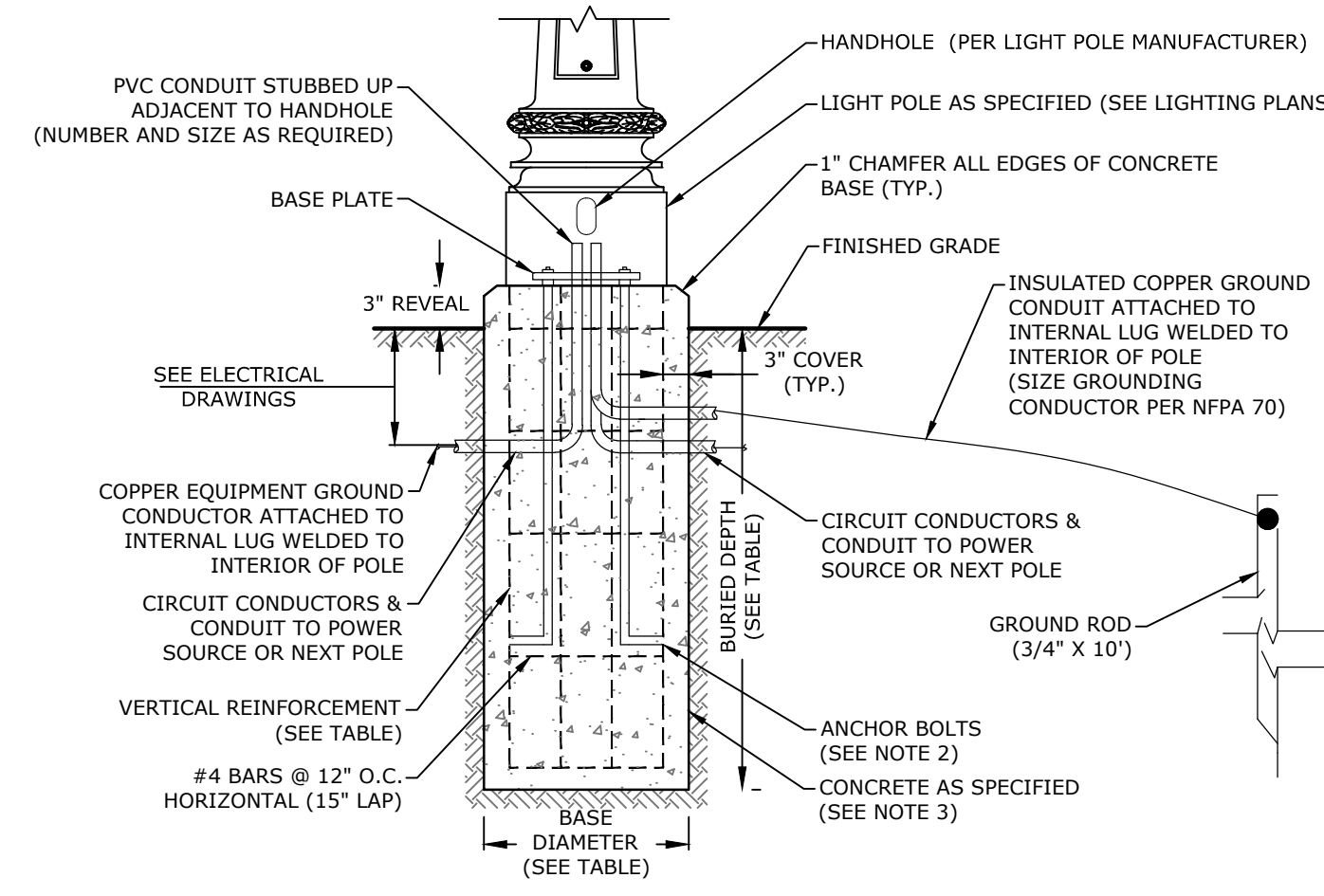
C-504



POLE HEIGHT	DEPTH (BURIED)	BASE DIAMETER	VERTICAL REINFORCEMENT	VERTICAL REINFORCEMENT LENGTH
16'-0"	72"	18"	6 - #6	5'-9"
16'-0"	72" (MIN.)	24"	6 - #8	5'-9"

- NOTES:**
1. ALL LIGHT POLES, LUMINARIES AND WIRE TO BE FURNISHED BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED.
  2. CONTRACTOR SHALL VERIFY BOLT TEMPLATE AND ANCHOR BOLT SIZE WITH POLE MANUFACTURER PRIOR TO CONSTRUCTION.
  3. CONCRETE SHALL BE 4,000 PSI CLASS A, PRE-CAST CONCRETE.
  4. REINFORCEMENT SHALL BE ASTM A615, GRADE 60.
  5. FOR LIGHT POLES GREATER THAN 20' IN HEIGHT, THE LIGHT POLE BASE SHALL BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
  6. EXTENDED LIGHT POLE BASE TO BE USED IN VEHICULAR AREAS. SEE LIGHTING PLAN.
  7. PAINT LIGHT POLE BASE SAFETY YELLOW WHERE NOT PROTECTED BY CURB.

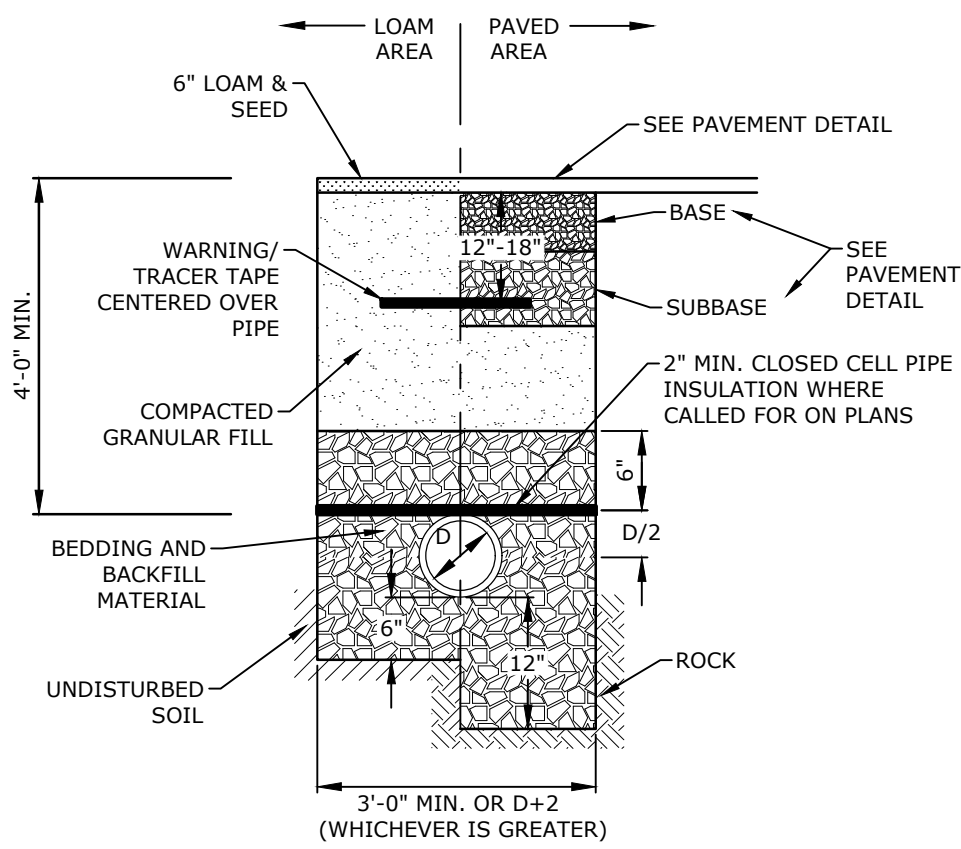
**EXTENDED LIGHT POLE BASE**  
NO SCALE



POLE HEIGHT	DEPTH (BURIED)	BASE DIAMETER	VERTICAL REINFORCEMENT	VERTICAL REINFORCEMENT LENGTH
16'-0"	72"	18"	6 - #6	5'-9"
16'-0"	72" (MIN.)	24"	6 - #8	5'-9"

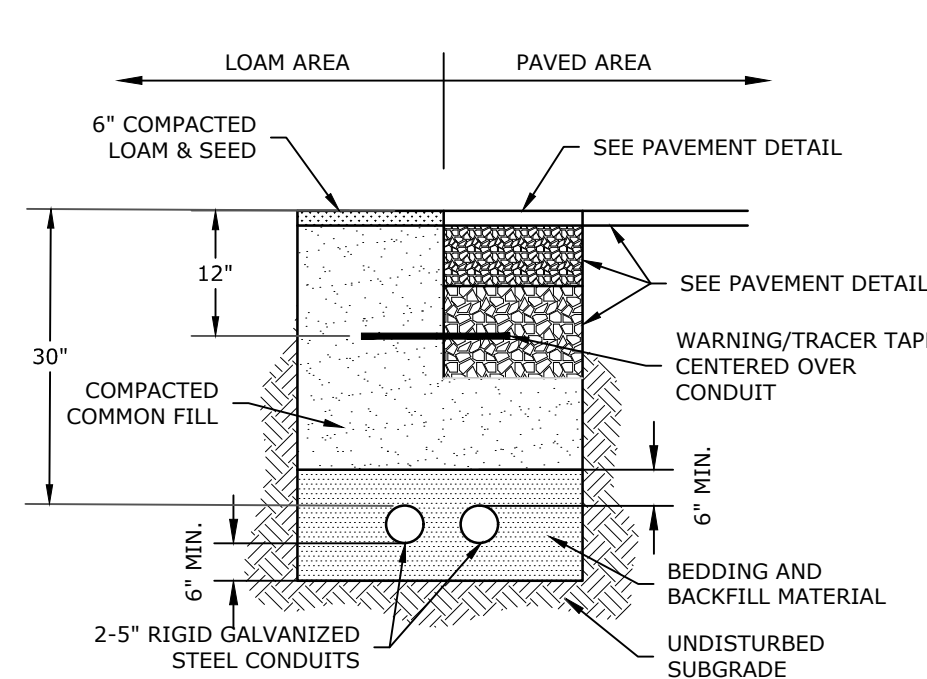
- NOTES:**
1. ALL LIGHT POLES, LUMINARIES AND WIRE TO BE FURNISHED BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED.
  2. CONTRACTOR SHALL VERIFY BOLT TEMPLATE AND ANCHOR BOLT SIZE WITH POLE MANUFACTURER PRIOR TO CONSTRUCTION.
  3. CONCRETE SHALL BE 4,000 PSI CLASS A, PRE-CAST CONCRETE.
  4. REINFORCEMENT SHALL BE ASTM A615, GRADE 60.
  5. FOR LIGHT POLES GREATER THAN 20' IN HEIGHT, THE LIGHT POLE BASE SHALL BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.

**LIGHT POLE BASE**  
NO SCALE



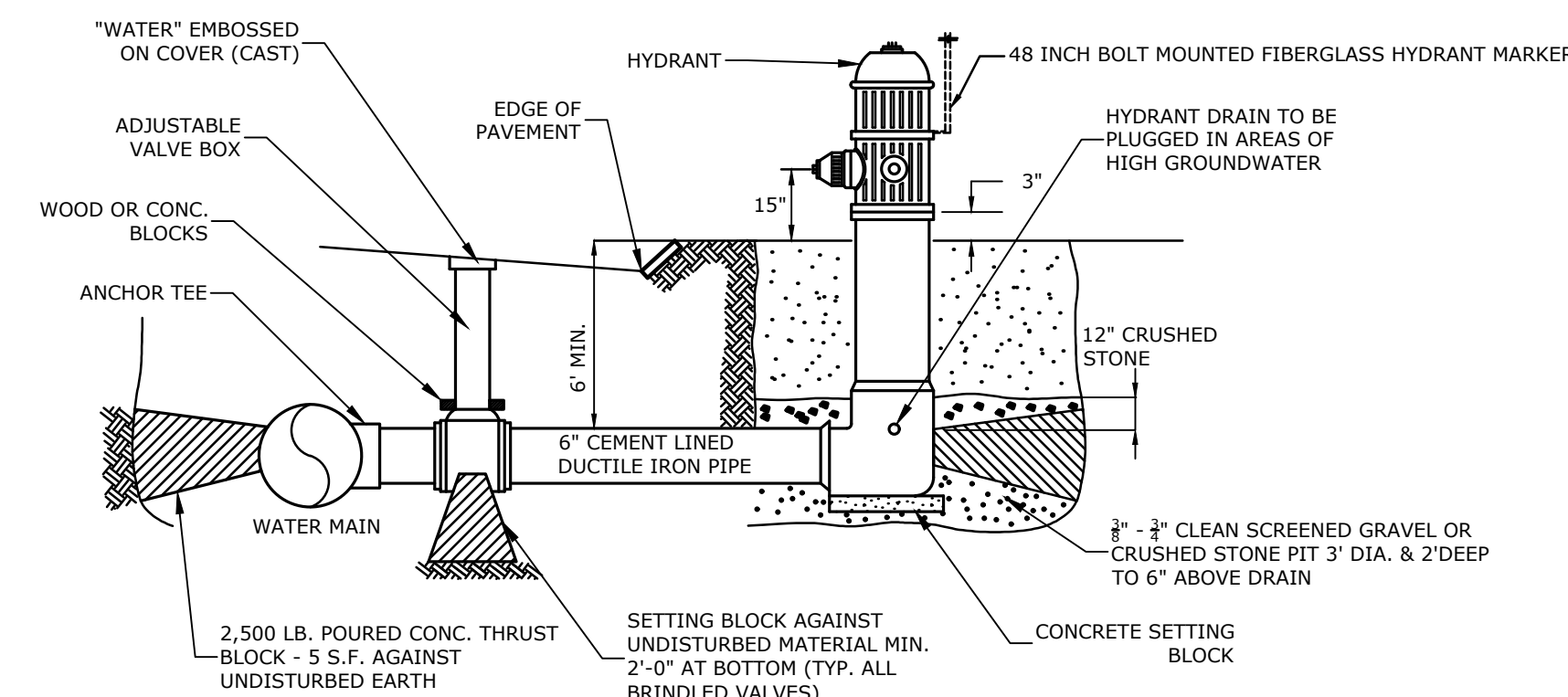
- NOTES:**
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
  2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE TOWN OF DURHAM.

**STORM DRAIN TRENCH**  
NO SCALE



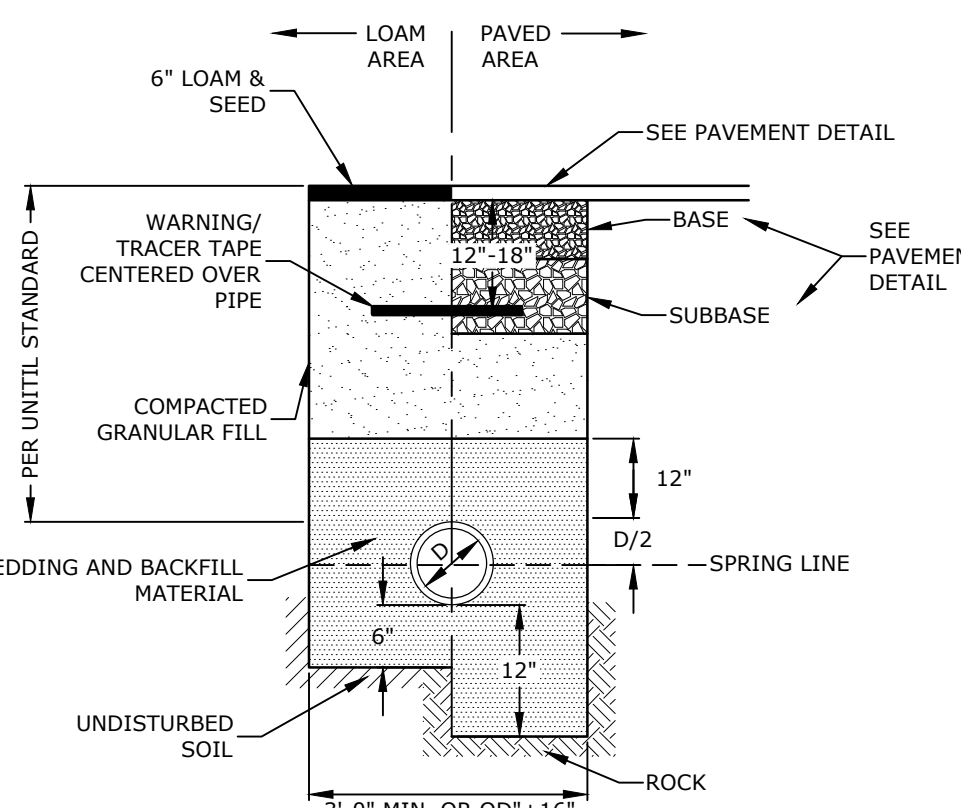
- NOTES:**
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
  2. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
  3. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, SHALL BE INSTALLED IN THE CONDUIT PRIOR TO INSTALLING CONDUIT. THE STRING SHALL BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
  4. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
  5. CONTRACTOR SHALL PERFORM MANDREL TESTING ON ALL CONDUIT. UNCOVER ANY SECTION OF PIPE NOT PASSING THE MANDREL AND REPLACE THE BEDDING AND BACKFILL TO PREVENT EXCESSIVE DEFLECTION. REPLACE SECTIONS OF THE CONDUIT AS NECESSARY. RETEST REPAIRED CONDUIT IMMEDIATELY UPON BACKFILLING OF TRENCH UNTIL ACCEPTABLE.

**TELECOMMUNICATIONS CONDUIT TRENCH**  
NO SCALE



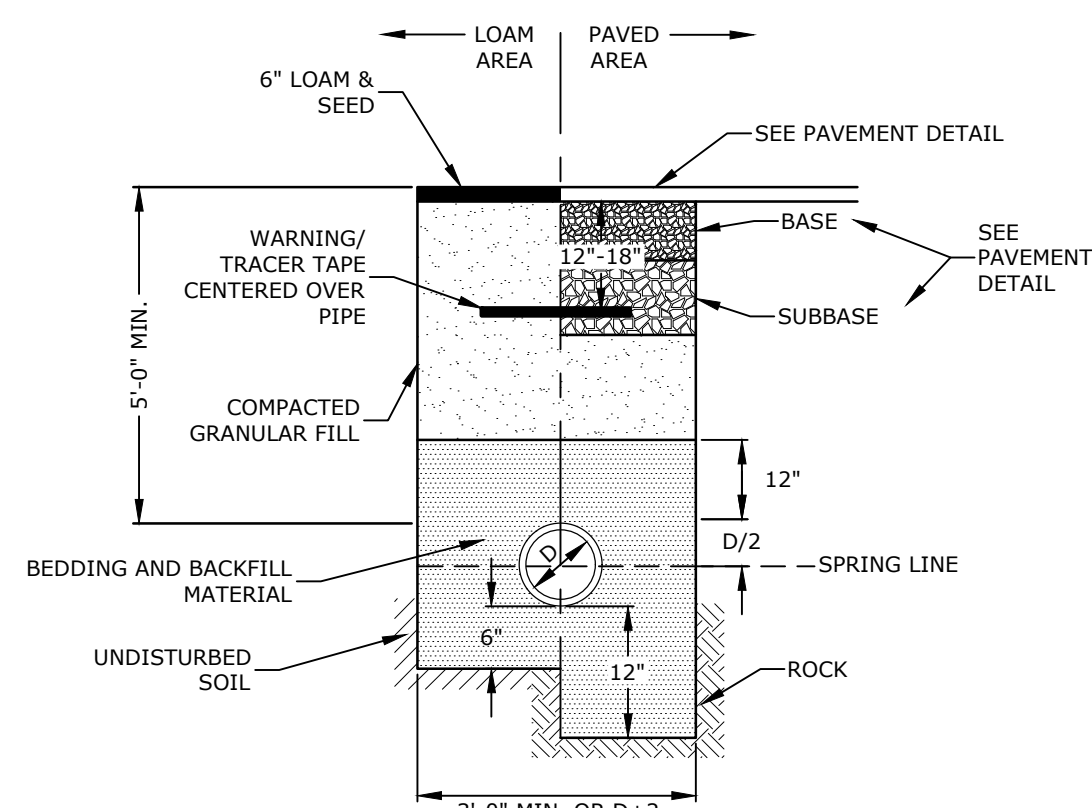
- NOTES:**
1. HYDRANT INSTALLATION AND OPERATION, MANUFACTURE AND MODEL, AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE TOWN OF DURHAM WATER DEPARTMENT AND THE TOWN OF DURHAM FIRE DEPARTMENT.
  2. TIE RODS ON DI PIPE TO BE OPTIONAL. (IF USED THRUST BLOCK AT HYDRANT MAY BE OMITTED)
  3. HYDRANT MARKER TO BE 3/8" FIBERGLASS RODS BY E-ZGUIDE PRODUCTS OR APPROVED EQUAL.
  4. HYDRANT DRAINS ARE TO REMAIN PLUGGED REGARDLESS OF GROUNDWATER OR SOIL CONDITIONS.

**FIRE HYDRANT**  
NO SCALE



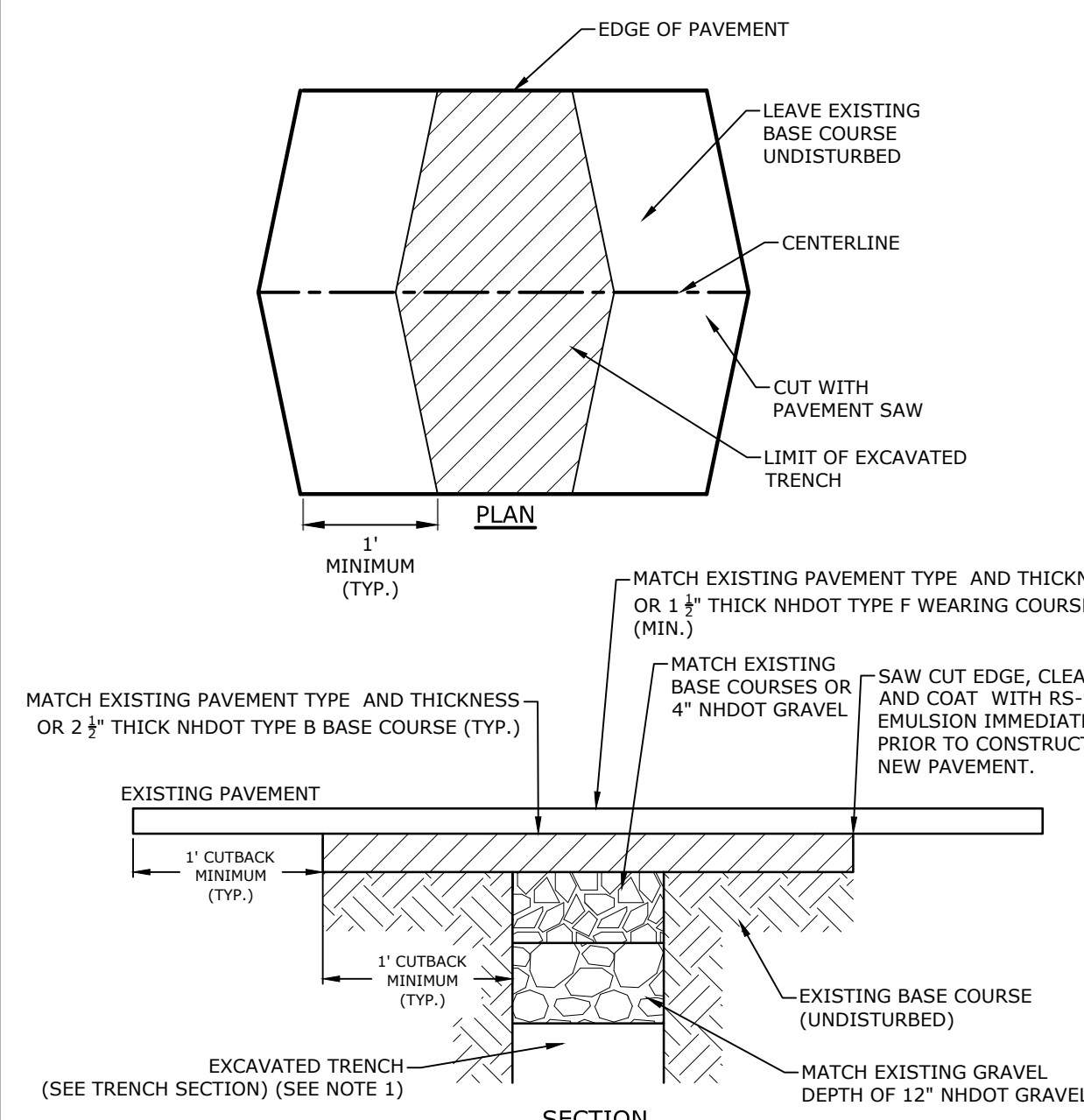
- NOTE:**
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
  2. GAS SHALL BE INSTALLED PER UNTIL STANDARDS. COORDINATE ALL INSTALLATIONS WITH UNTIL AND THE TOWN OF DURHAM.

**GAS TRENCH**  
NO SCALE



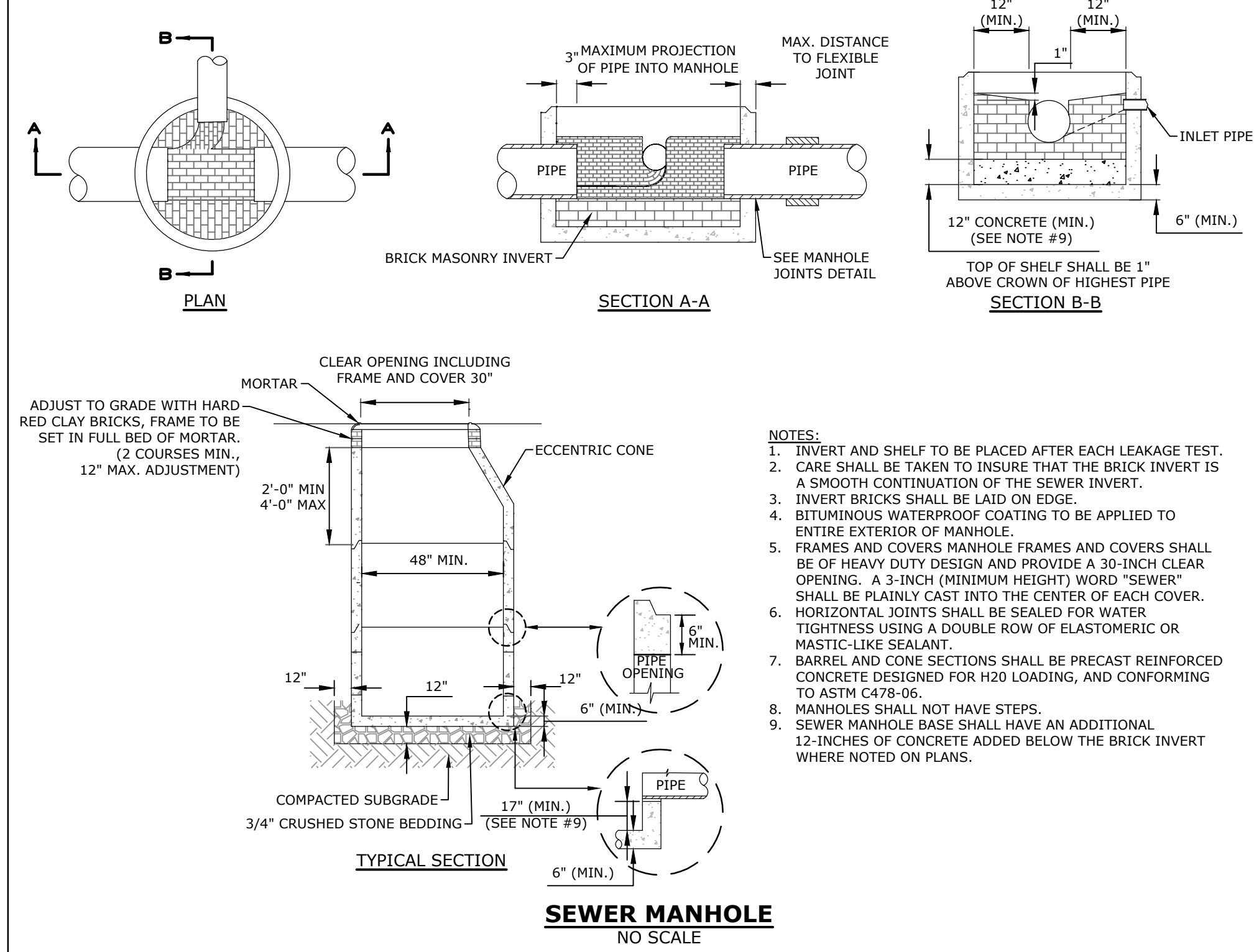
- NOTES:**
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
  2. WATER MAIN SHALL BE INSTALLED PER TOWN OF DURHAM STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE TOWN OF DURHAM.

**WATER TRENCH**  
NO SCALE



- NOTES:**
1. CUT BACK PAVEMENT BEYOND LIMITS OF UNDERMINING (1" MIN.).

**ROADWAY TRENCH PATCH**  
NO SCALE



- NOTES:**
1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
  2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
  3. INVERT BRICKS SHALL BE LAID ON EDGE.
  4. BITUMINOUS WATERPROOF COATING TO BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
  5. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
  6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
  7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H2O LOADING, AND CONFORMING TO ASTM C478-06.
  8. MANHOLES SHALL NOT HAVE STEPS.
  9. SEWER MANHOLE BASE SHALL HAVE AN ADDITIONAL 12-INCHES OF CONCRETE ADDED BELOW THE BRICK INVERT WHERE NOTED ON PLANS.

**SEWER MANHOLE**  
NO SCALE

**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION

**Mill Plaza**  
**Redevelopment**

**Colonial Durham**  
**Associates, LP**

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	GENERAL REVISIONS
	1/2/2020	
PROJECT NO:	M1529-002	
DATE:	5/23/2018	
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DRAWN BY:	EGD	
CHECKED:	JMP	
APPROVED:	BLM	

DETAIL SHEET

SCALE: AS SHOWN

C-505



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

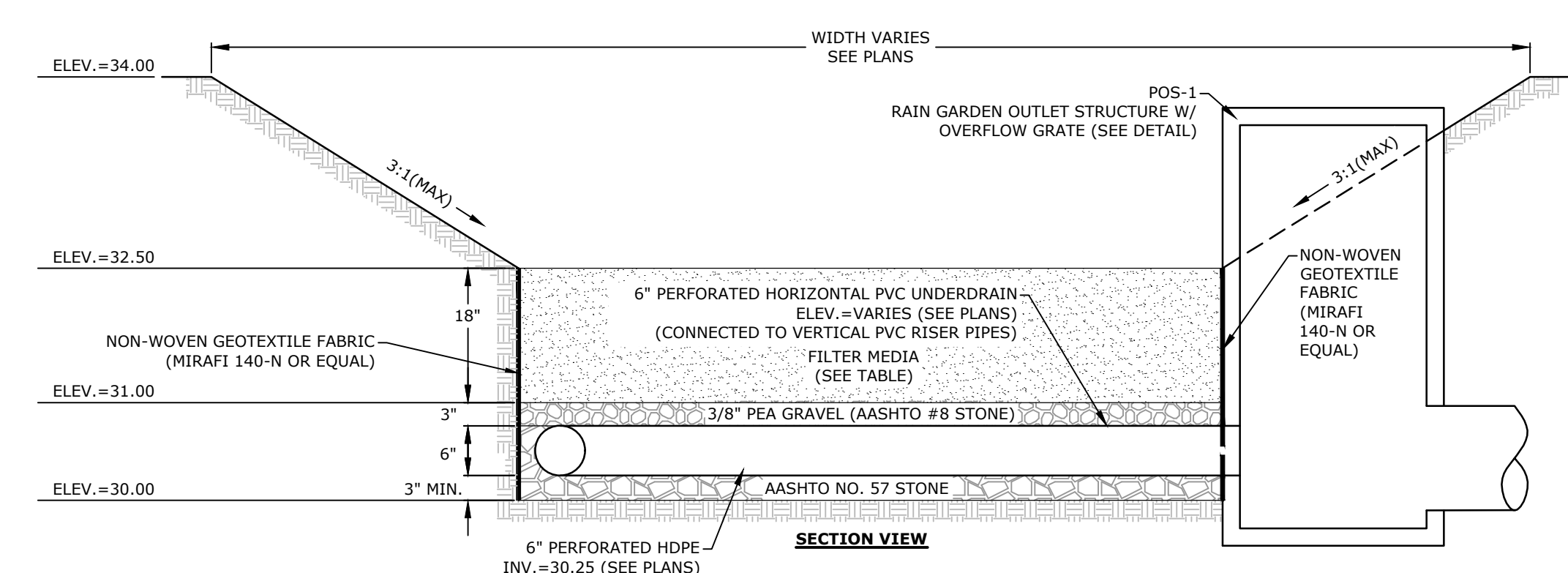
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS
MARK	DATE	DESCRIPTION
PROJECT NO: M1529-002		
DATE: 5/23/2018		
FILE: M1529-002_C-DTLS.dwg		
DRAWN BY: EGD		
CHECKED: JMP		
APPROVED: BLM		

DETAIL SHEET

SCALE: AS SHOWN

C-506

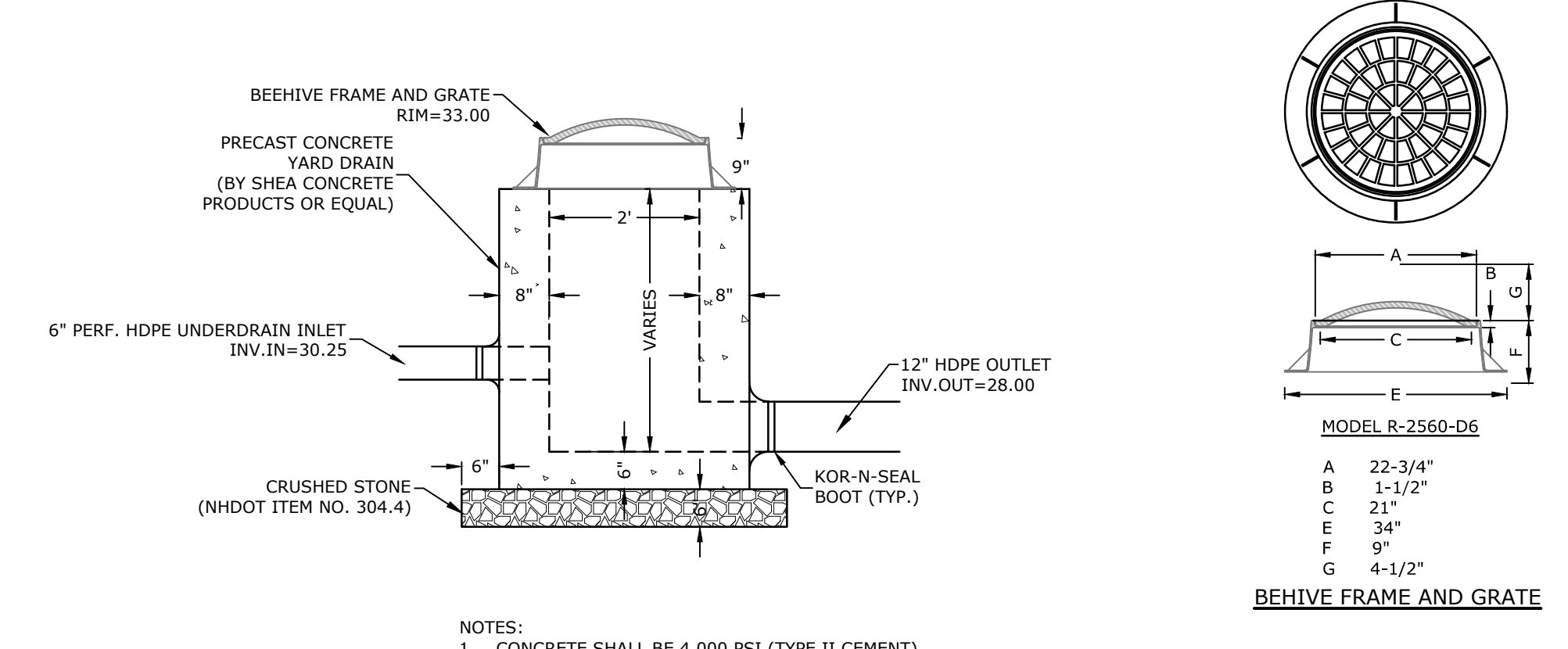


FILTER MEDIA COMPOSITION:		
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL
ASTM C-33 CONCRETE SAND	50-55	SEE NOTE #5
LOAMY SAND TOPSOIL	20-30	200
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20-30	15-25 5 MAX.

- NOTES:**
- BARK MULCH SHALL BE AGED A MINIMUM OF 12 MONTHS AND SHALL NOT FLOAT.
  - RAIN GARDENS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. CONTRACTOR SHALL KEEP ALL EXCAVATION EQUIPMENT OUTSIDE OF THE LIMIT OF THE RAIN GARDEN.
  - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR LOCATIONS, LAYOUTS, AND ELEVATIONS.
  - THE SAND PORTION OF THE FILTER MEDIA SHALL MEET THE FOLLOWING GRADATION (ASTM C-33):

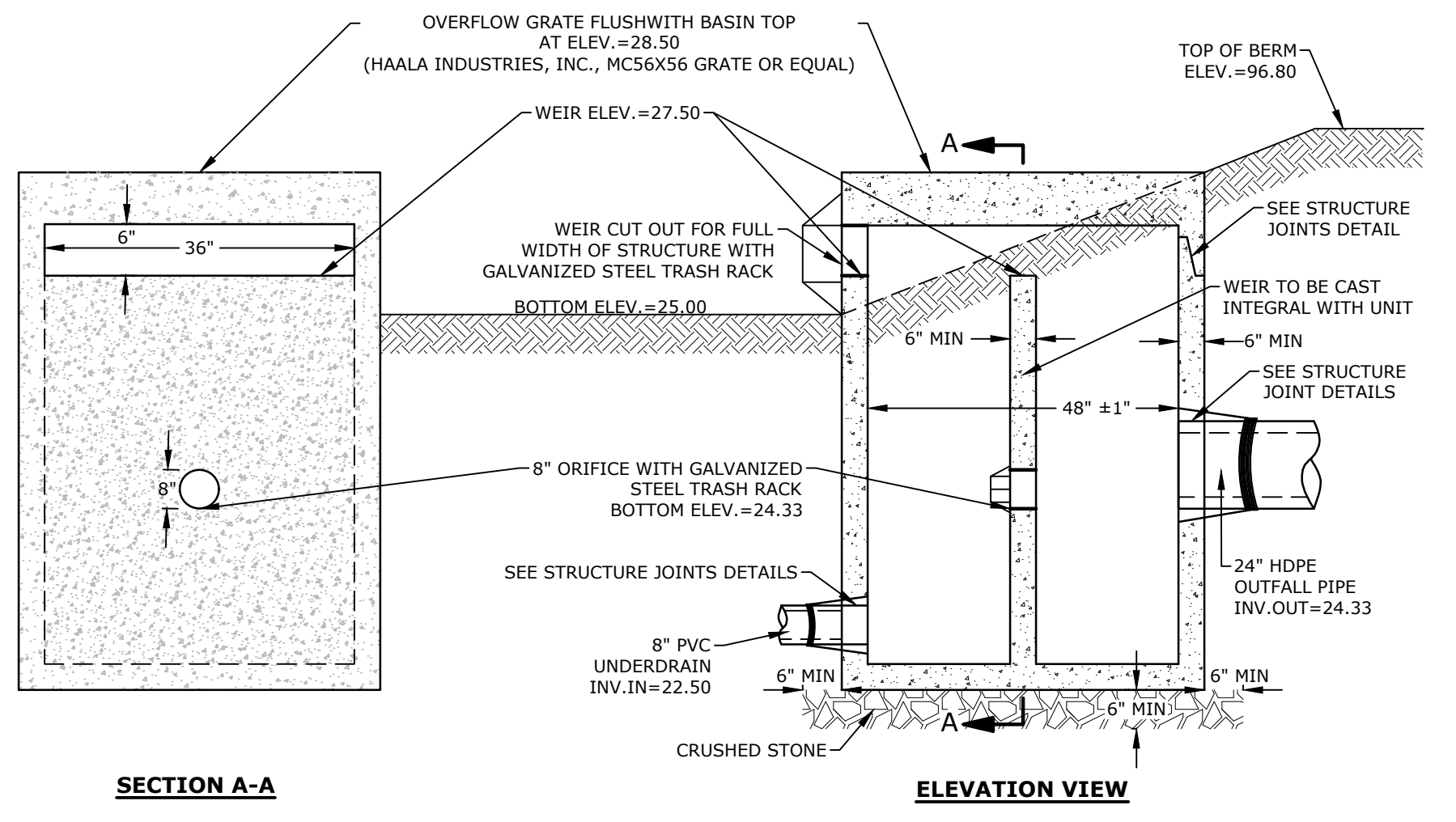
AASHTO #8 STONE (#8 to 3/8")	
SIEVE SIZE	% PASSING
1/2"	100
3/8"	85-100
#4	10-30
#8	0-10
#16	0-5

AASHTO #57 STONE (#4 to 1")	
SIEVE SIZE	% PASSING
1-1/2"	100
1"	95-100
1/2"	25-60
#4	0-10
#8	0-5



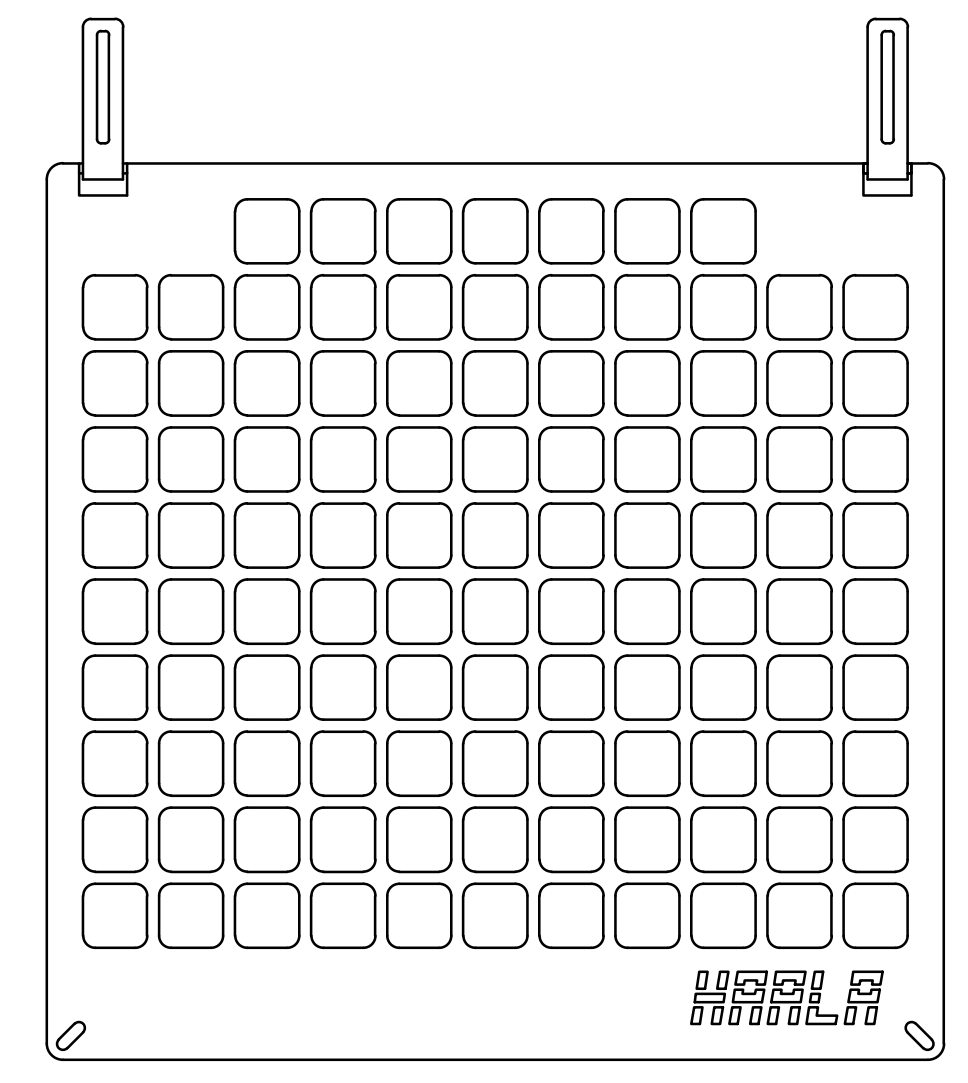
- NOTES:**
- CONCRETE SHALL BE 4,000 PSI (TYPE II CEMENT)
  - SEE SITE, GRADING, DRAINAGE, EROSION CONTROL & UTILITIES PLAN FOR LOCATIONS.
  - THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADINGS.
  - ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.
  - FRAME AND GRATE SHALL BE NEENAH FOUNDRIES MODEL R-2560-D8 OR EQUAL.

**PROPOSED OUTLET STRUCTURE (POS1)**  
NO SCALE



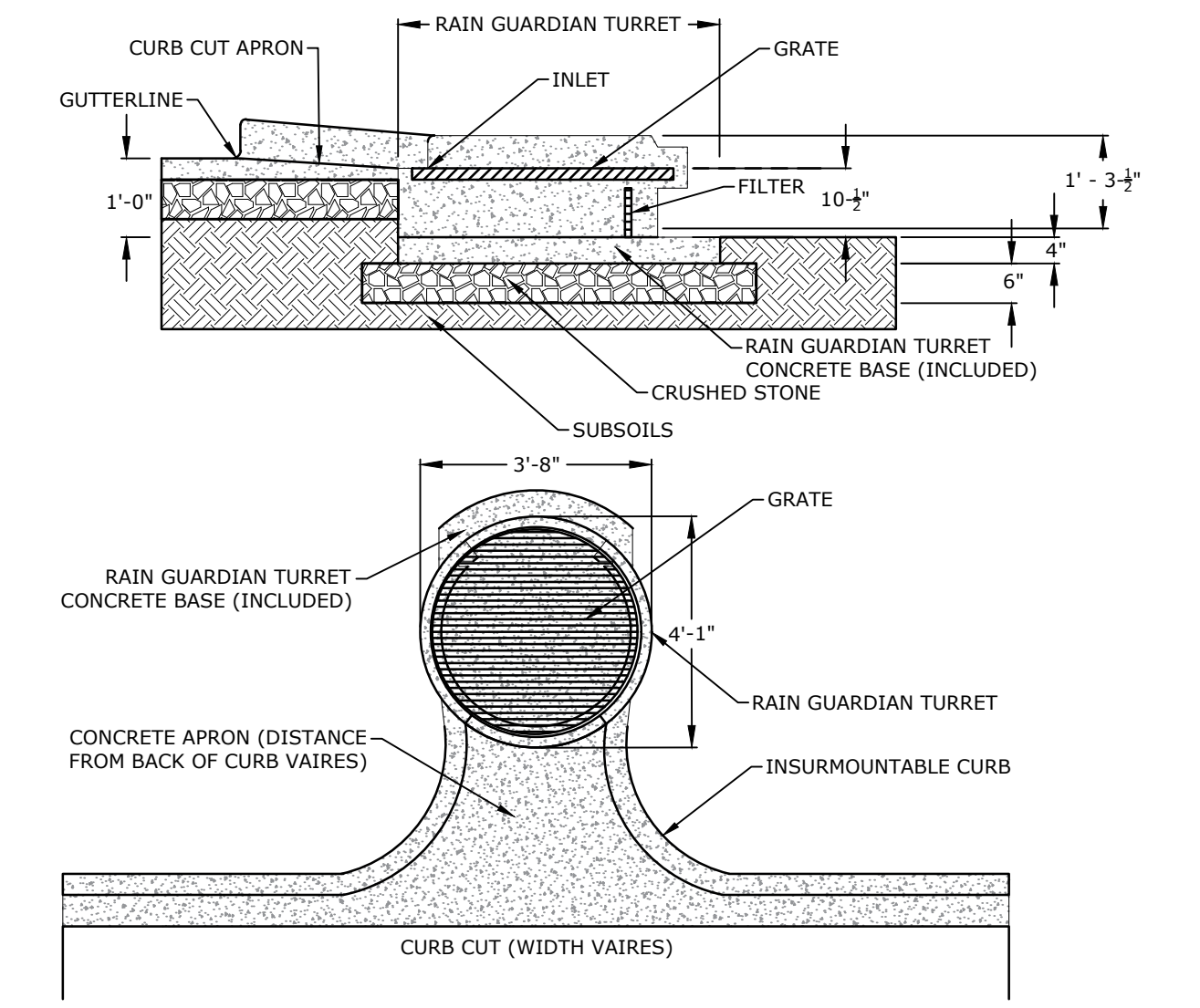
- NOTES:**
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE II CEMENT).
  - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
  - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  - THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
  - ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

**PROPOSED OUTLET STRUCTURE (POS2)**  
NO SCALE



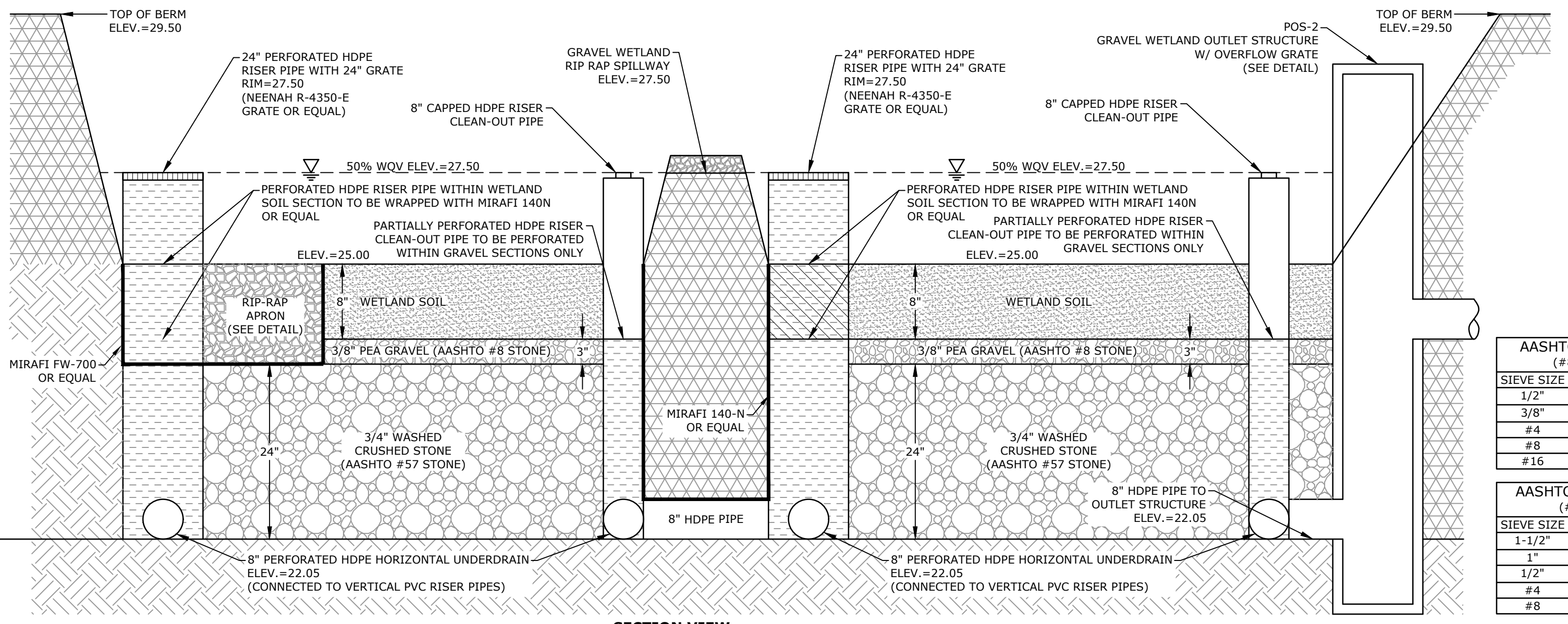
- NOTES:**
- GRATE TO BE CONSTRUCTED OF 3/8" THICK GALVANIZED PLATE.
  - GRATE TO BE SECURED TO CONCRETE STRUCTURE.

**HAALA MICHIE CORP. TOP GRATE (56X56)**  
NO SCALE



- NOTES:**
- RAIN GUARDIAN OR APPROVED EQUAL.
  - CURB INLET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE RECOMMENDATION.

**RAIN GUARDIAN TURRET**  
NO SCALE

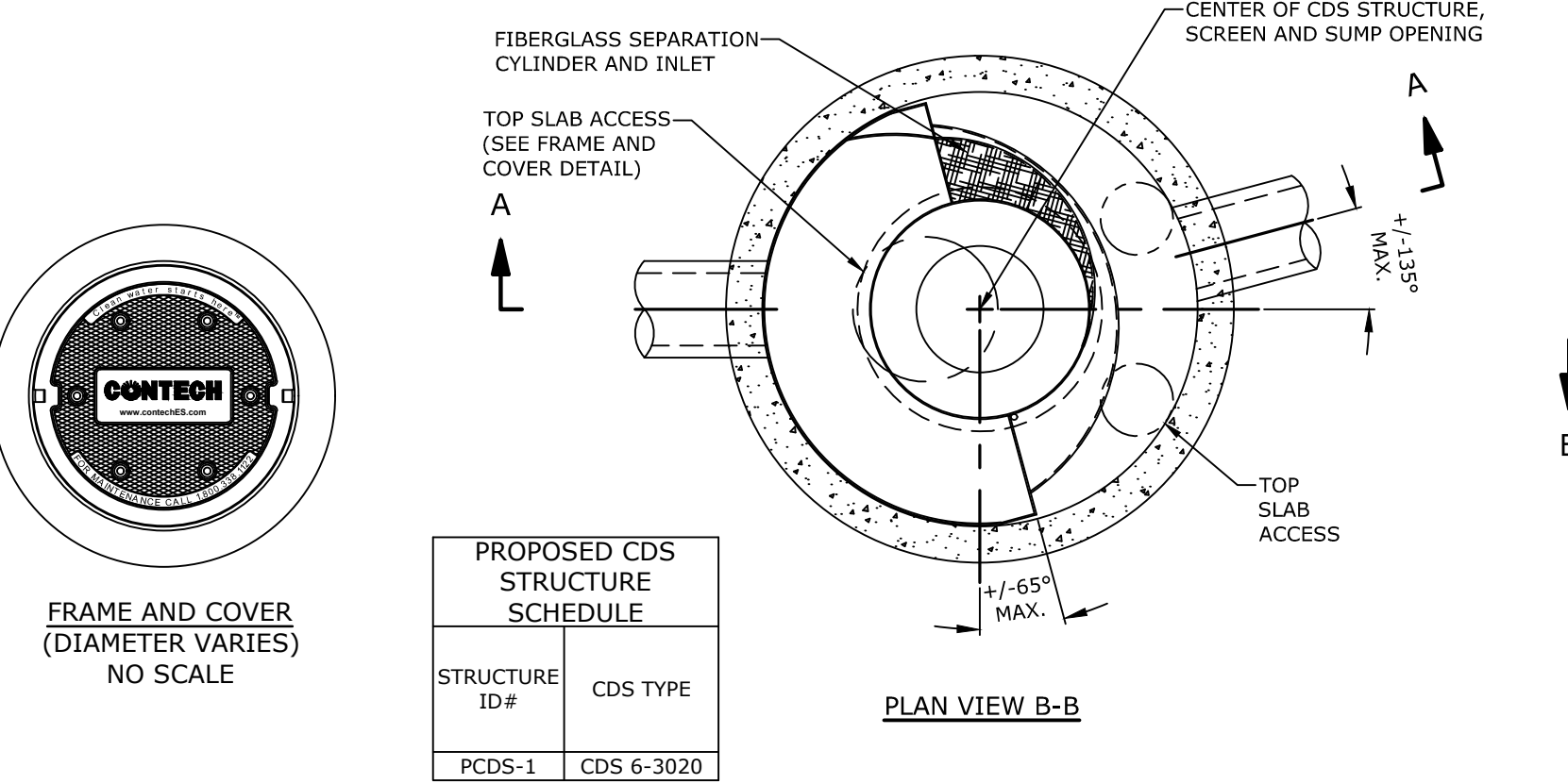


AASHTO #8 STONE (#8 to 3/8")	
SIEVE SIZE	% PASSING
1/2"	100
3/8"	85-100
#4	10-30
#8	0-10
#16	0-5

AASHTO #57 STONE (#4 to 1")	
SIEVE SIZE	% PASSING
1-1/2"	100
1"	95-100
1/2"	25-60
#4	0-10
#8	0-5

- NOTES:**
- WETLAND SOIL SHALL BE A SANDY CLAY LOAM WITH A HYDRAULIC CONDUCTIVITY OF 0.1-0.01 FT/DAY. ORGANIC CONTENT SHALL BE GREATER THAN 15% BY VOLUME. CLAY CONTENT SHALL BE LESS THAN 15% BY VOLUME.
  - PERFORATED HDPE RISERS SHALL HAVE VERTICAL SLOTS CUT INTO HDPE RISERS ABOVE GRADE MEASURING 3"x1/8".

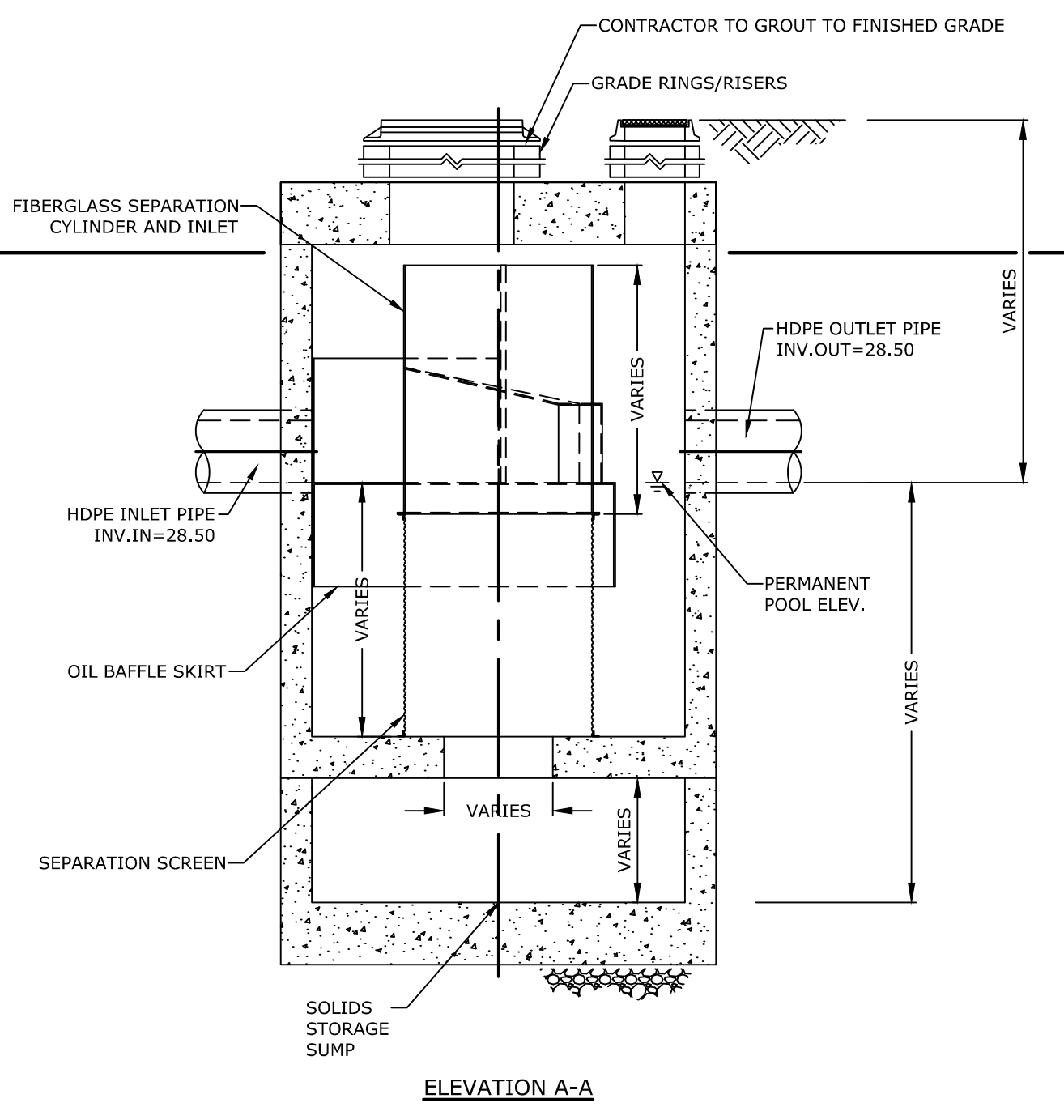
**GRAVEL WETLAND**  
NO SCALE



PROPOSED CDS STRUCTURE SCHEDULE	
STRUCTURE ID#	CDS TYPE
PCDS-1	CDS 6-3020

- GENERAL NOTES:**
- CONTECH TO PROVIDE FINAL DIMENSIONS BASED ON APPROVED FLOWS AND ALL MATERIALS UNLESS NOTED OTHERWISE.
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN ON GRADING PLAN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

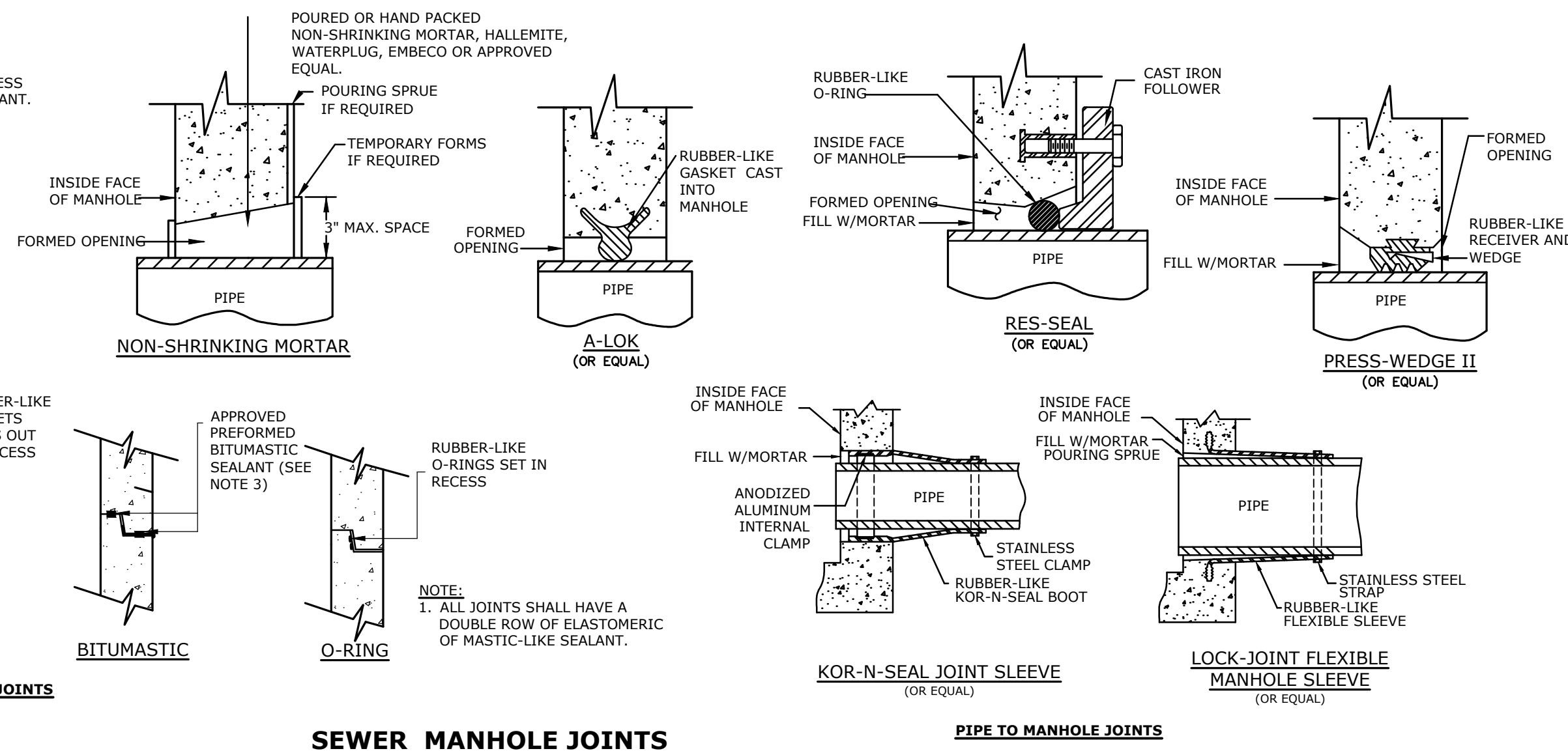
**PROPOSED CDS UNIT**  
NO SCALE



5/20/2020  
 EGD  
 5/23/2018  
 JMP  
 5/23/2018  
 BLM

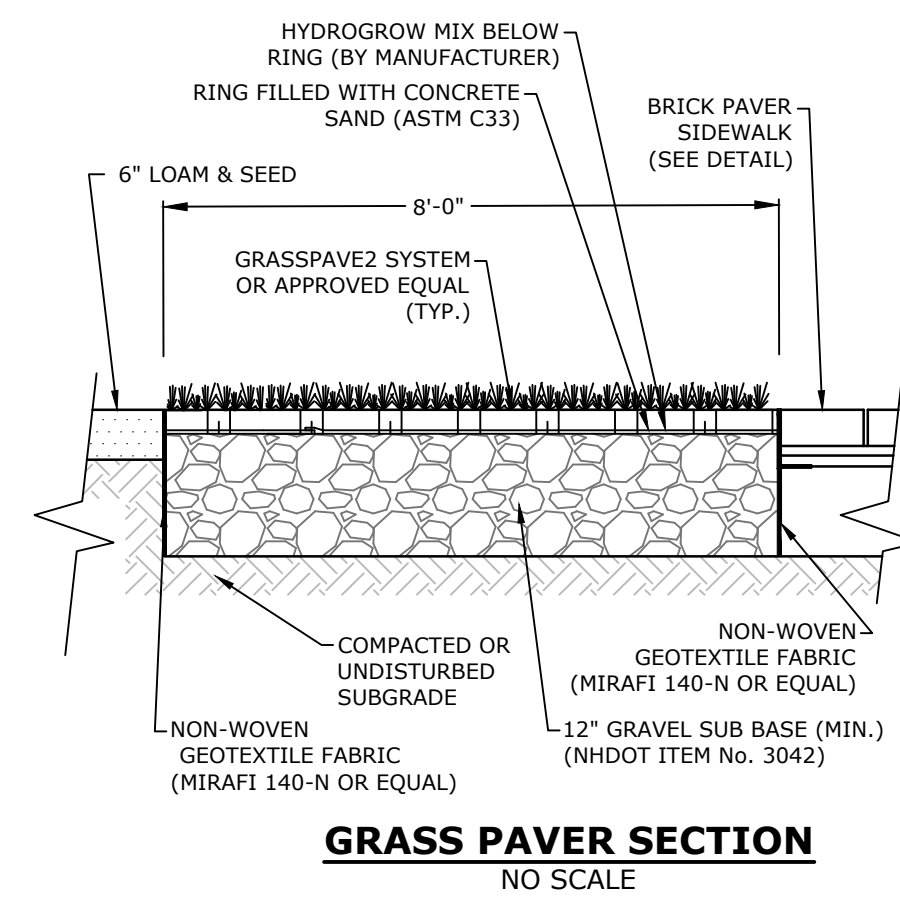


- NOTES:**
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER. WHICH TYPE SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
  - PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER IN GENERAL AND, IN GENERAL, WILL DEPEND FOR WATER TIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
  - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
  - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

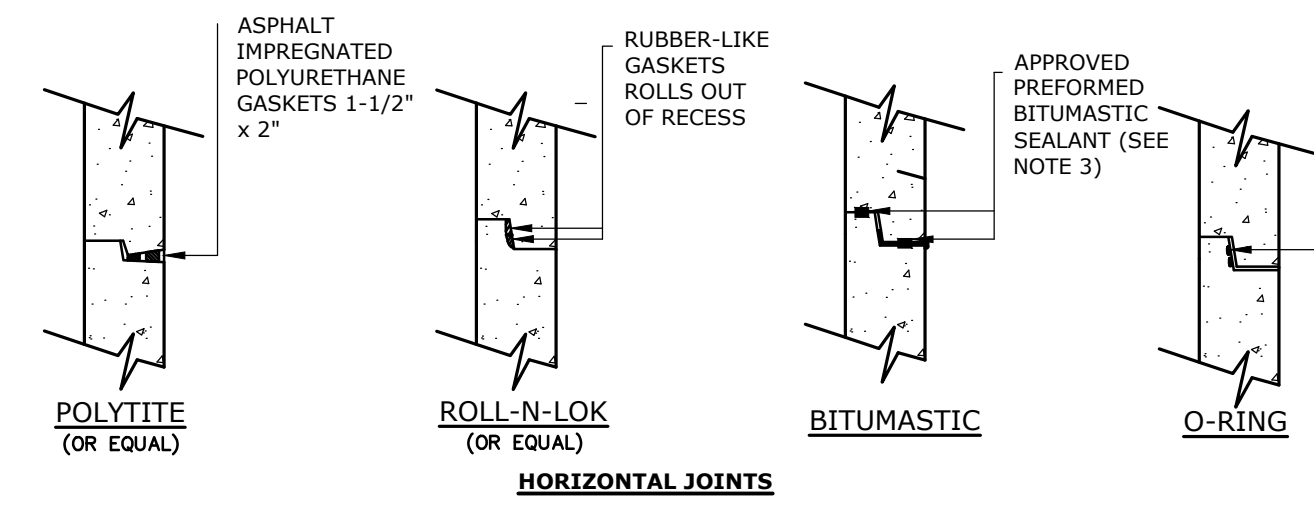


**SEWER MANHOLE JOINTS**  
NO SCALE

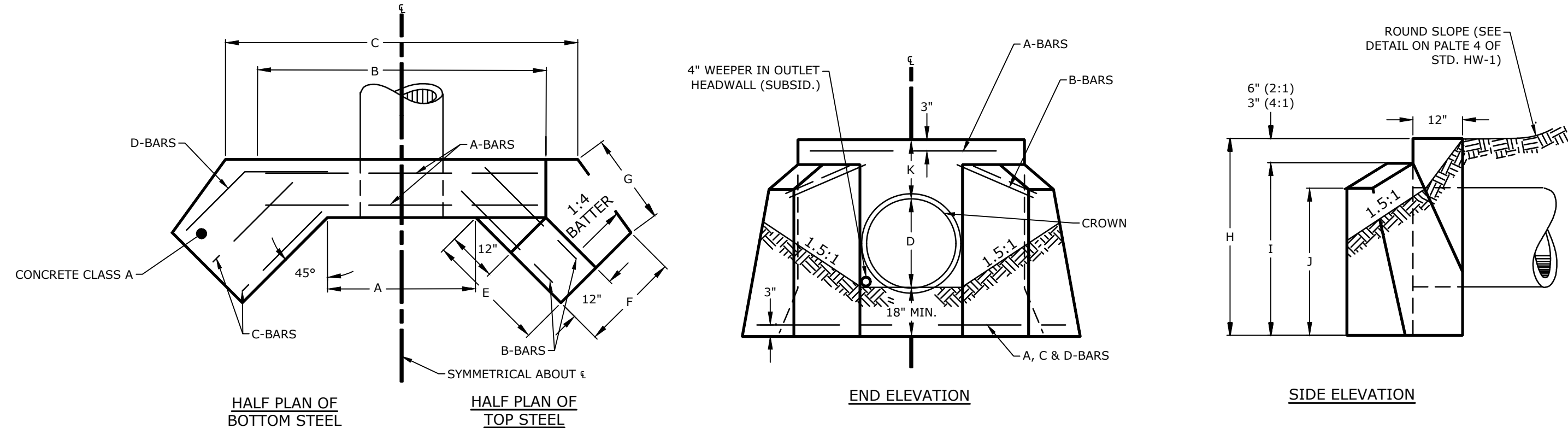
**PIPE TO MANHOLE JOINTS**



**GRASS PAVER SECTION**  
NO SCALE



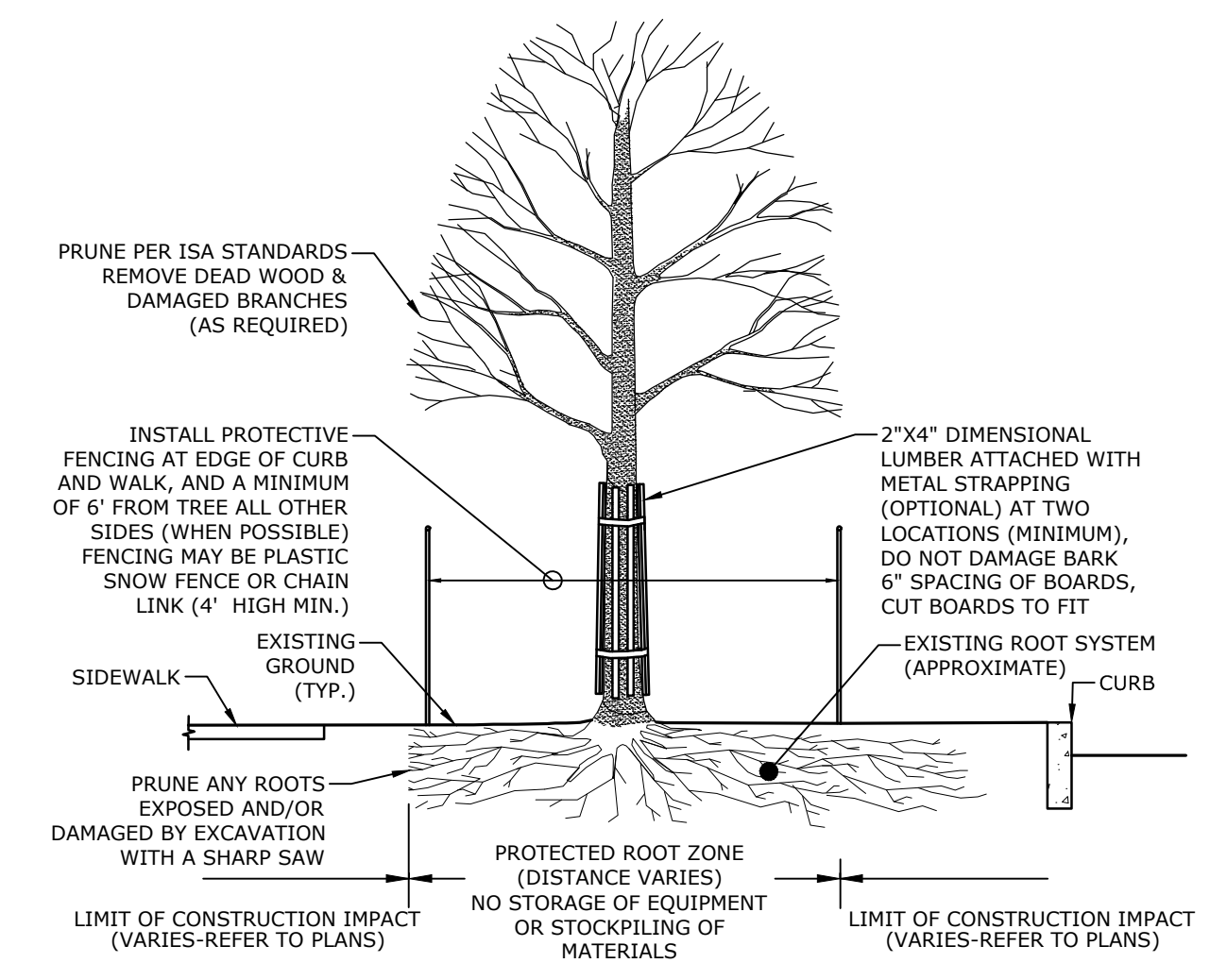
**HORIZONTAL JOINTS**



DIAMETER (INCHES)	QUANTITIES PER HEADER			DIMENSIONS										REINFORCING STEEL						
	CONC (CY. YD.)	STEEL (LB)	EXC. FOR 1' DEPTH (CU. YD.)	A	B	C	E	F	G	H	I	J	K	SIZE	LENGTH				D BARS	
				a	b	c	d	a	b											
36	3.24	47	2.12	3'-8"	6'-6"	8'-5"	4'-2"	2'-1"	3'-3"	6'-0"	5'-6"	4'-4"	1'-6"	#4	6'-2"	4'-3"	4'-1"	5'-10"	2'-8"	3'-2"

NOTE: ALL LIKE BAR IN EACH HEADWALL ARE THE SAME SIZE. EACH STD. HEADER HAS 4 A, B & C-BARS, AND 2 D-BARS

**CONCRETE FLARED END SECTION**  
NO SCALE



**TREE PROTECTION FOR EXISTING TREE**  
NO SCALE

NOTE: 1. CONTRACTOR SHALL WALK THE PERIMETER OF THE SITE WITH OWNER PRIOR TO CONSTRUCTION TO IDENTIFY TREES TO BE PROTECTED DURING CONSTRUCTION.



Harriman Project No. 16117



**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION

**Mill Plaza Redevelopment**

Colonial Durham Associates, LP

7 Mill Road, Unit L  
Durham, New Hampshire 03824

MARK	DATE	DESCRIPTION
2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS

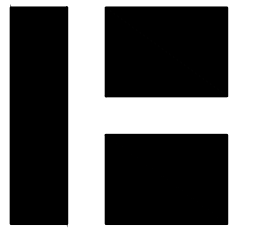
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DATE: 5/23/2018  
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DRAWN BY: EGD  
CHECKED BY: JMP  
APPROVED BY: BLM

DETAIL SHEET

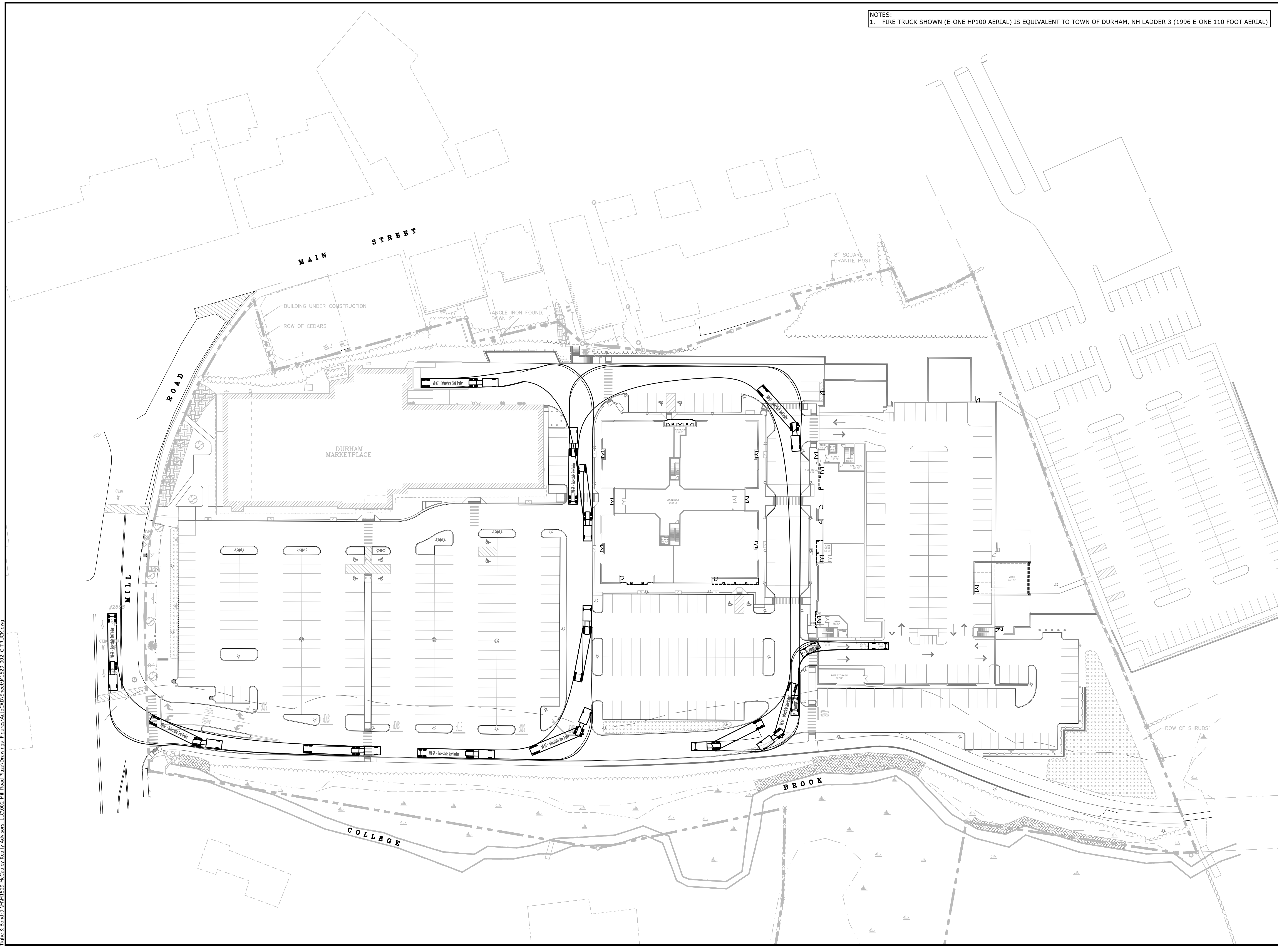
SCALE: AS SHOWN

C-508

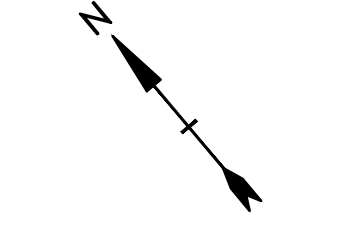
NOTES:  
 1. FIRE TRUCK SHOWN (E-ONE HP100 AERIAL) IS EQUIVALENT TO TOWN OF DURHAM, NH LADDER 3 (1996 E-ONE 110 FOOT AERIAL)



Harriman Project No. 16117



**PERMIT DRAWINGS  
 NOT FOR CONSTRUCTION**



SCALE IN FEET  
 0 40' 80'  
 GRAPHIC SCALE

**Mill Plaza  
 Redevelopment**

Colonial Durham  
 Associates, LP

7 Mill Road, Unit L  
 Durham,  
 New Hampshire 03824

MARK	DATE	DESCRIPTION
	1/2/2020	GENERAL REVISIONS
	5/23/2018	

PROJECT NO: M1529-002  
 DATE: 5/23/2018  
 FILE: M1529-002\_C-TRUCK.dwg  
 DRAWN BY: EGD  
 CHECKED: JMP  
 APPROVED: BLM

**TRUCK TURNING PLAN**

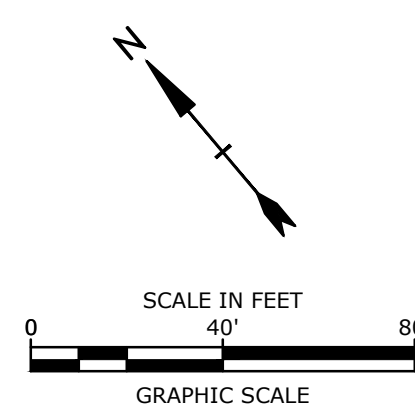
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**C-601**

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**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
4	10/20/2020	GENERAL REVISIONS
3	8/4/2020	GENERAL REVISIONS
2	5/20/2020	RESPONSE TO COMMENTS
1	1/2/2020	GENERAL REVISIONS

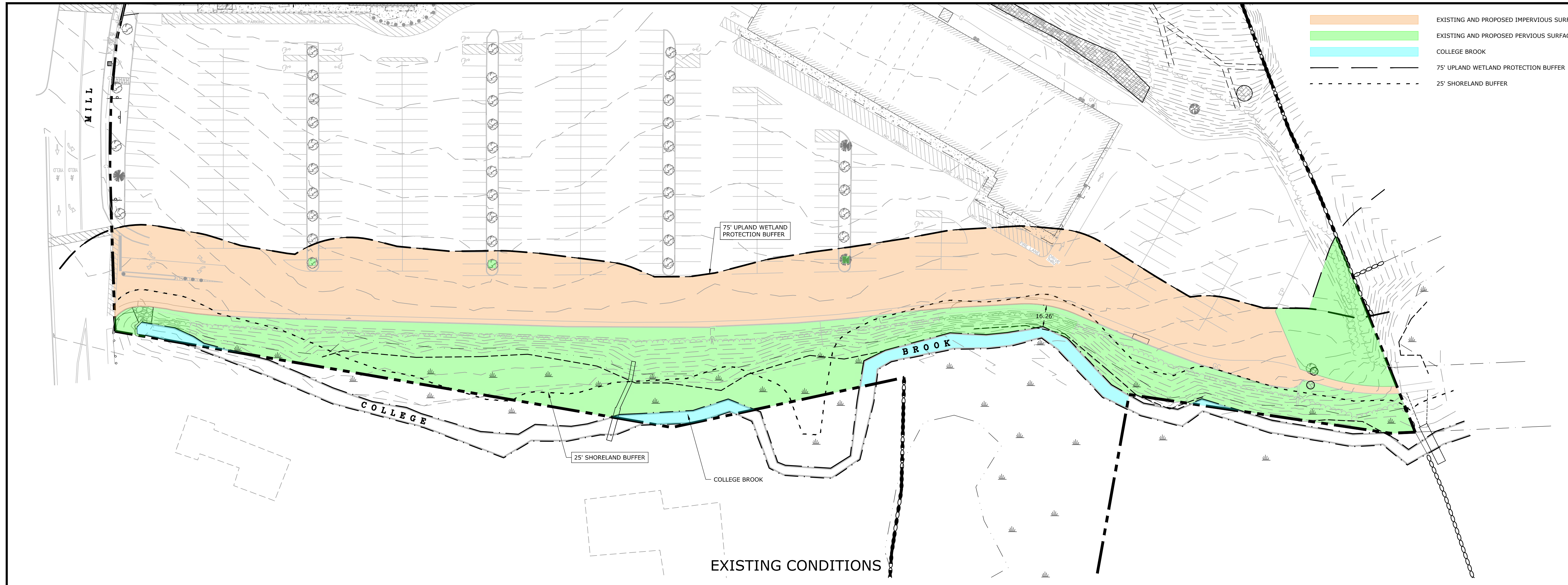
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DATE: 5/23/2018  
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DRAWN BY: EGD  
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APPROVED BY: BLM

**BUFFER COVERAGE PLAN**

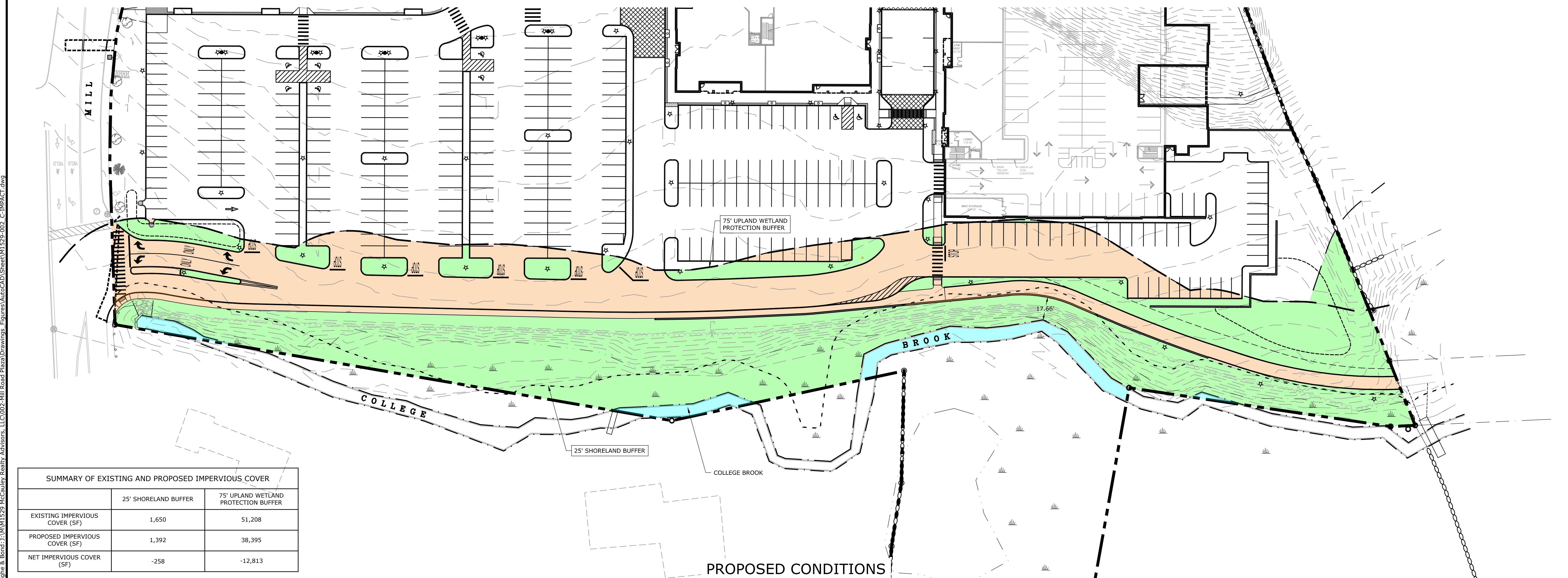
SCALE: AS SHOWN

C-701

- EXISTING AND PROPOSED IMPERVIOUS SURFACE
- EXISTING AND PROPOSED PERVIOUS SURFACE
- COLLEGE BROOK
- 75' UPLAND WETLAND PROTECTION BUFFER
- 25' SHORELAND BUFFER



EXISTING CONDITIONS



PROPOSED CONDITIONS

SUMMARY OF EXISTING AND PROPOSED IMPERVIOUS COVER		
	25' SHORELAND BUFFER	75' UPLAND WETLAND PROTECTION BUFFER
EXISTING IMPERVIOUS COVER (SF)	1,650	51,208
PROPOSED IMPERVIOUS COVER (SF)	1,392	38,395
NET IMPERVIOUS COVER (SF)	-258	-12,813

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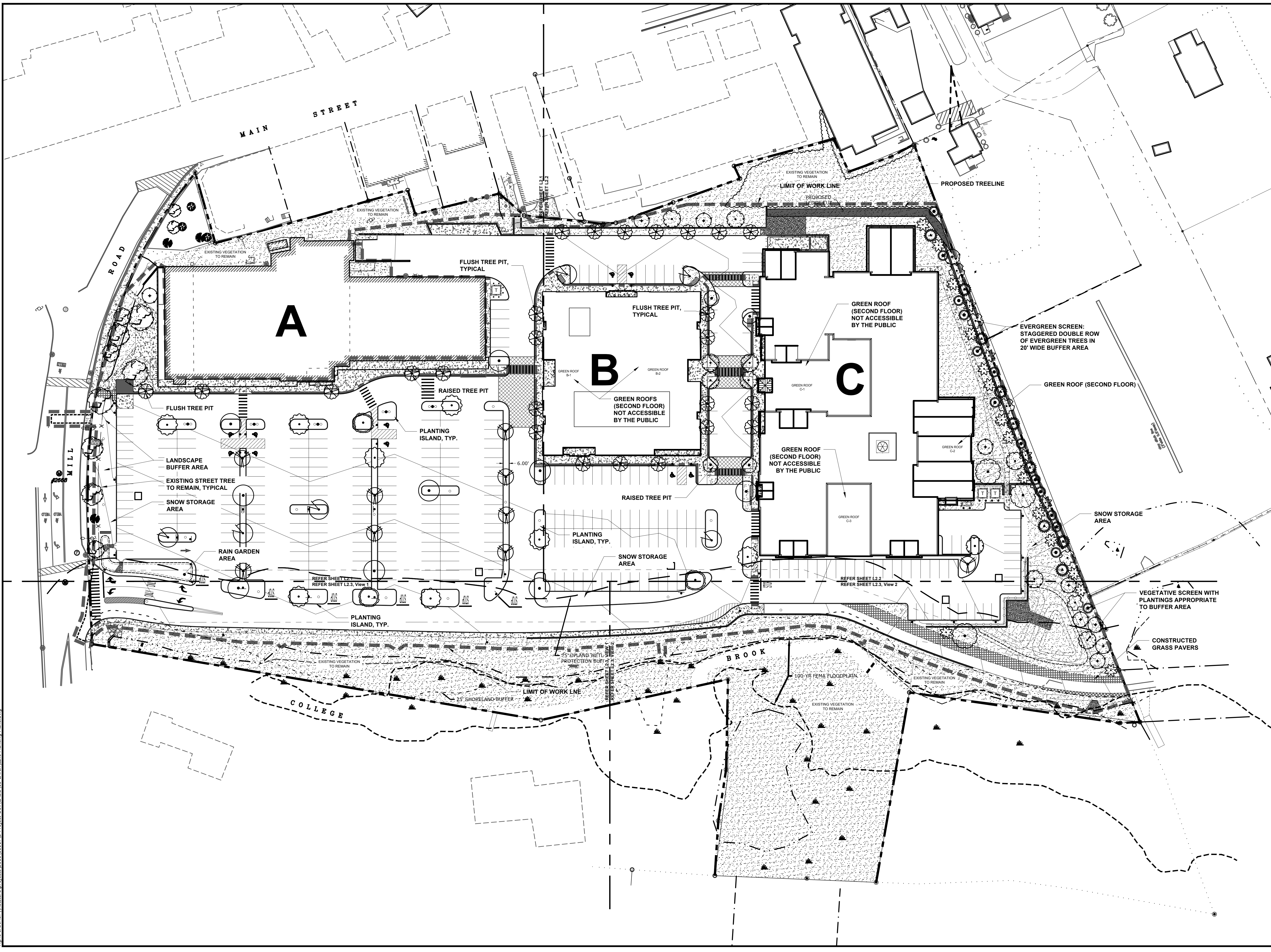




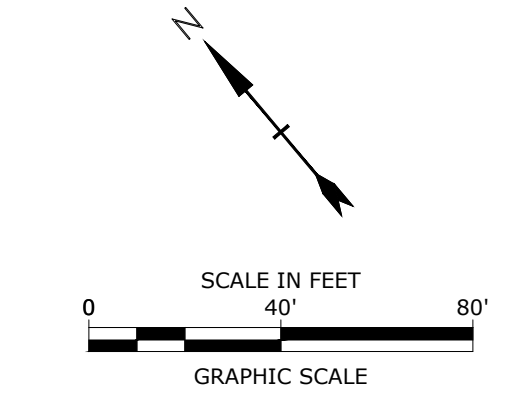
HARRIMAN

AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

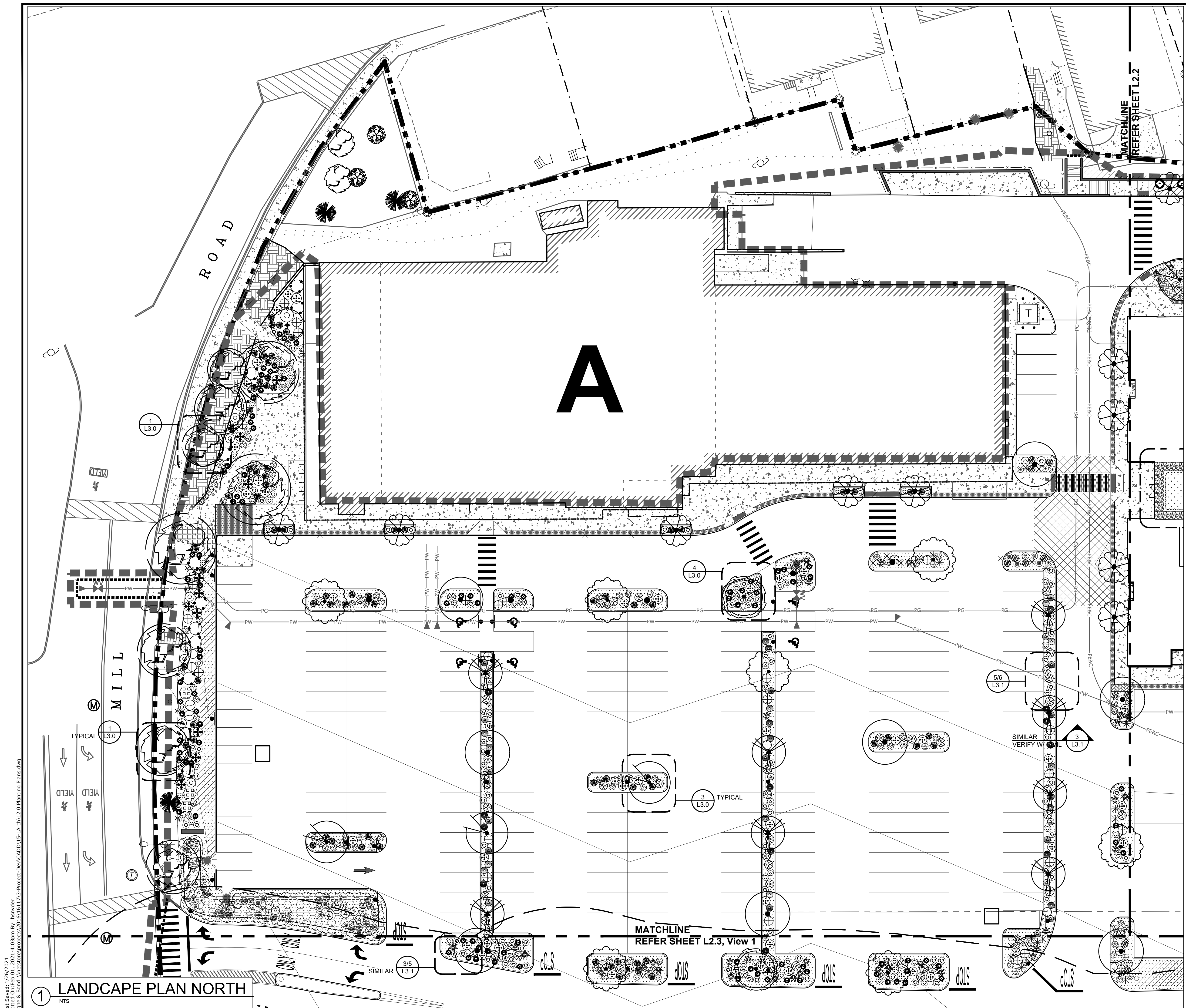
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6/2/2020	Planning Board Comments
5/20/2020	Planning Board Comments
1/2/2020	General Revisions

MARK	DATE	DESCRIPTION
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DATE:	05/23/18	
FILE:	L2.0 Planting Plans.dwg	
DRAWN BY:	HAS/TNE	
CHECKED BY:	JMP	
APPROVED BY:	BLM	

**LANDSCAPE  
OVERALL PLAN**

SCALE:  
**L2.0**

Last Saved: 1/26/2021 4:00pm By: hsnyder  
 Plotted On: Feb 01, 2021 4:00pm By: hsnyder  
 Tighe & Bond: \\netstore\projects\2016\16117\3-project\Dev\CADD\L2-Landscape\2.0 Planting Plans.dwg



PLANT LEGEND			
SHADE TREES	SIZE	NOTES	QTY
Existing Tree to Retain		Preserve and Protect in Place	Verify in Field
Acer rubrum October Glory	2.0' - 2.5' Cal.	Zone: 3	8
October Glory Red Maple		Fall Plant Hazard	
Acer x freemanii 'Armstrong'	2.0' - 2.5' Cal.	Zone: 3	25
Freeman Maple (Fastigate)		Fall Plant Hazard	
Carpinus caroliniana American Hornbeam	2.0' - 2.5' Cal.	Zone: 3a	3
		Fall Plant Hazard	
Celtis occidentalis Common Hackberry	2.0' - 2.5' Cal.	Zone: 1	6
		Fall Plant Hazard	
Ginkgo biloba 'Princeton Sentry'	3.0' - 3.5' Cal.	Zone: 3	9
Maidenhair Tree (Male only)		Fall Plant Hazard	
Nyssa sylvatica var. Marshall	2.0' - 2.5' Cal.	Zone: 3	9
Blackgum		Fall Plant Hazard	
FLOWERING TREES	SIZE	NOTES	QTY
Amelanchier arborea Downy Serviceberry	1.5' - 2.0' Cal.	Zone: 4	11
Cercis canadensis Eastern Redbud	1.5' - 2.0' Cal.	Zone: 4	25
		Fall Plant Hazard	
Malus Snowdrift Snowdrift Crabapple	1.5' - 2.0' Cal.	Zone: 4	4
		Fall Plant Hazard	
ORNAMENTAL TREES	SIZE	NOTES	QTY
Betula nigra 'Heritage' River Birch	12' H 8" S & B	Zone: 3	3
		Fall Plant Hazard	
Stewartia ovata Mountain Stewartia	1.0' - 1.5' Cal.	Zone: 5	10
CONIFER TREES	SIZE	NOTES	QTY
Abies balsamea 'Columnaris' Balsam Fir var. 'Columnaris'	10' - 12'	Zone: 3	5
Juniperus virginiana 'Burkii' Red Cedar var. 'Burkii'	10' - 12'	Zone: 2	14
		Fall Plant Hazard	
Thuja occidentalis Eastern Arborvitae	8' - 10'	Zone: 2	19
Picea abies 'Cupressina' Columnar Norway Spruce	12' - 14'	Zone: 3	9
DECIDUOUS SHRUBS	SIZE	NOTES	QTY
Cephalanthus occidentalis 2 Gallon		Zone: 5	8
Buddleia 2 Gallon		Zone: 3	10
Comptonia peregrina 2 Gallon		Zone: 3	17
Cornus sericea Redosier Dogwood	2 Gallon	Zone: 3	18
		Fall Plant Hazard	
Clethra alnifolia Coastal Sweet Pepperbush	2 Gallon	Zone: 3	2
Dirca palustris Leatherwood	2 Gallon	Zone: 5	72
Fothergilla gardenii Dwarf Fothergilla	2 Gallon	Zone: 3	15
Ilex verticillata Waxberry	2 Gallon	Zone: 3	39
Lindera benzoin Spice bush	2 Gallon	Zone: 2	3
Viburnum trilobum Cranberry bush	2 Gallon	Zone: 2	3
EVERGREEN SHRUBS	SIZE	NOTES	QTY
Juniperus communis Common Juniper	3 Gallon	Zone: 2	46
Kalmia latifolia Mountain Laurel	3 Gallon	Zone: 3	53
GROUNDCOVERS	SIZE	NOTES	QTY
Ardostaphylos uva-ursi 1 Gallon		Zone: 2	227
Kinnikinnick		Zone: 4	137
Coreopsis lanceolata Tickseed	1 Gallon	Zone: 2	48
Vaccinium angustifolium Low Sweet Blueberry	1 Gallon	Zone: 2	48
PERENNIALS	SIZE	NOTES	QTY
Astilbe var. 'Snowdrift' Snowdrift Astilbe	#2 Container	Zone: 4	34
Coreopsis grandiflora Large Flowered Tickseed	#2 Container	Zone: 4a	113
Dicentra Bleeding Heart	#2 Container	Zone: 3	11
Echinacea magna Purple Cone Flower	#2 Container	Zone: 4a	59
Helianthus scaberrimus Tall Mountain Helianthus	#2 Container	Zone: 5	14
Hemerocallis illocephala Hemerocallis	#2 Container	Zone: 4	34
Lenox Lily	#2 Container	Zone: 3	60
Hemerocallis fulva Orange Daylily	#2 Container	Zone: 3	8
Hyacinthoides hispanica Spanish Bluebell	#2 Container	Zone: 3	20
Liatris spicata Liatris	#2 Container	Zone: 3	15
Polygonatum odoratum Solomon's Seal	#2 Container	Zone: 4	15
Pulmonaria 'Baby Blue' Lungwort	#2 Container	Zone: 4a	95
Rudbeckia trioba Black-eyed Susan	#2 Container	Zone: 4	20
VINE	SIZE	NOTES	QTY
Parthenocissus tricuspidata Boston Ivy	2 Container	Zone: 4	20
SEED MIX	SIZE	NOTES	QTY
Conservation / Wildlife Seed Mix (Low-maintenance)		21,200 S.F.	
Source: N.E. Wetland Plants			
LANDSCAPE MATERIALS	SIZE	NOTES	QTY
Bark Mulch	3" depth	19,450 S.F.	
Shredded Organic Bark Mulch		all planting areas	
Landscape Border		645 L.W. FT.	
Landscape edging material			
PLANT LEGEND: STORMWATER	SIZE	NOTES	QTY
PERENNIAL	SIZE	NOTES	QTY
Aquilegia canadensis Blue Columbine	SP#3	Zone: 3	50
		Rain garden area	
Eutrochium purpureum Sweet Joe Pye Weed var. 'Little Joe'	SP#3	Zone: 3	25
		Rain garden area	
Monsarda fistulosa Beebalm	SP#3	Zone: 3	40
		Rain garden area	
Penstemon digitalis Fungus	SP#3	Zone: 3	45
		Rain garden area	
GRASSES	SIZE	NOTES	QTY
Schizachyrium scoparium Little bluestem	SP#3	Zone: 3	15
		Rain garden area	
GROUNDCOVERS	SIZE	NOTES	QTY
Cornus canadensis Bunchberry	1 Gallon	Zone: 2	25
		Fall plant hazard	
Vaccinium angustifolium Low-sweet blueberry	SP#3	Zone: 2	25
		Rain garden area	
SPECIALTY SEED MIX	SIZE	NOTES	QTY
Wetland Seed Mix (Restoration)		8,975 S.F.	
Source: N.E. Wetland Plants			
Erosion Control / Restoration (Detention basins)		4,850 S.F.	
Source: N.E. Wetland Plants			

**Tighe & Bond**  
Engineers | Environmental Specialists

**HARRIMAN**  
AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117

**PERMIT DRAWINGS**  
NOT FOR CONSTRUCTION

SCALE IN FEET  
0 20 40'  
GRAPHIC SCALE

**Mill Plaza**  
**Redevelopment**

Colonial Durham Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

DATE	DESCRIPTION
1/20/2021	Planning Board Comments
6/2/2020	Planning Board Comments
5/20/2020	Planning Board Comments
1/2/2020	General Revisions

MARK DATE DESCRIPTION

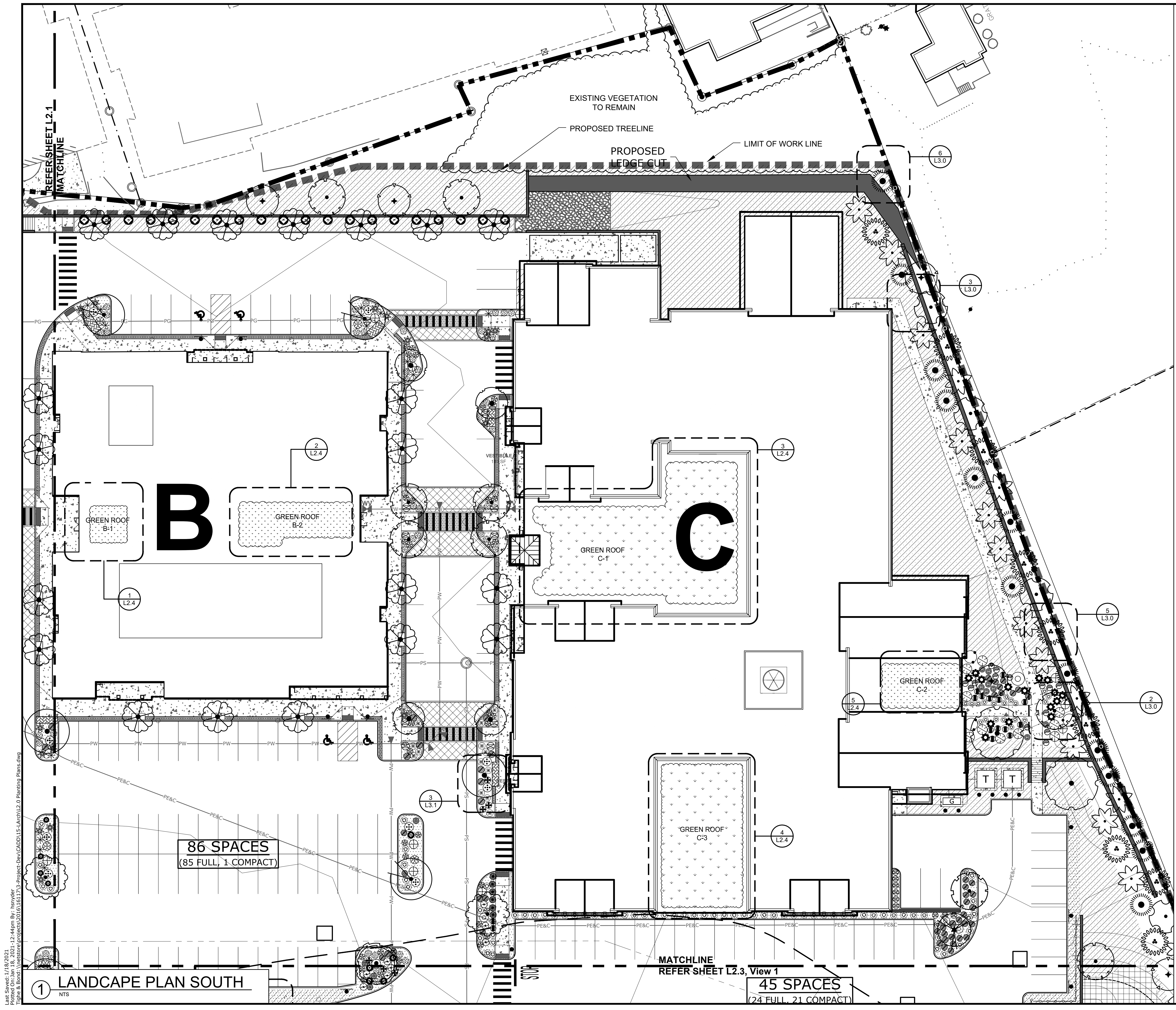
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DATE: 05/23/18  
FILE: L2.0 Planting Plans.dwg  
DRAWN BY: HAS/TNE  
CHECKED: JMP  
APPROVED: BLM

**PLANTING PLAN**

SCALE: **L2.1**

1. Not all plant material species and quantities shown will be used. Final plant material specifications dependent on conformance to, and approval by, local and state regulations and agencies.  
2. Plant material specified shall conform to ANLA American Standard for Nursery Stock, ANSI Z60.1 current edition.  
3. No permanent irrigation system is proposed.

Left Sheet: 1/26/2021  
 Plotted On: Feb 01, 2021 4:03pm By: hsydyer  
 Tighe & Bond \inetstore\projects\2016\16117\3-project\Dev\CADD\15-Larch\12.0 Planting Plans.dwg



PLANT LEGEND			
SHADE TREES	SIZE	NOTES	QTY
<i>Existing Tree to Remain</i> Pressure and Protect in Place			
	Acer rubrum October Glory	2.0' - 2.5' Cal. Zone 3	8
	Acer x freemanii 'Armstrong'	2.0' - 2.5' Cal. Zone 3	25
	Carpinus caroliniana American Hornbeam	2.0' - 2.5' Cal. Zone 3a	3
	Celtis occidentalis Common Hackberry	2.0' - 2.5' Cal. Zone 1	6
	Ginkgo biloba 'Princeton Sentry'	3.0' - 3.5' Cal. Zone 3	9
	Nysa sylvatica var. Marshall	2.0' - 2.5' Cal. Zone 3	9
	Amelanchier arborea Downy Serviceberry	1.5' - 2.0' Cal. Zone 4	11
	Cercis canadensis Eastern Redbud	1.5' - 2.0' Cal. Zone 4	25
	Malus Snowdrift Snowdrift Crabapple	1.5' - 2.0' Cal. Zone 4	4
FLOWERING TREES			
SIZE	NOTES	QTY	
	Betula nigra 'Heritage' River Birch	12" H B & B Zone 3a	5
	Stewartia ovata Mountain Stewartia	1.0' - 1.5' Cal. Zone 5	10
CONIFER TREES			
SIZE	NOTES	QTY	
	Abies balsamea 'Columnaris' Balsam Fir var. Columnaris	10' - 12' Zone 3	5
	Juniperus virginiana 'Burkii' Red Cedar var. Burkii	10' - 12' Zone 2	14
	Thuja occidentalis Eastern Arborvitae	8' - 10' Zone 2	19
	Picea abies 'Cupressina' Columbian Norway Spruce	12' - 14' Zone 3	9
DECIDUOUS SHRUBS			
SIZE	NOTES	QTY	
	Cephalanthus occidentalis Butterfly Bush	2 Gallon Zone 5	8
	Comptonia peregrina Sweetfern	2 Gallon Zone 3	10
	Cornus sericea Redosier Dogwood	2 Gallon Zone 3	17
	Clethra alnifolia Coastal Sweet Pepperbush	2 Gallon Zone 3	18
	Dirca palustris Leatherwood	2 Gallon Zone 3	2
	Fothergilla gardenii Dwarf Fothergilla	2 Gallon Zone 5	72
	Ilex verticillata Winterberry	2 Gallon Zone 3	15
	Lindera benzoin Spice bush	2 Gallon Zone 3	39
	Viburnum trilobum Cranberry bush	2 Gallon Zone 2	3
EVERGREEN SHRUBS			
SIZE	NOTES	QTY	
	Juniperus communis Common Juniper	3 Gallon Zone 2	46
	Kalmia latifolia Mountain Laurel	3 Gallon Zone 3	53
GROUNDCOVERS			
SIZE	NOTES	QTY	
	Arctostaphylos uva-ursi Kinnikinnick	1 Gallon Zone 2	227
	Coreopsis lanceolar Tickseed	1 Gallon Zone 4	137
	Vaccinium angustifolium Low Sweet Blueberry	1 Gallon Zone 2	48
PERENNIALS			
SIZE	NOTES	QTY	
	Astilbe var. Snowdrift Snowdrift Astilbe	#2 Container Zone 4	34
	Coreopsis grandiflora Large Flowered Tickseed	#2 Container Zone 4a	113
	Dicentra Bicolor Bicolor Heart	#2 Container Zone 3	11
	Echinacea magna Purple Cone Flower	#2 Container Zone 4a	59
	Helianthus scaberrimus Tule Mountain Helianthus	#2 Container Zone 5	14
	Hemerocallis lilloaiphodius Lemon Lily	#2 Container Zone 4	34
	Hemerocallis fulva Orange Daylily	#2 Container Zone 3	60
	Hyacinthoides hispanica Spanish Bluebell	#2 Container Zone 3	8
	Liatris spicata Liatris	#2 Container Zone 3	20
	Polygonatum odoratum Solomon's Seal	#2 Container Zone 3	15
	Pulmonaria 'Baby Blue' Lungwort	#2 Container Zone 4	15
	Rudbeckia triloba Black-eyed Susan	#2 Container Zone 4a	95
VINE			
SIZE	NOTES	QTY	
	Parthenocissus tricuspidata Boston Ivy	#2 Container Zone 4	20
SEED MIX			
SIZE	NOTES	QTY	
	Conservation / Wildlife Seed Mix (Low-maintenance areas)	21,200 S.F.	
	Bark Mulch	3" depth 19,450 S.F.	
	Shredded Organic Bark Mulch	all planting areas	
	Landscape Border	645 LN. FT.	
LANDSCAPE MATERIALS			
SIZE	NOTES	QTY	
	Landscape Edging Material		
PLANT LEGEND: STORMWATER			
PERENNIAL	SIZE	NOTES	QTY
	Aquilegia canadensis Red Columbine	SPK3 Rain garden area	50
	Eutrochium purpureum Sweet Joe Pye Weed var. 'Little Joe'	SPK3 Rain garden area	25
	Monarda fistulosa Bleeding Heart	SPK3 Rain garden area	40
	Penstemon digitalis Fungus	SPK3 Rain garden area	45
GRASSES			
SIZE	NOTES	QTY	
	Schizachyrium scoparium Little bluestem	SPK3 Rain garden area	15
GROUNDCOVERS			
SIZE	NOTES	QTY	
	Cornus canadensis Bunchberry	1 Gallon Zone 2	25
	Vaccinium angustifolium Low Sweet Blueberry	SPK3 Rain garden area	25
SPECIALTY SEED MIX			
SIZE	NOTES	QTY	
	Wetland Seed Mix (Restoration)	6,875 S.F.	
	Erosion Control / Restoration (Detention basins)	4,860 S.F.	

**Tighe & Bond**  
Engineers | Environmental Specialists

**HARRIMAN**  
AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117

**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**

SCALE IN FEET  
0 20' 40'  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

1/20/2021	Planning Board Comments
6/2/2020	Planning Board Comments
5/20/2020	Planning Board Comments
1/2/2020	General Revisions

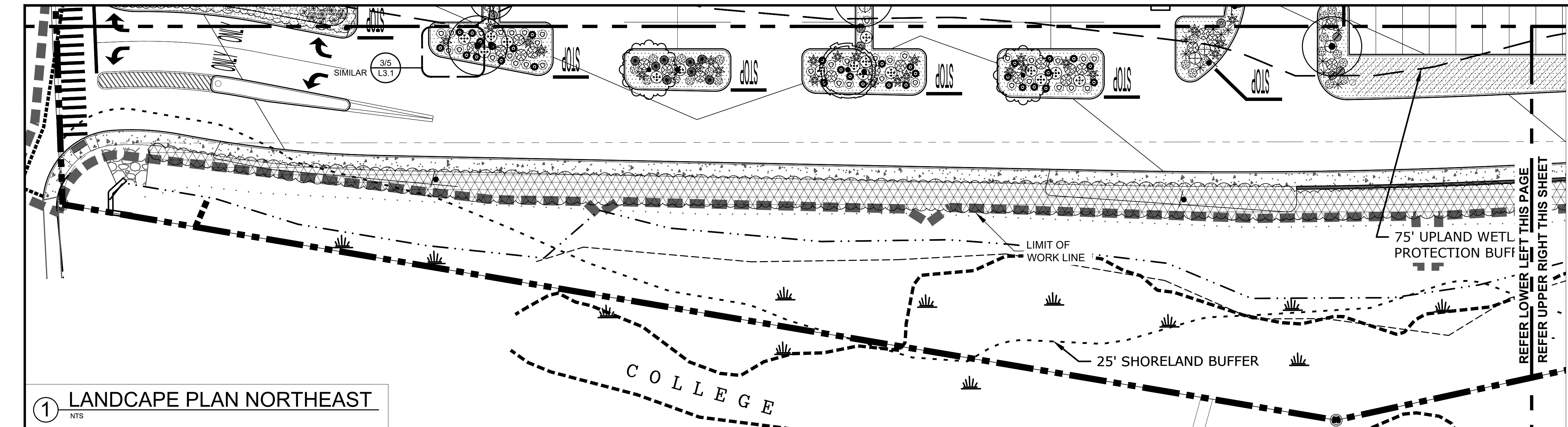
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PROJECT NO: M1529-002  
DATE: 05/23/18  
FILE: L2.0 Planting Plans.dwg  
DRAWN BY: HAS/TNE  
CHECKED BY: JMP  
APPROVED BY: BLM

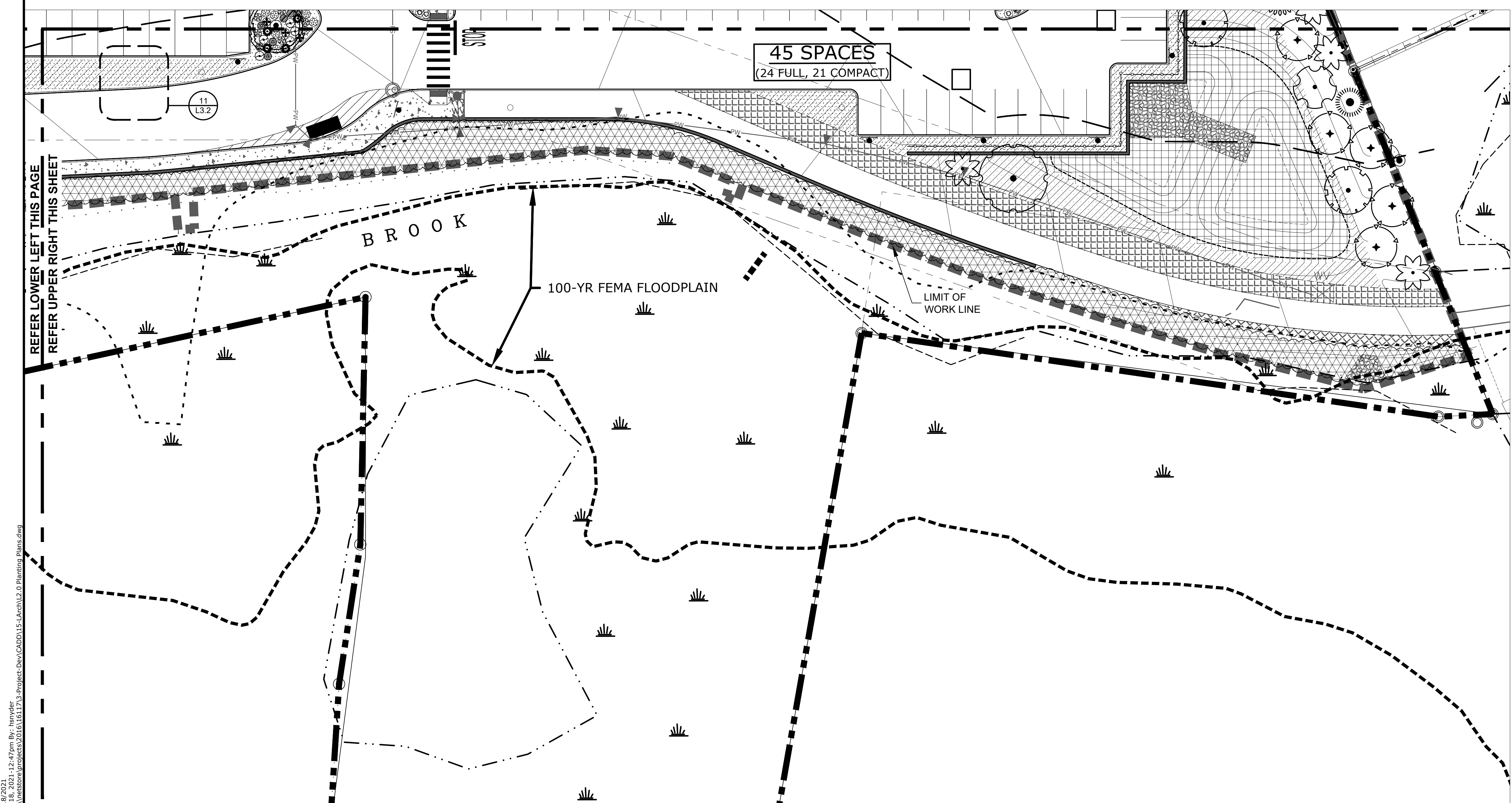
**PLANTING PLAN**

SCALE: **L2.2**

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 By: hnyrder  
 Tighe & Bond \inetstore\projects\2016\16117\3-project\Dev\CADD\15-LARCH\L2.0 Planting Plans.dwg



1 LANDSCAPE PLAN NORTHEAST  
NTS



2 LANDSCAPE PLAN SOUTHWEST  
NTS

PLANT LEGEND			
SHADE TREES	SIZE	NOTES	QTY
	2.0' - 2.5' Cal.	Zone 3	8
	2.0' - 2.5' Cal.	Zone 3	25
	2.0' - 2.5' Cal.	Zone 3a	3
	2.0' - 2.5' Cal.	Zone 1	6
	3.0' - 3.5' Cal.	Zone 3	9
	2.0' - 2.5' Cal.	Zone 3	9
FLOWERING TREES			
SIZE	NOTES	QTY	
	1.5' - 2.0' Cal.	Zone 4	25
	1.5' - 2.0' Cal.	Zone 4	4
ORNAMENTAL TREES			
SIZE	NOTES	QTY	
	12" H & D	Zone 3a	3
	1.0' - 1.5' Cal.	Zone 5	10
CONIFER TREES			
SIZE	NOTES	QTY	
	10' - 12'	Zone 3	5
	10' - 12'	Zone 2	14
	8' - 10'	Zone 2	19
	12' - 14'	Zone 3	9
DECIDUOUS SHRUBS			
SIZE	NOTES	QTY	
	2 Gallon	Zone 3	10
	2 Gallon	Zone 3	17
	2 Gallon	Zone 3	18
	2 Gallon	Zone 3	2
	2 Gallon	Zone 5	72
	2 Gallon	Zone 3	15
	2 Gallon	Zone 3	39
	2 Gallon	Zone 2	3
EVERGREEN SHRUBS			
SIZE	NOTES	QTY	
	3 Gallon	Zone 3	53
GROUNDCOVERS			
SIZE	NOTES	QTY	
	1 Gallon	Zone 2	227
	1 Gallon	Zone 4	137
	1 Gallon	Zone 2	48
PERENNIALS			
SIZE	NOTES	QTY	
	#2 Container	Zone 4	34
	#2 Container	Zone 4a	113
	#2 Container	Zone 4a	59
	#2 Container	Zone 5	14
	#2 Container	Zone 4	34
	#2 Container	Zone 3	60
	#2 Container	Zone 3	8
	#2 Container	Zone 3	20
	#2 Container	Zone 3	15
	#2 Container	Zone 4	15
	#2 Container	Zone 4a	95
VINE			
SIZE	NOTES	QTY	
	Container	Zone 4	20
SEED MIX			
SIZE	NOTES	QTY	
	Low-maintenance areas	21,200 S.F.	
LANDSCAPE MATERIALS			
SIZE	NOTES	QTY	
	3" depth	19,450 S.F.	
	all planting areas		
		645 LN. FT.	
PLANT LEGEND: STORMWATER			
PERENNIAL	SIZE	NOTES	QTY
	SPW3	Zone 3	50
	SPW3	Zone 3	25
	SPW3	Zone 3	40
	SPW3	Zone 3	45
GRASSES			
SIZE	NOTES	QTY	
	SPW3	Zone 3	15
GROUNDCOVERS			
SIZE	NOTES	QTY	
	1 Gallon	Zone 2	25
	SPW3	Zone 2	25
SPECIALITY SEED MIX			
SIZE	NOTES	QTY	
		8,975 S.F.	
		4,850 S.F.	

**Tighe & Bond**  
Engineers | Environmental Specialists

**HARRIMAN**  
AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117

**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**

0 20' 40'  
SCALE IN FEET  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
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New Hampshire 03824

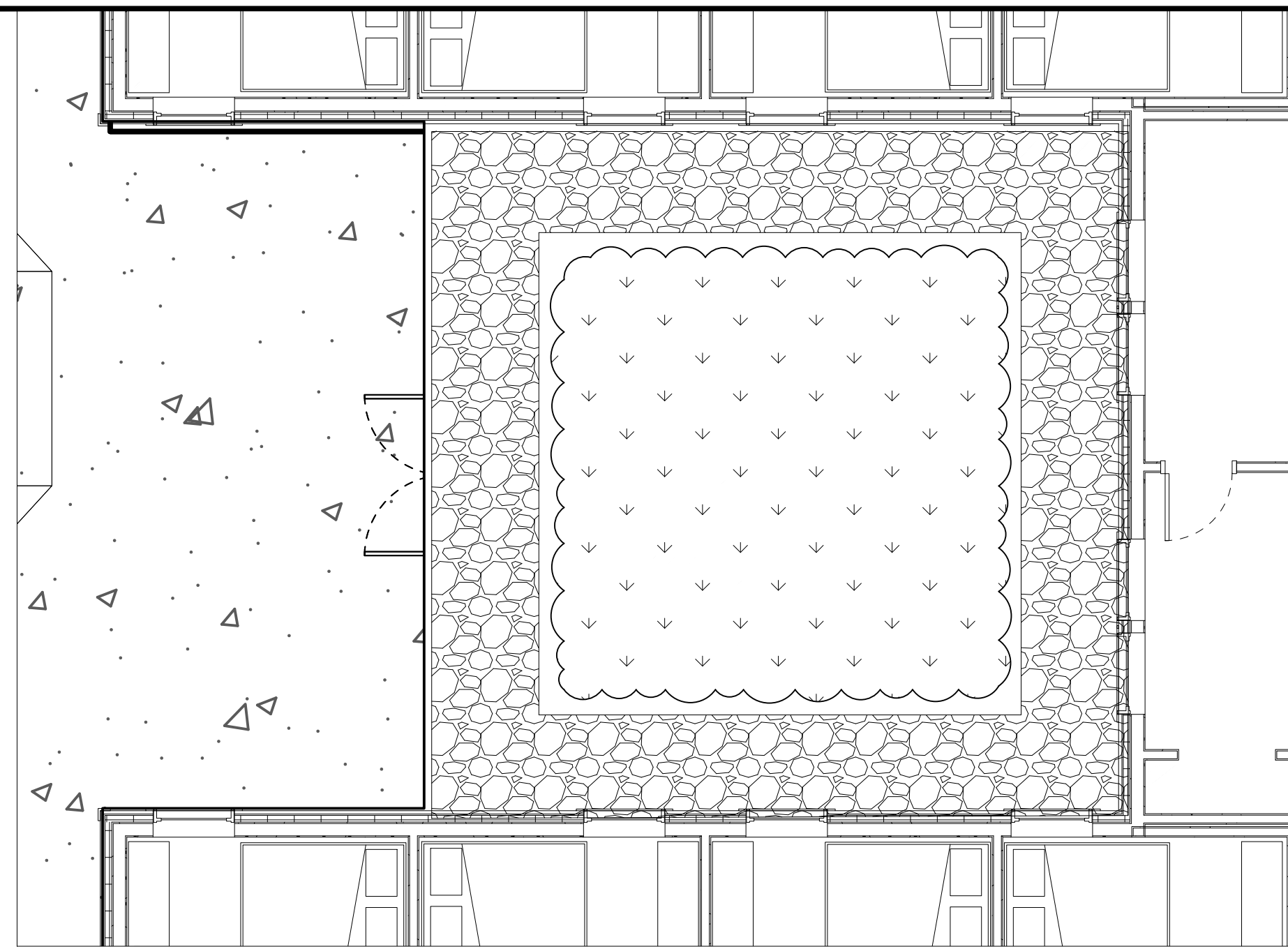
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6/2/2020	Planning Board Comments	
5/20/2020	Planning Board Comments	
1/2/2020	General Revisions	
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DATE:	05/23/18	
FILE:	L2.0 Planting Plans.dwg	
DRAWN BY:	HAS/TNE	
CHECKED BY:	JMP	
APPROVED BY:	BLM	

**PLANTING  
PLAN**

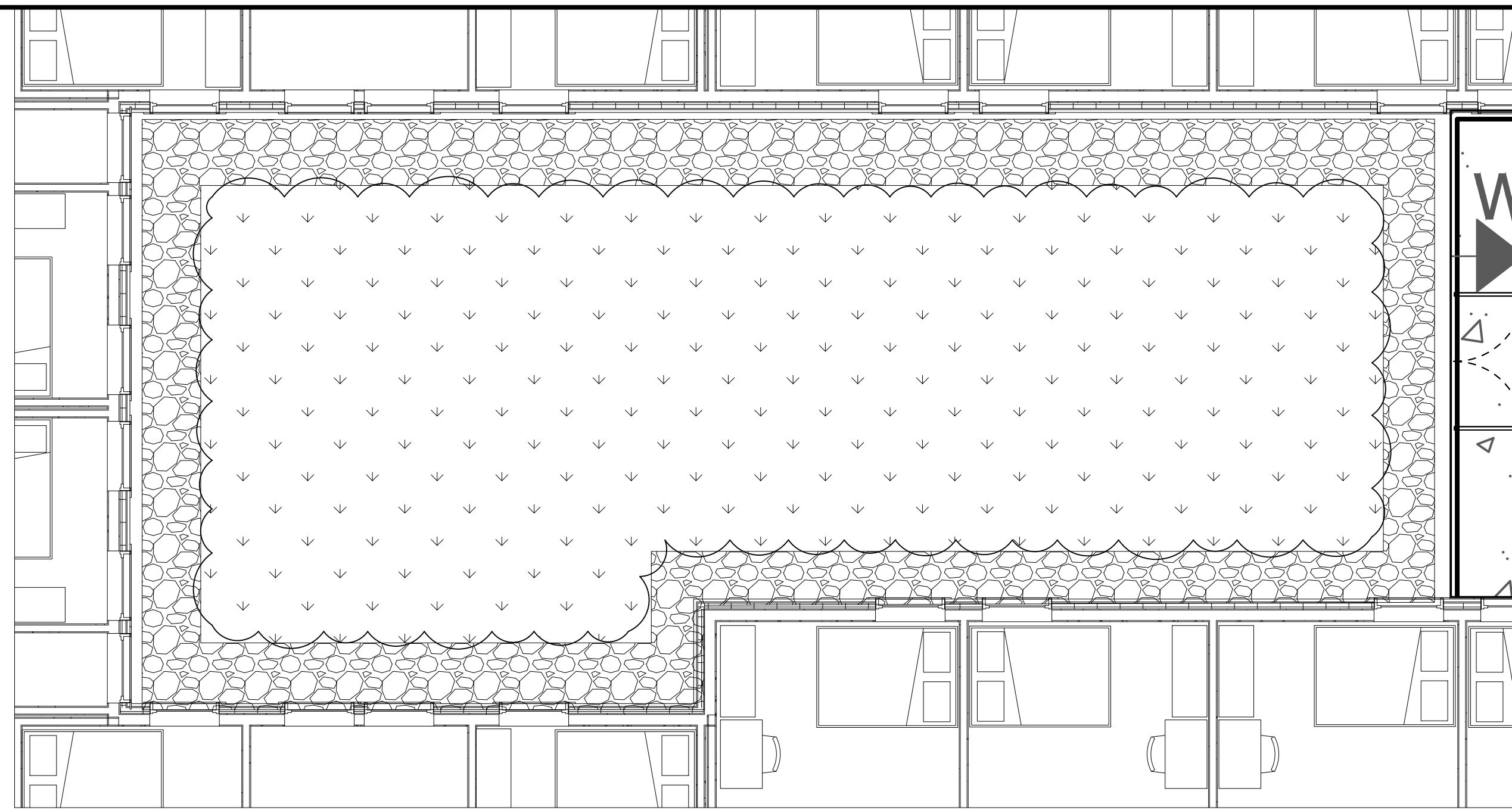
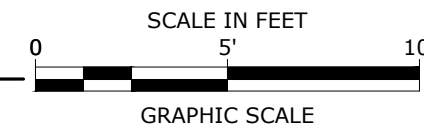
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**L2.3**

1. Not all plant material species and quantities shown will be used. Final plant material specifications dependent on conformance to, and approval by, local and state regulations and agencies.  
2. Plant material specified shall conform to ANLA American Standard for Nursery Stock, ANSI Z60.1 current edition.  
3. No permanent irrigation system is proposed.

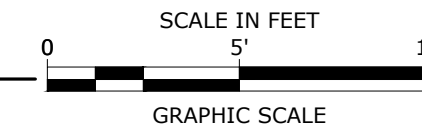
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 Tighe & Bond: \\netstore\projects\2016\16117\3-project\Dev\CADD\15-LARCH\2.0 Planting Plans.dwg



1 GREEN ROOF B-1



2 GREEN ROOF B-2



PLANT LEGEND: GREEN ROOFS

DECIDUOUS SHRUBS	SIZE	NOTES	QTY
Buddleia davidii	2 Gallon	Zone: 4	20
Butterfly Bush			
Nandina domestica 'Nana'	2 Gallon	Zone: 4	20

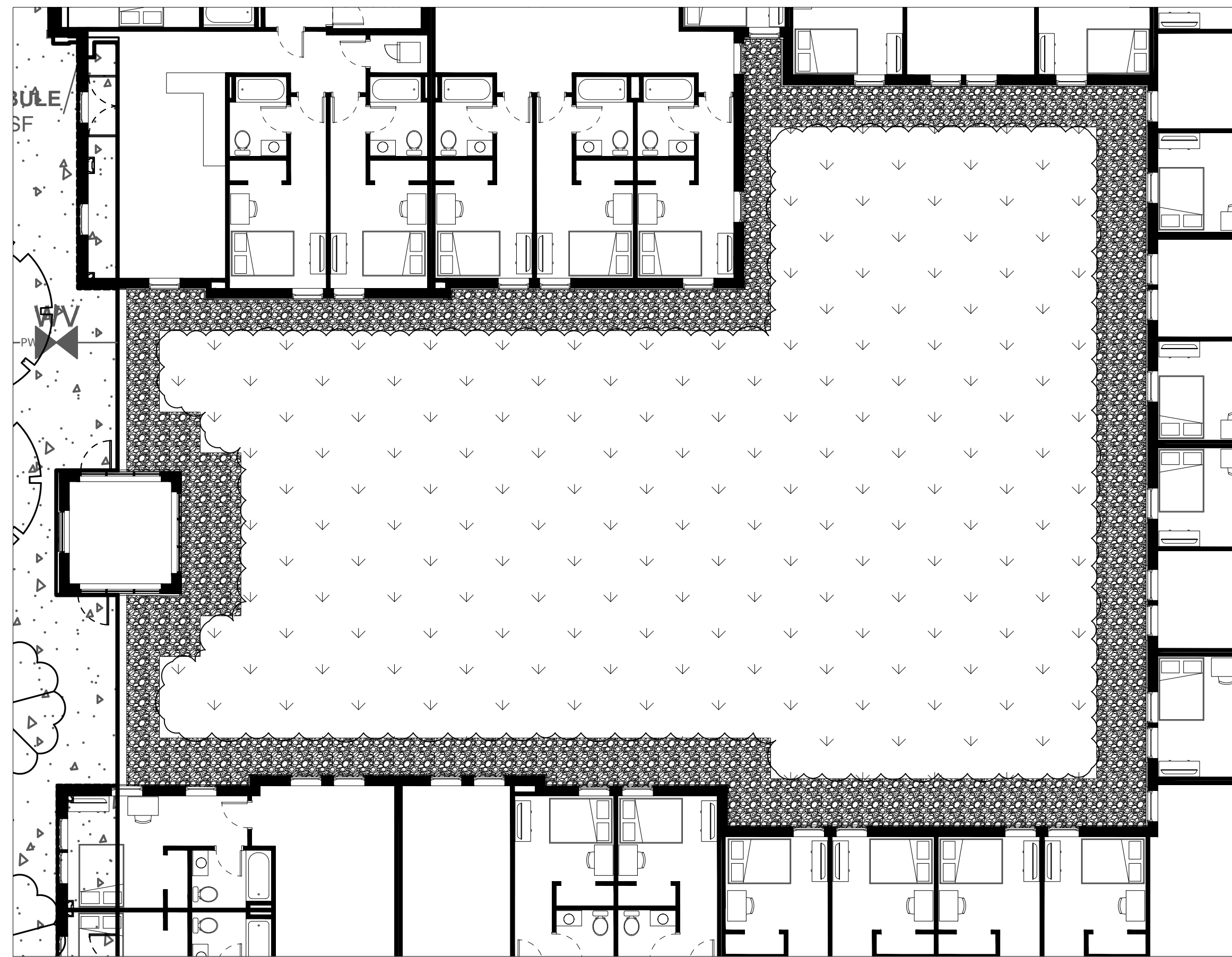
EVERGREEN SHRUBS	SIZE	NOTES	QTY
Juniperus procumbens	1 Gallon	Zone: 4	25
Common Garden Juniper			
Gaultheria procumbens	1 Gallon	Zone: 3	40
Wintergreen			

PERENNIALS	SIZE	NOTES	QTY
Achillea millefolium	#3 Container	Zone: 3	175
Yarrow			
Aljuga reptans	1 Gallon	Zone: 3	175
Common Bugle			
Allium schoenoprasum	#1 Container	Zone: 4	175
Chives			
Aquilegia canadensis	#3 Container	Zone: 3	175
Columbine			
Hemerocallis 'Anna Warne'	#3 container	Zone: 3a	175
Day Lily			
Lavandula angustifolia	#3 Container	Zone: 5	175
English Lavender			
Oenothera fruticosa	#2 Container	Zone: 4	175
Evening Primrose			
Rudbeckia fulgida	#3 Container	Zone: 3	175
Orange Coneflower			
Sedum varieties	#1 Container	Zone: 4	175
Perennial sedum			
Stachys byzantina	#2 Container	Zone: 4	175
Lamb's Ears			
Symphoricarum novae-angliae	#3 Container	Zone: 4	175
New England Aster			

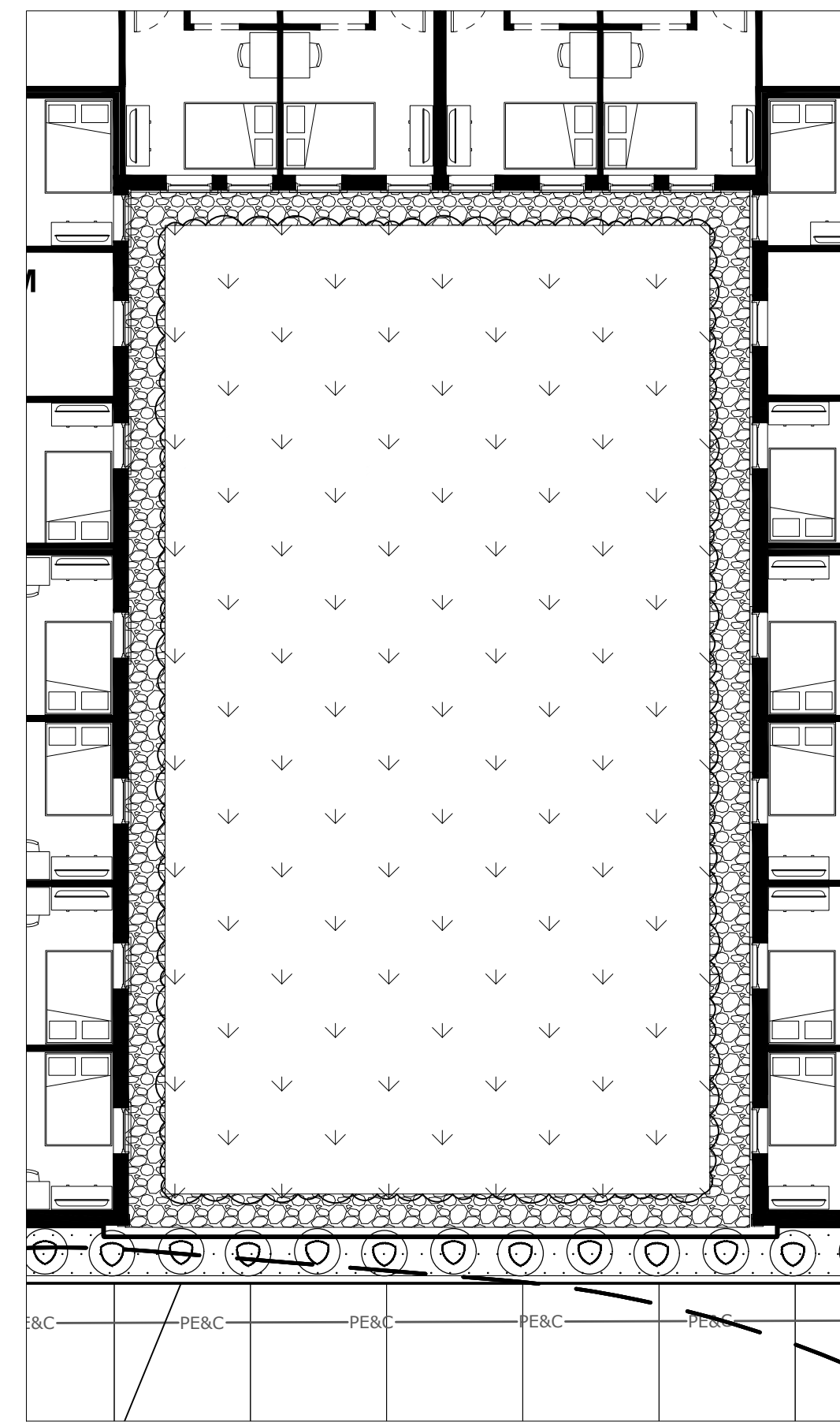
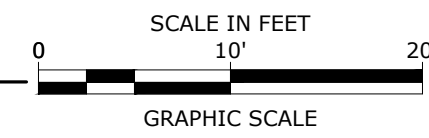
ORNAMENTAL GRASSES	SIZE	NOTES	QTY
Carex flacca	#3 container	Zone: 4	150
Blue - green Sedge			
Eragrostis spectabilis	#3 container	Zone: 5	200
Purple Lovegrass			
Festuca glauca	#3 container	Zone: 4	175
Blue Fescue			

1. Not all plant material species and quantities shown will be used. Final plant material specifications dependent on conformance to, and approval by, local and state regulations and agencies.
2. Plant material specified shall conform to ANLA American Standard for Nursery Stock, ANSI Z60.1 current edition.
3. Plant material installed on roof membrane using 4'x4' tray system.
4. No permanent irrigation system is proposed.

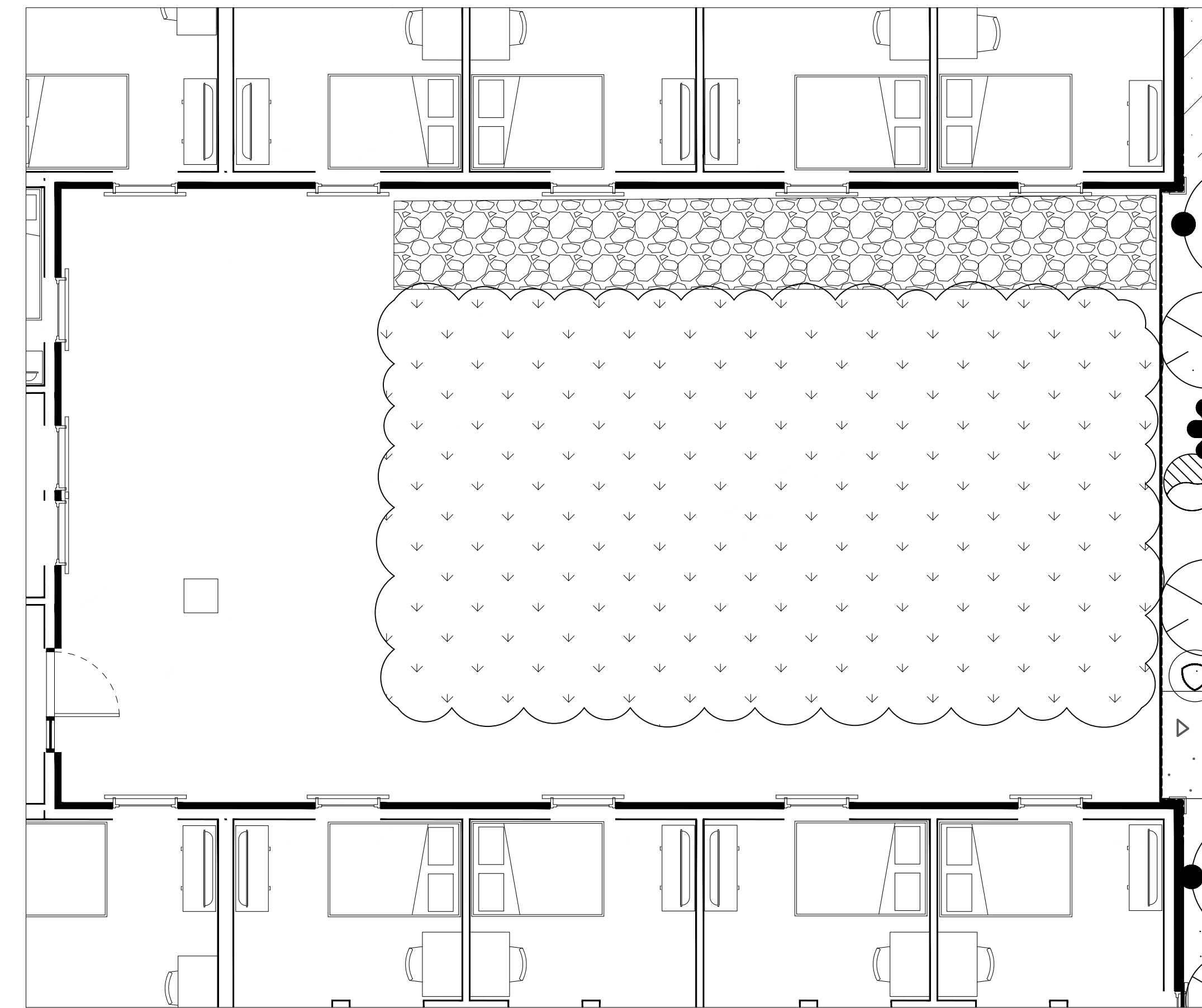
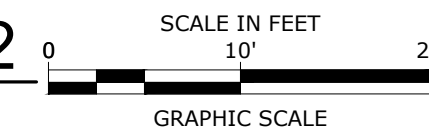
6 PLANT LIST



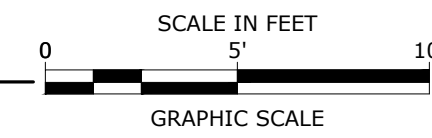
3 GREEN ROOF C-1



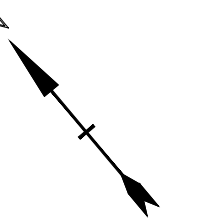
4 GREEN ROOF C-2



5 GREEN ROOF C-3



PERMIT DRAWINGS  
NOT FOR CONSTRUCTION



Mill Plaza  
Redevelopment

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

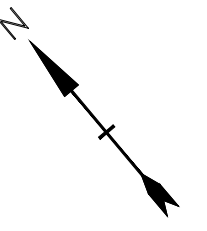
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	6/2/2020	Planning Board Comments
	5/20/2020	Planning Board Comments
	1/2/2020	General Revisions

PROJECT NO: M1529-002  
DATE: 05/23/18  
FILE: L2.0 Planting Plans.dwg  
DRAWN BY: HAS/TNE  
CHECKED BY: JMP  
APPROVED BY: BLM

ROOF PLANTING  
PLANS

SCALE:

L2.4

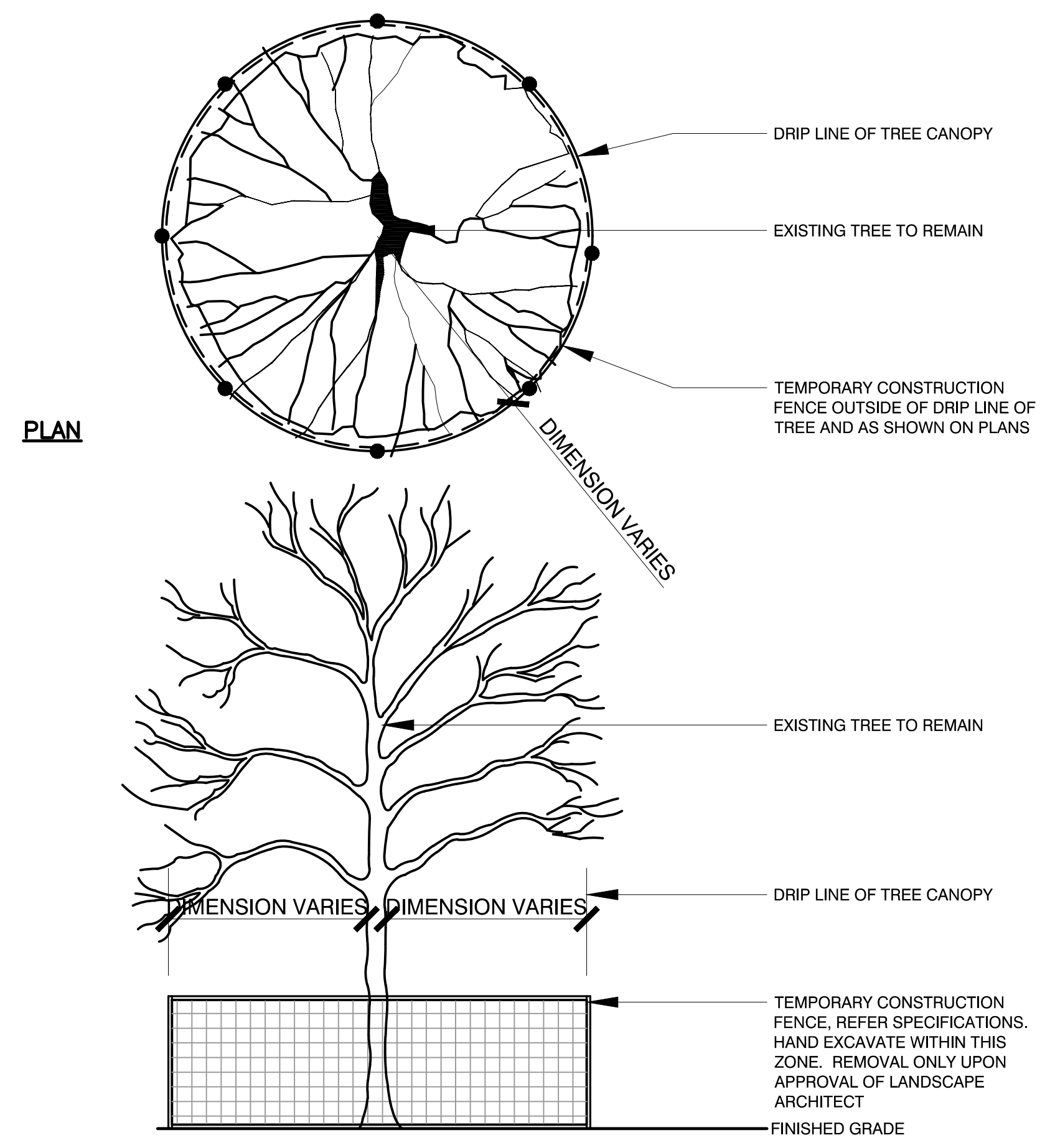


MARK	DATE	DESCRIPTION
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	5/20/2020	Planning Board Comments
	1/2/2020	General Revisions

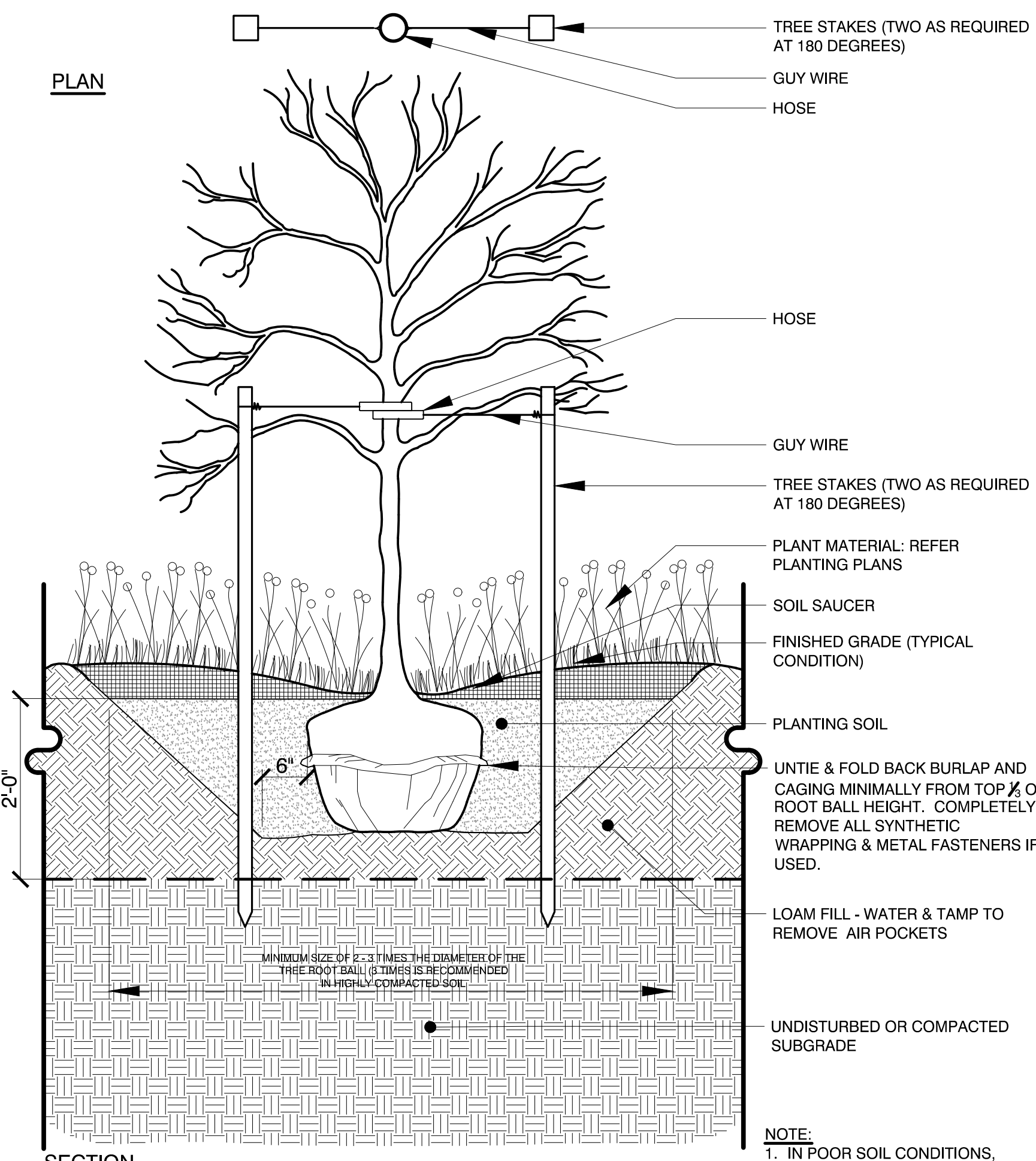
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DATE: 05/23/18  
FILE: L3.0 Planting Details.dwg  
DRAWN BY: HAS/TNE  
CHECKED: JMP  
APPROVED: BLM

**PLANTING**  
**DETAILS**

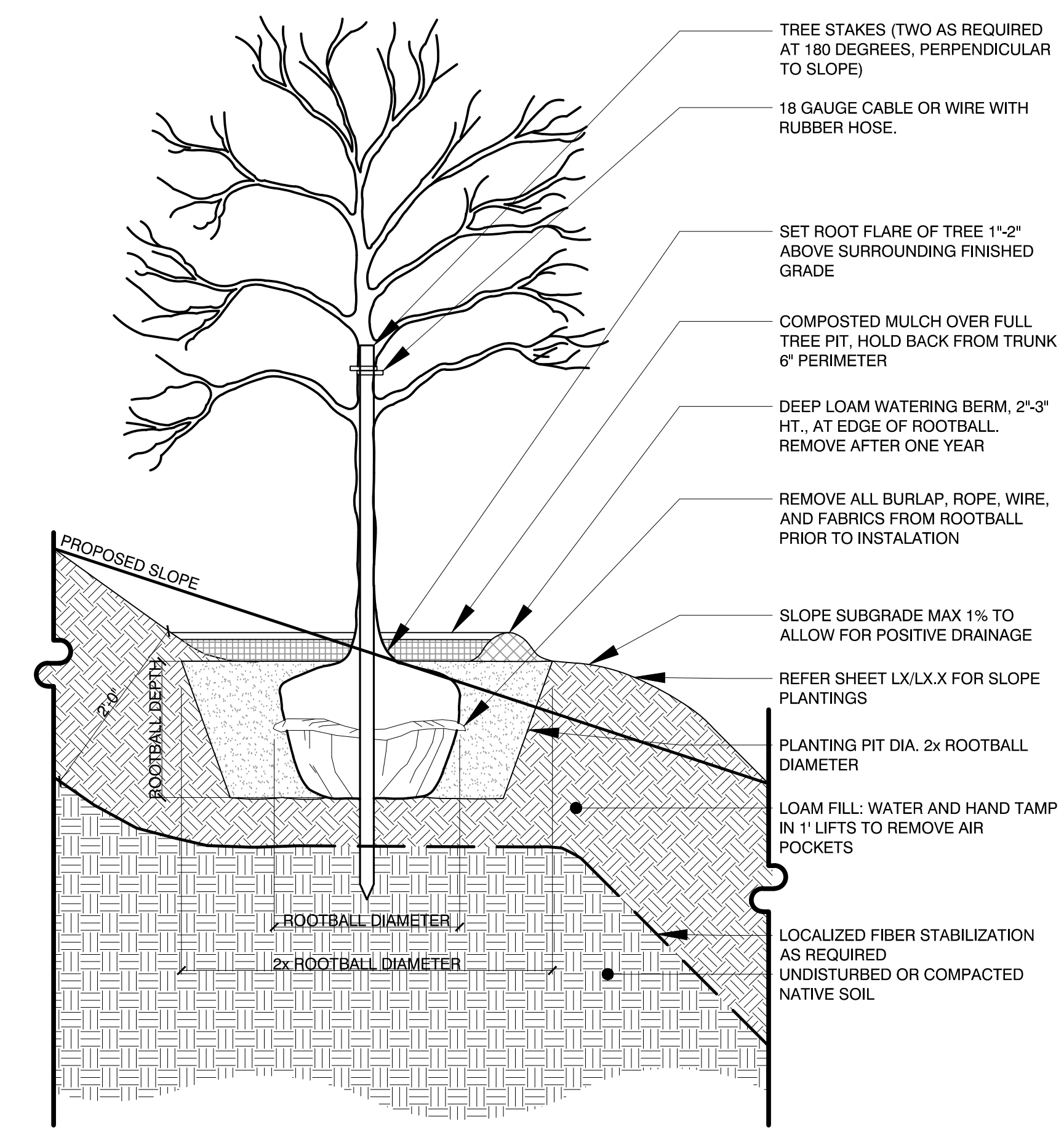
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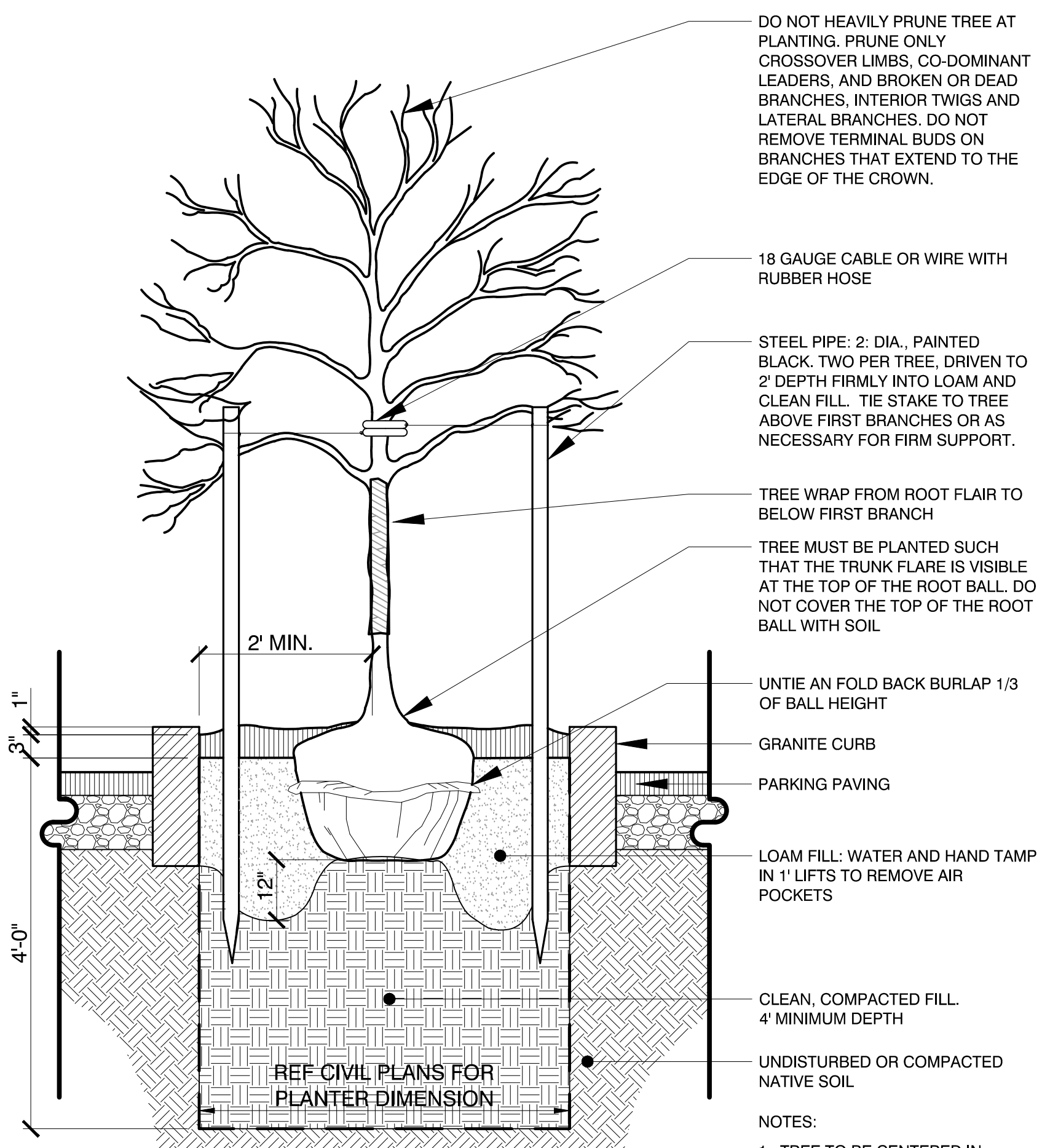
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**1 PROTECTION FOR EXISTING TREES**  
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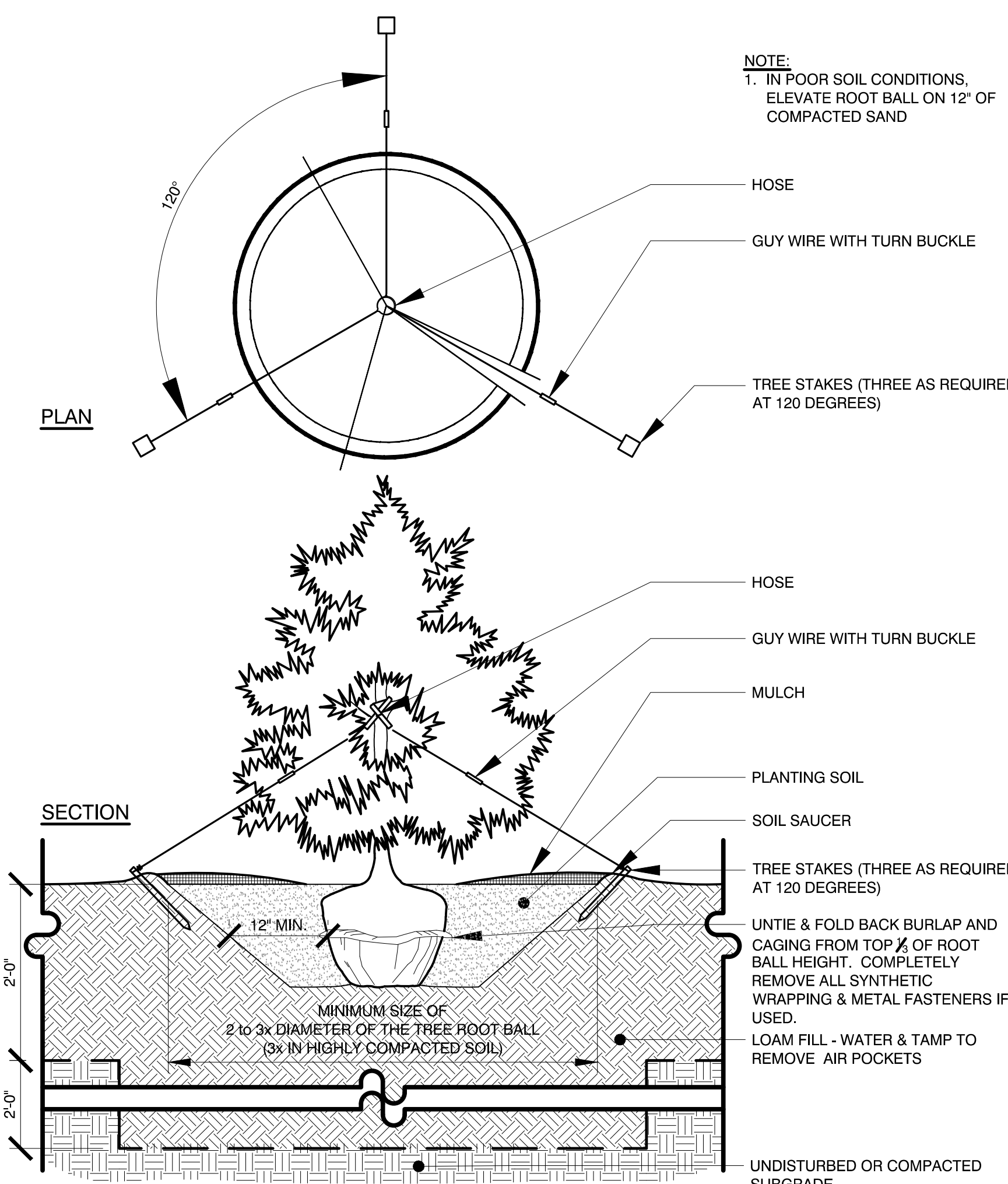
**SECTION**  
**2 DECIDUOUS TREE PLANTING, TYPICAL**  
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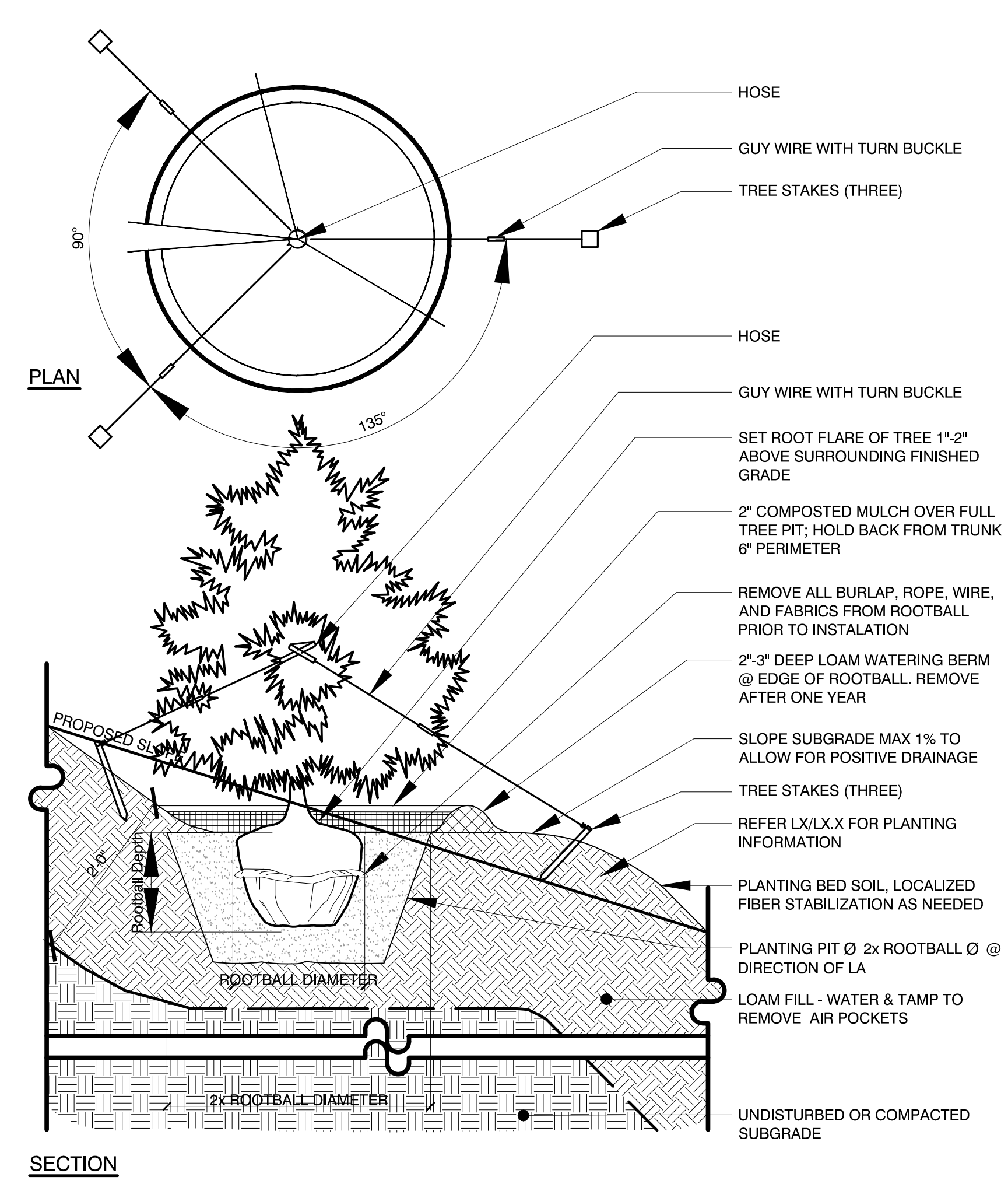
**SECTION**  
**3 DECIDUOUS TREE PLANTING, STEEP TO MODERATE SLOPES**  
Scale: Not To Scale



**SECTION**  
**4 DECIDUOUS TREE PLANTING: PARKING ISLAND**  
Scale: Not To Scale

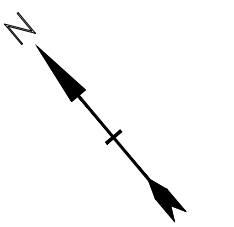


**SECTION**  
**5 EVERGREEN TREE PLANTING, TYPICAL**  
Scale: Not To Scale



**SECTION**  
**6 EVERGREEN TREE PLANTING, STEEP TO MODERATE SLOPES**  
Scale: Not To Scale

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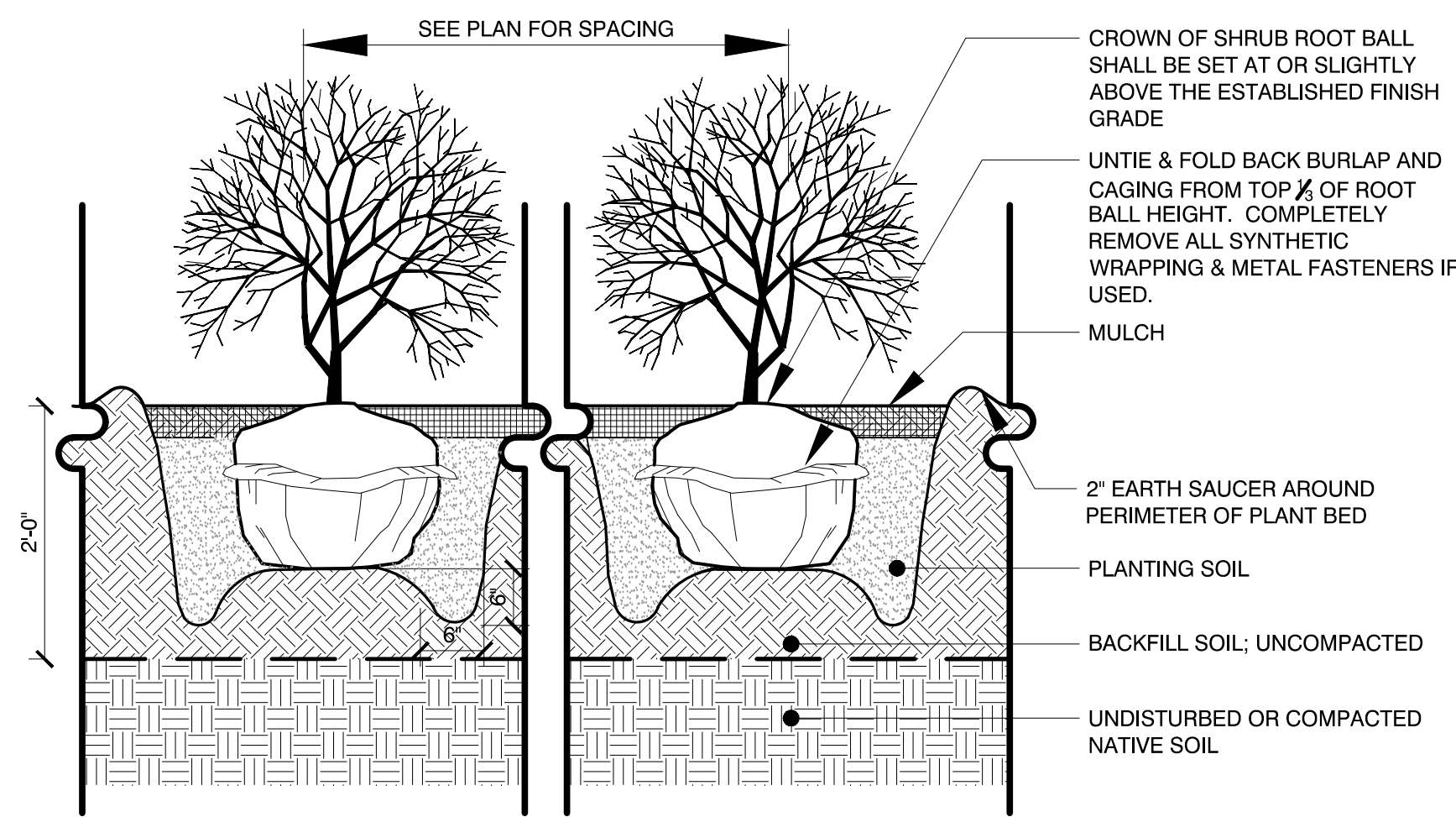


1/20/2021	Planning Board Comments	
6/2/2020	Planning Board Comments	
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1/2/2020	General Revisions	
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PROJECT NO:	M1529-002	
DATE:	05/23/18	
FILE:	L3.0 Planting Details.dwg	
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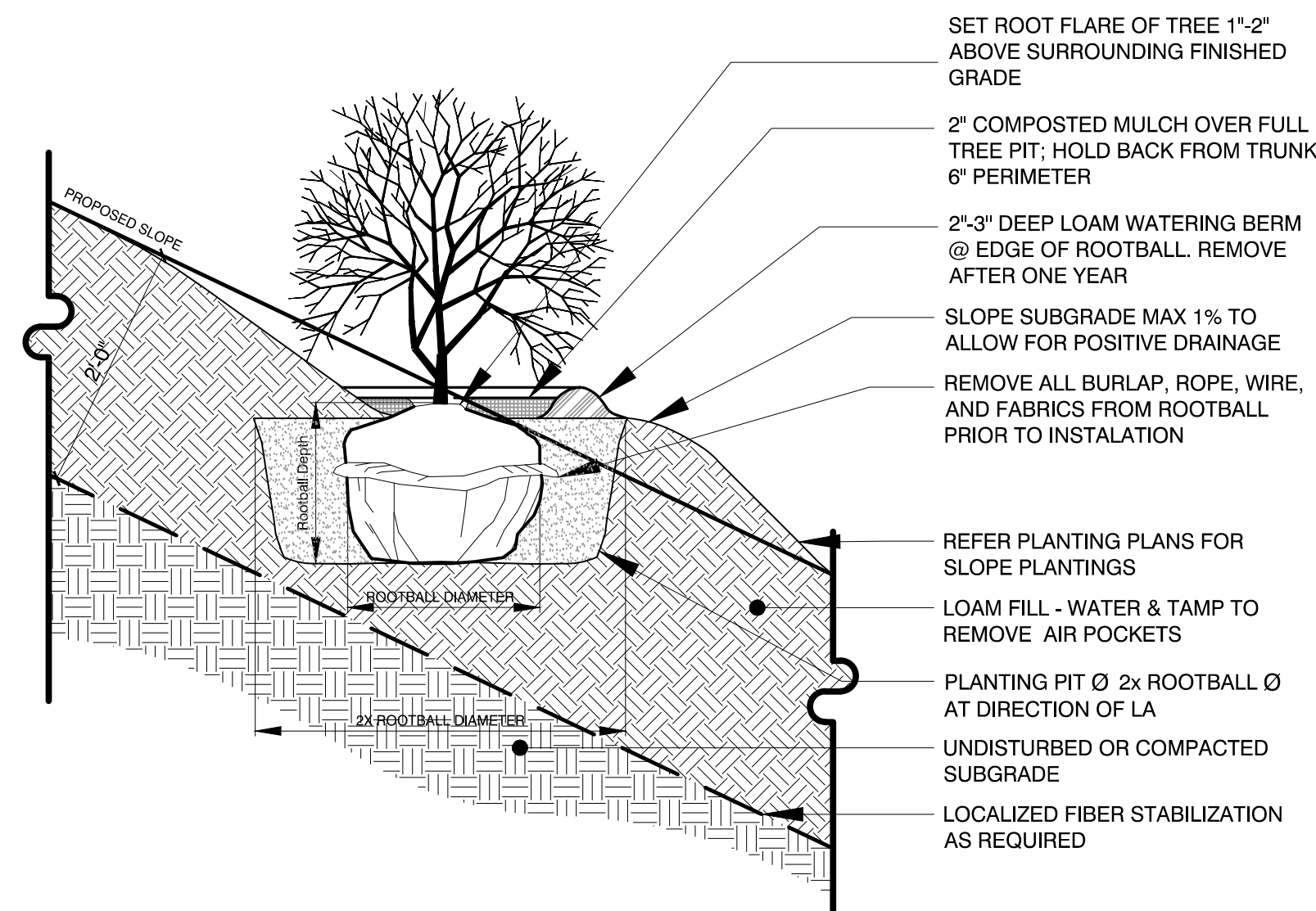
**PLANTING  
DETAILS**

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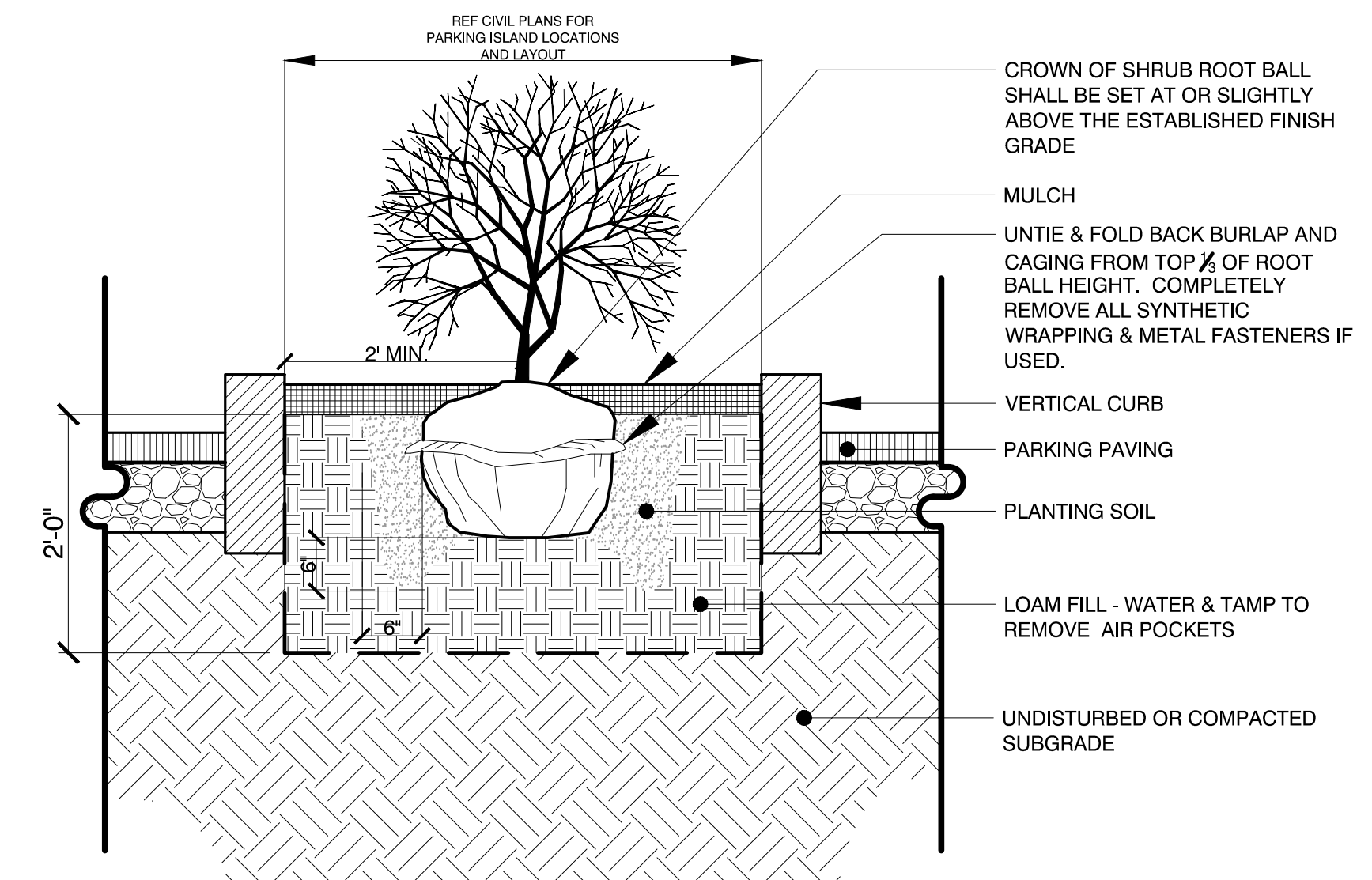
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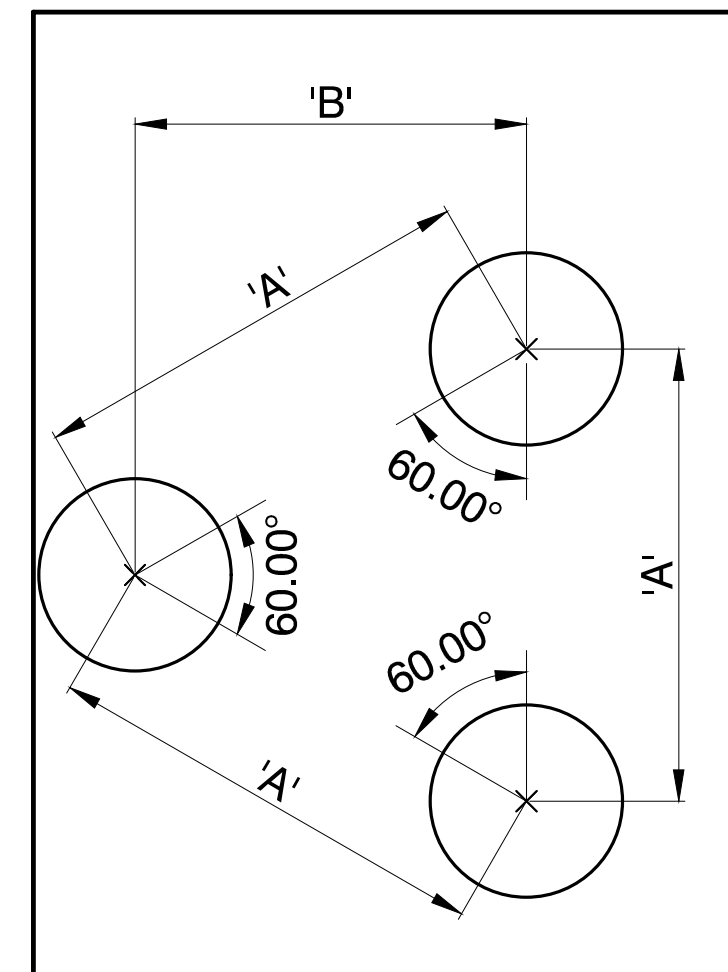
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Scale: Not To Scale



**2 SHRUB PLANTING: STEEP TO MODERATE SLOPES**  
Scale: Not to Scale

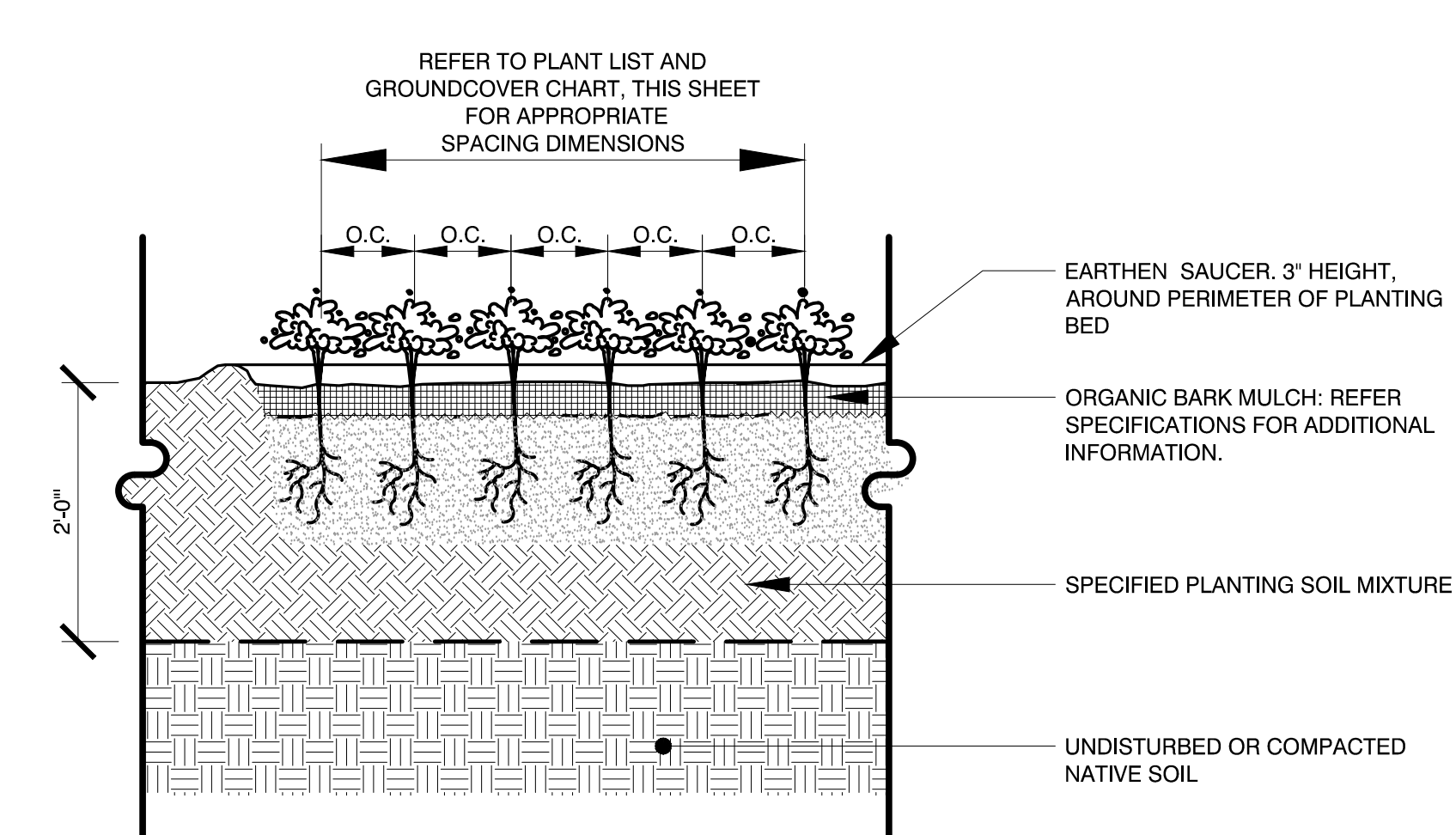


**3 SHRUB PLANTING: PARKING ISLAND**  
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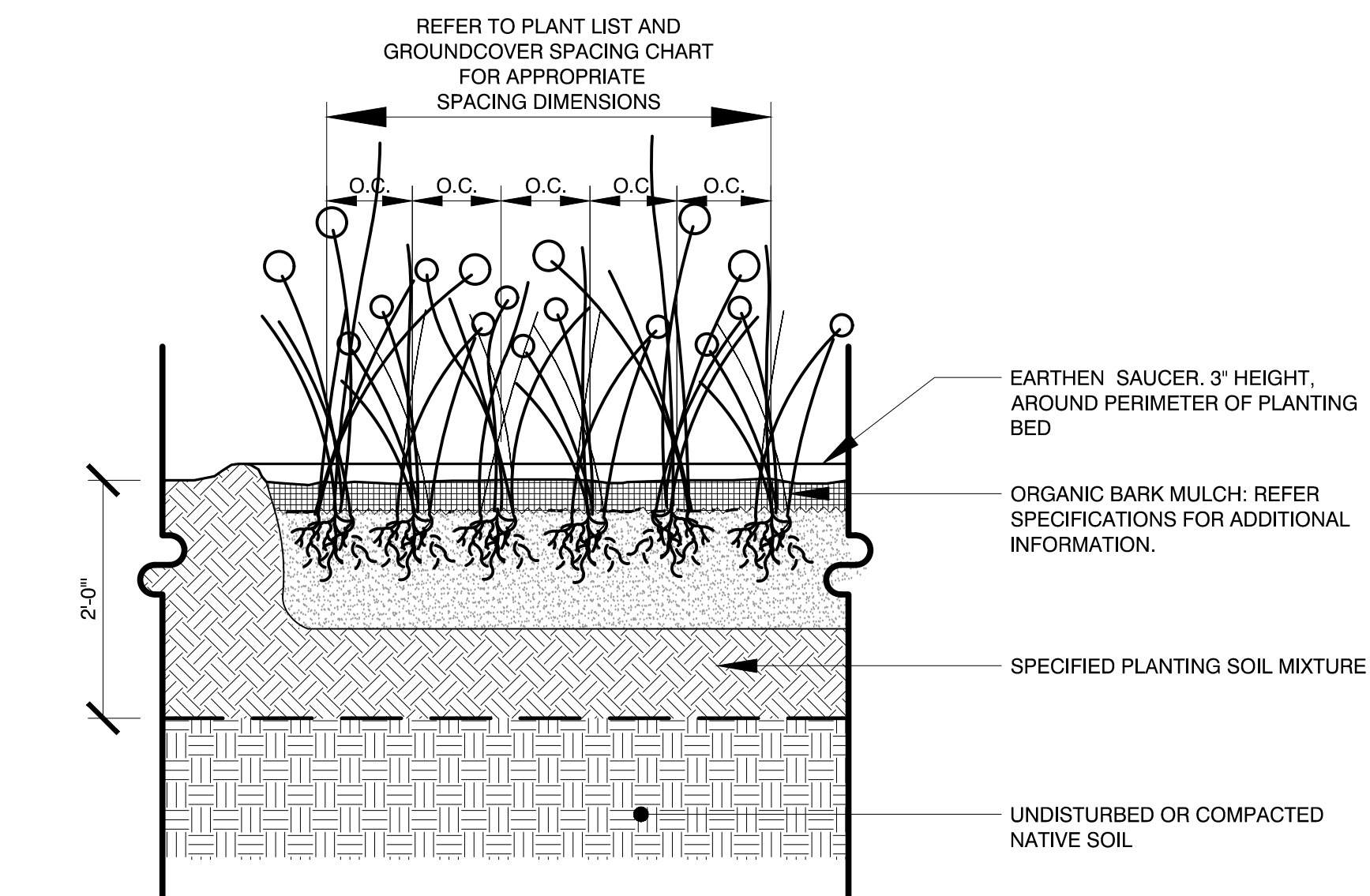


PLANT SPACING ('A')	ROW SPACING ('B')
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

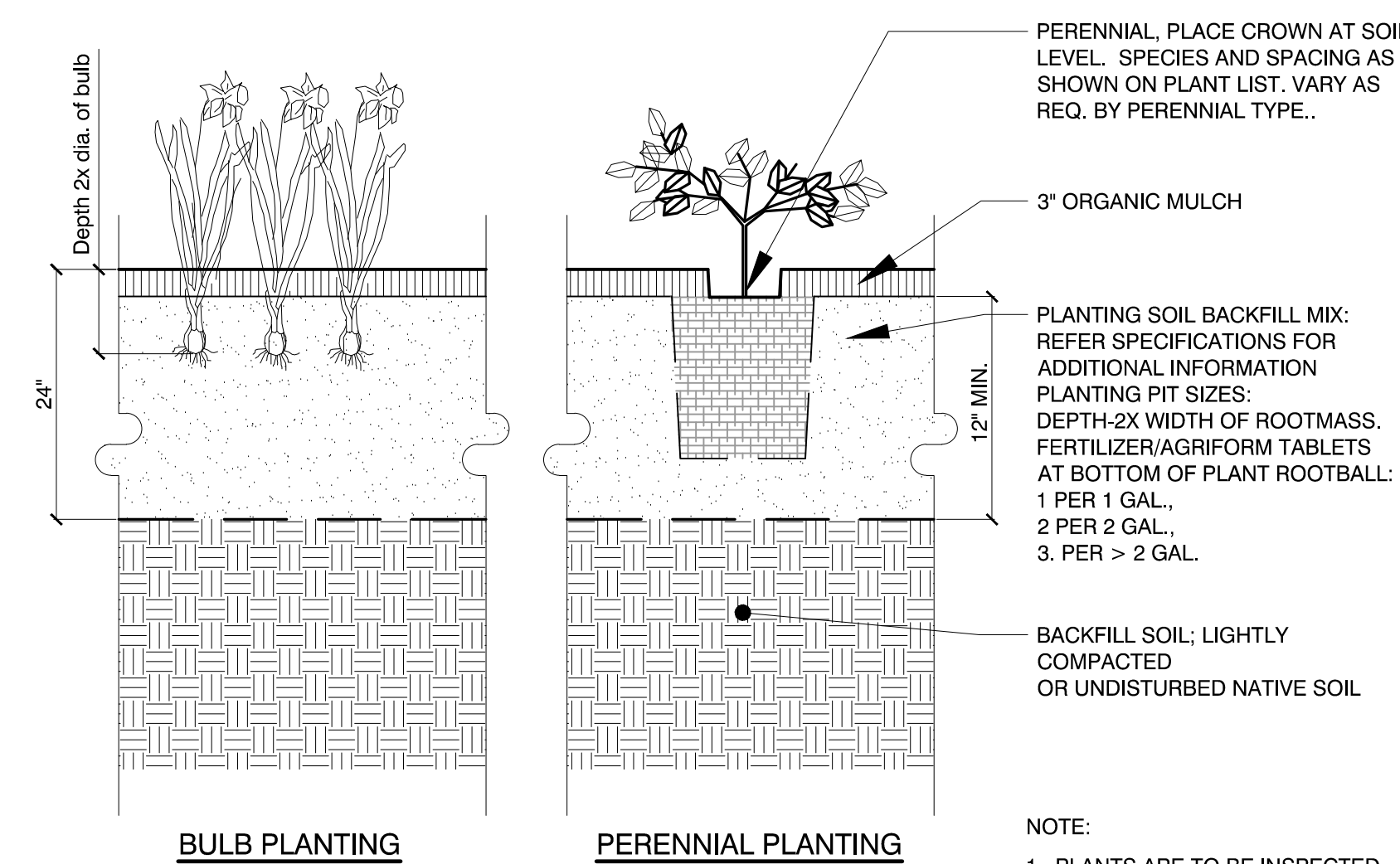
**4 GROUNDCOVER, PERENNIAL AND ORNAMENTAL GRASS SPACING CHART**  
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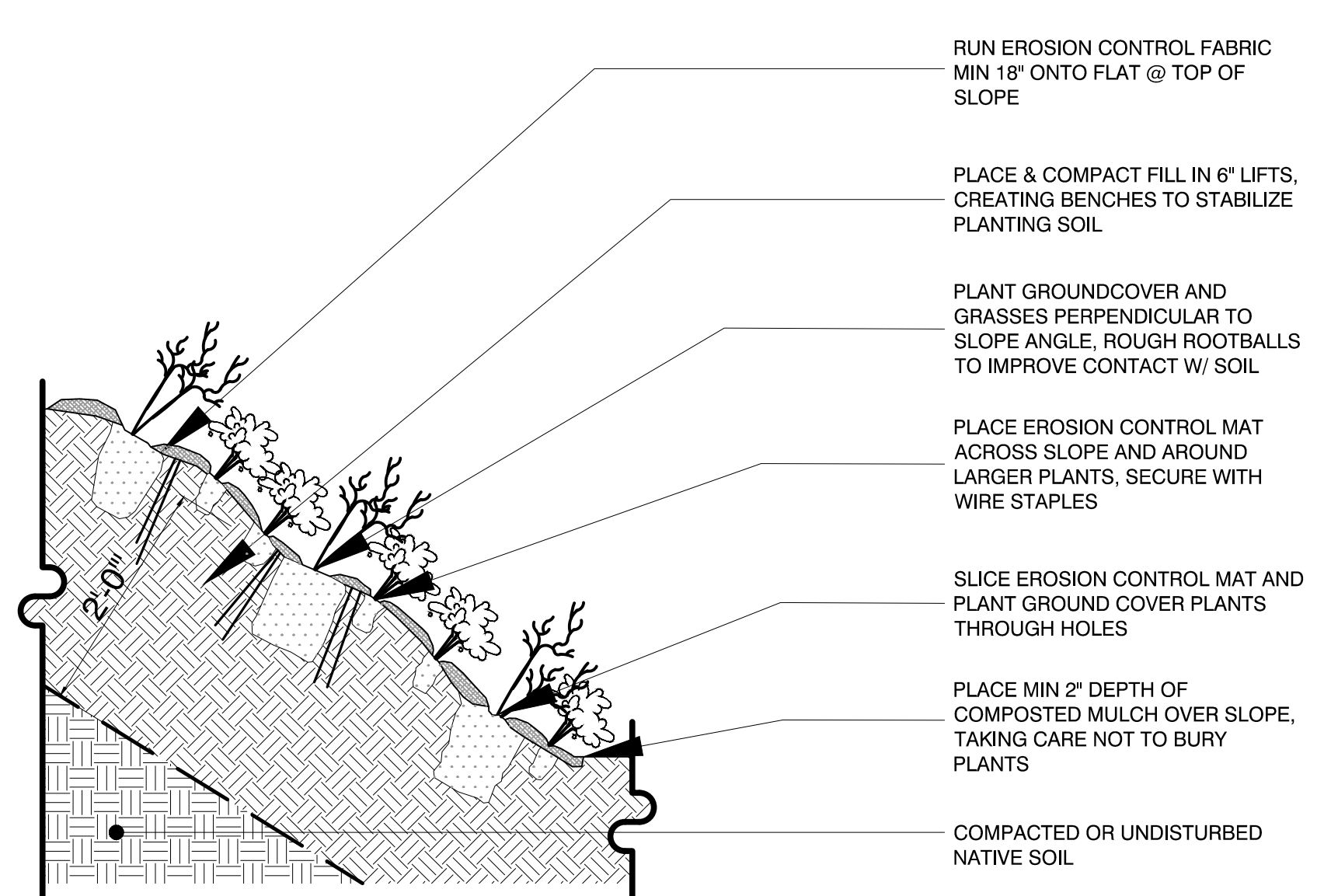
**5 GROUNDCOVER PLANTING, TYPICAL**  
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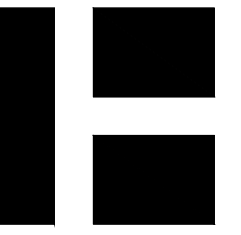
**6 ORNAMENTAL GRASS PLANTING, TYPICAL**  
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**7 BULB AND PERENNIAL PLANTING, TYPICAL**  
Scale: Not to Scale



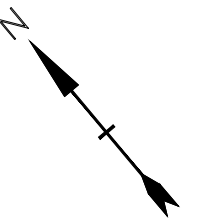
**8 GROUNDCOVER PLANTINGS: 3:1 SLOPE OR GREATER**  
Scale: Not to Scale



AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117

**PERMIT DRAWINGS  
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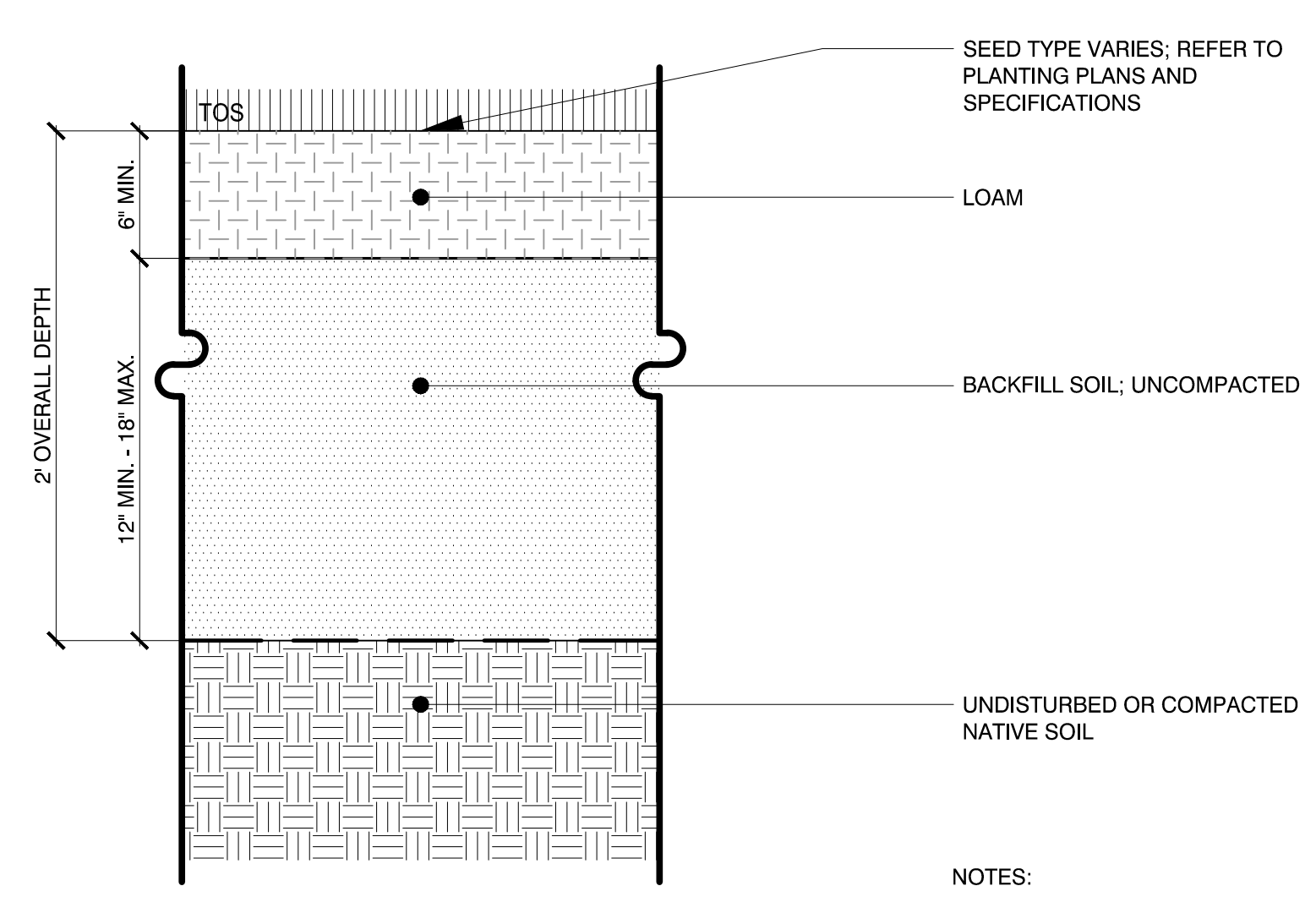
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6/2/2020	Planning Board Comments
5/20/2020	Planning Board Comments
1/2/2020	General Revisions

MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	05/23/18	
FILE:	L3.0 Planting Details.dwg	
DRAWN BY:	HAS/TNE	
CHECKED:	JMP	
APPROVED:	BLM	

**PLANTING  
DETAILS**

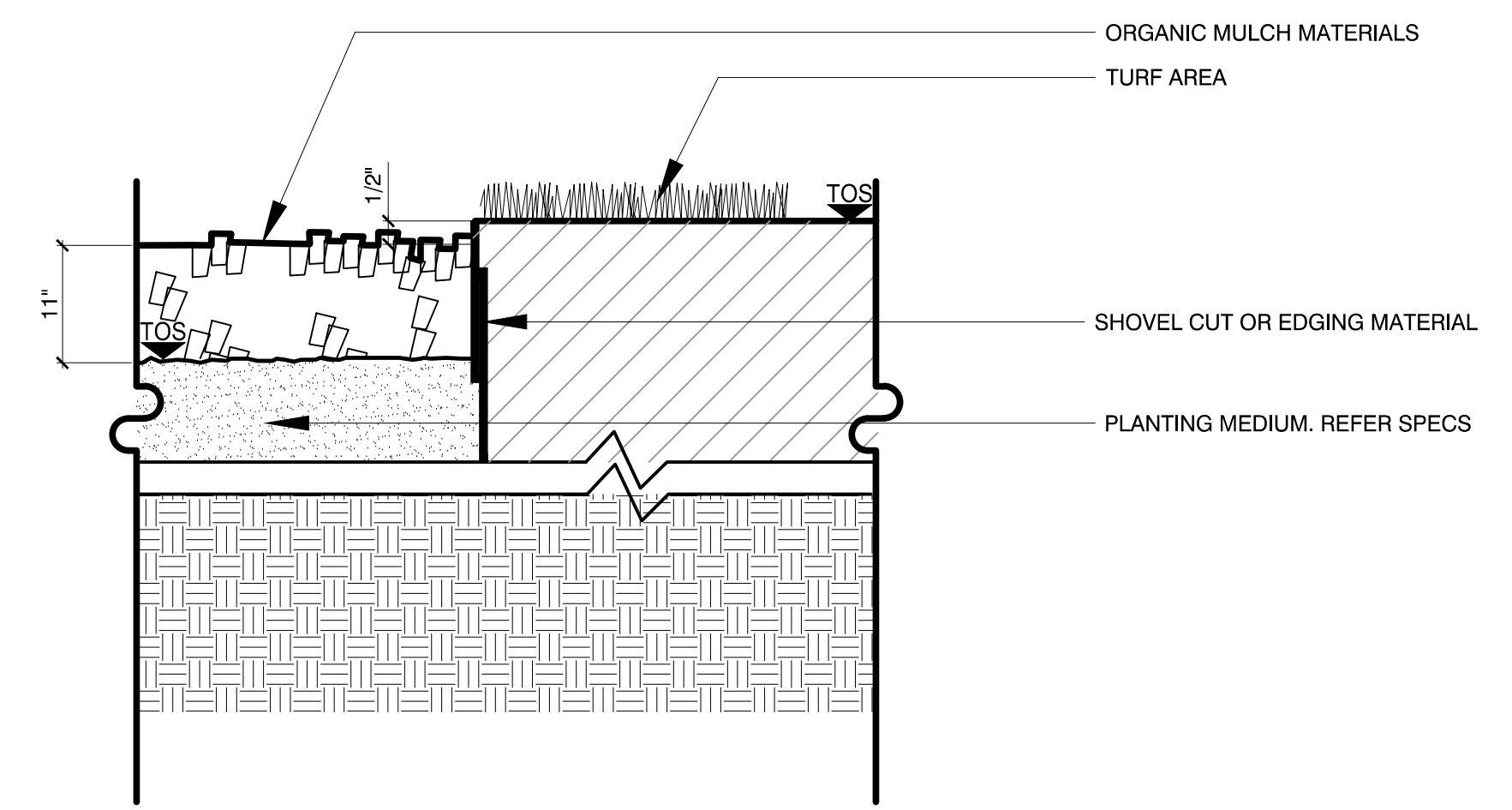
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**L3.2**



**1 SEED COVER**  
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NOTES:  
1. TOS Top of soil



**2 ORGANIC MULCH**  
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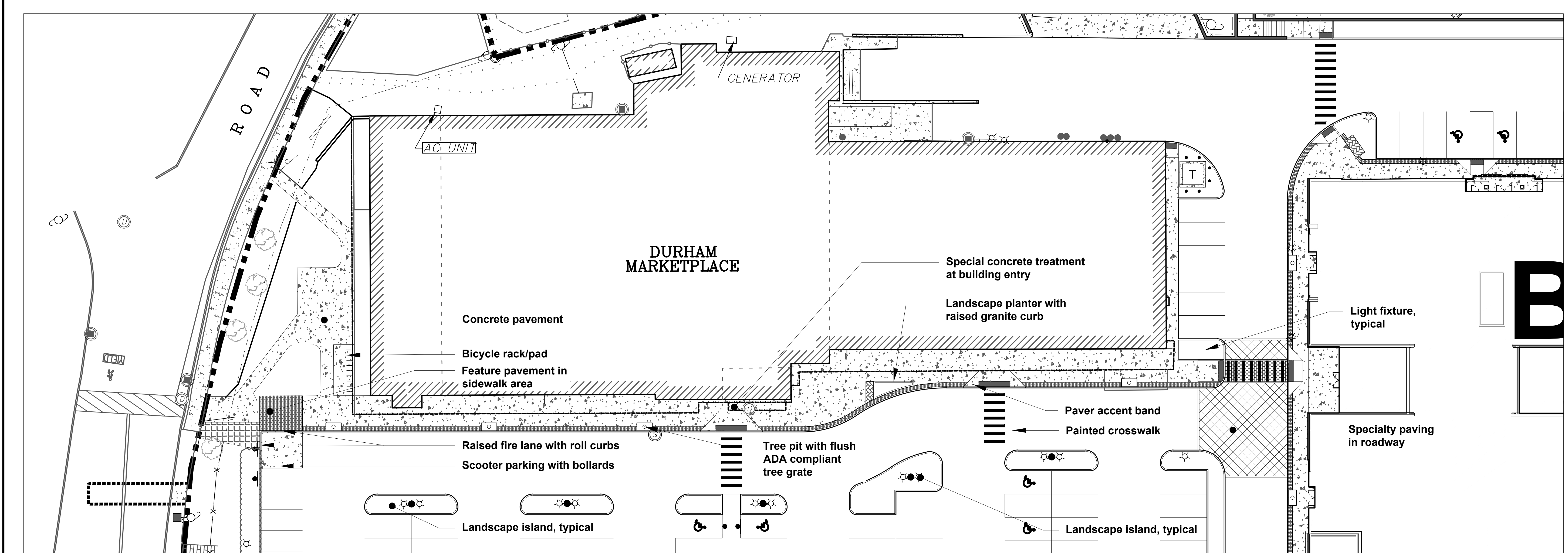
NOTES:  
1. TOS Top of Soil



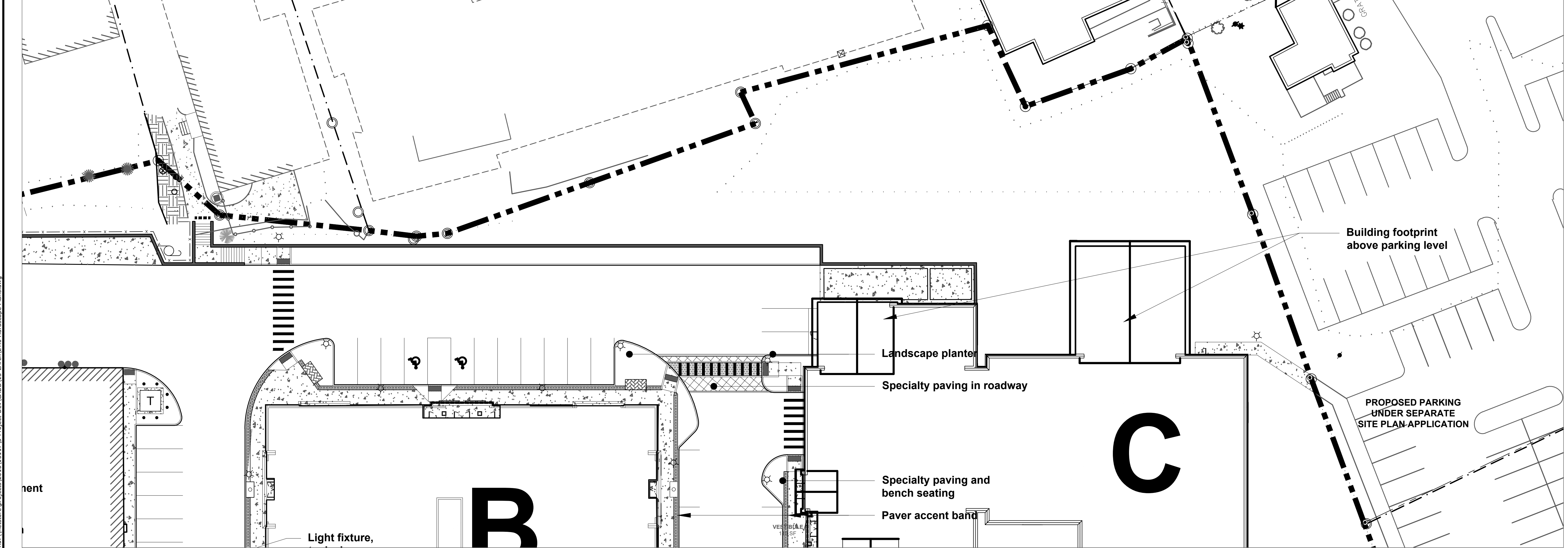


**HARRIMAN**  
AUBURN PORTLAND PORTSMOUTH BOSTON

Harriman Project No. 16117

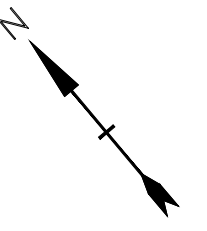


**(A) STREETScape PLAN ENLARGEMENT A**  
SCALE 1" = 10'-0"



**(B) STREETScape PLAN ENLARGEMENT B**  
SCALE 1" = 10'-0"

**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

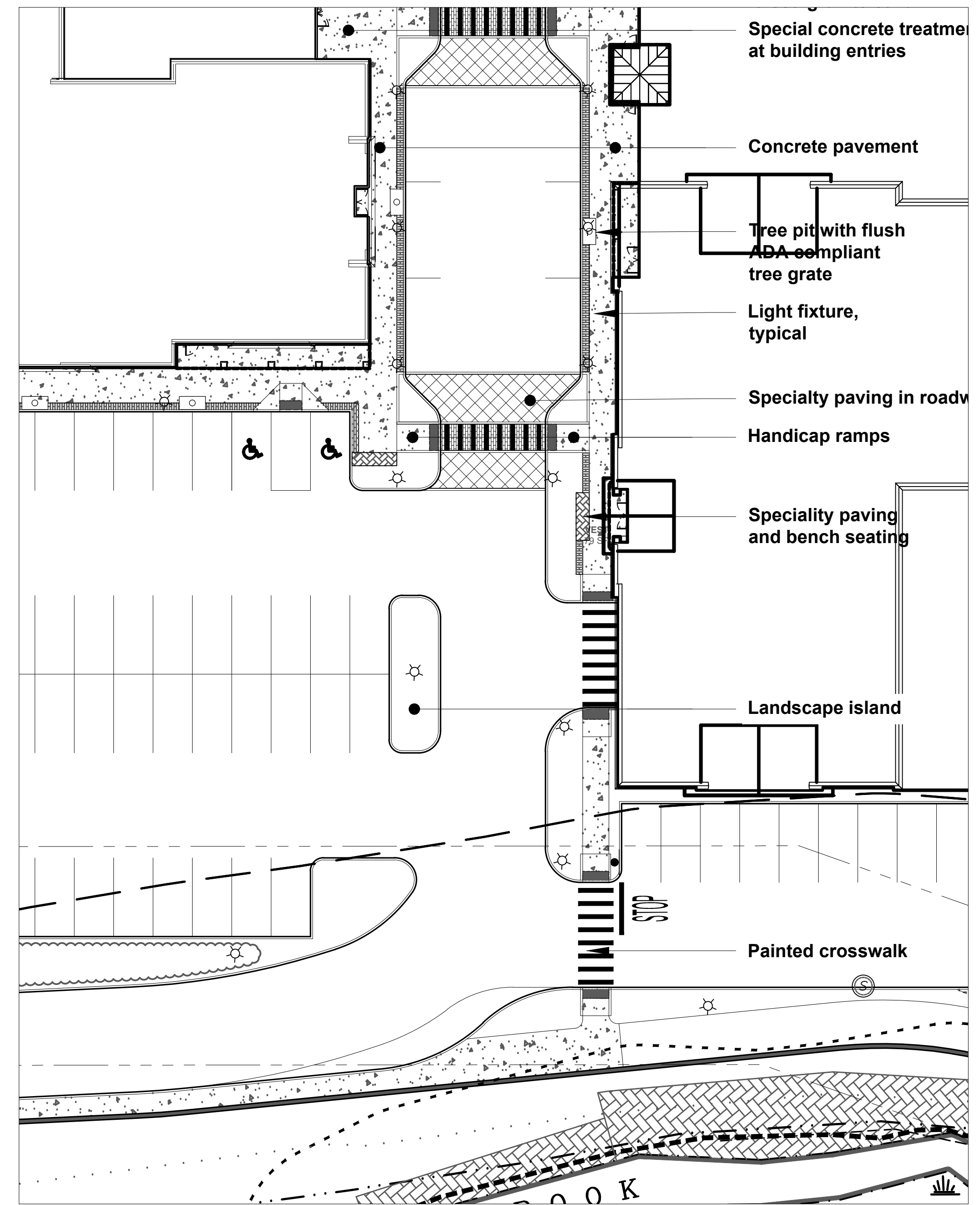
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	1/2/2020	General Revisions
PROJECT NO:	M1529-002	
DATE:	05/23/18	
FILE:	L4.0 Hardscape Plans.dwg	
DRAWN BY:	HAS/TNE	
CHECKED:	JMP	
APPROVED:	BLM	

**HARDScape  
PLAN**

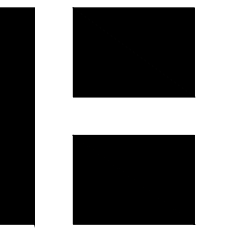
SCALE:  
**L4.1**

Last Saved: 12/31/2019 12:29pm By: henryder  
 Plotted On: Dec 31, 2019 12:29pm  
 Tighe & Bond \inetstore\projects\2016\16117\3-project-dev\CADD\L4-ARCH\L4.0 Hardscape Plans.dwg

Left Saved: 12/31/2019  
Plotted On: Dec 31, 2019 9:25am By: hsnayder  
Tighe & Bond: \\netstore\projects\2016\161173-project\Dev\CADD\15-LARCH\L4.0 Hardscape Plans.dwg



© STREETScape AREA PLAN ENLARGEMENT C  
6 & S / (

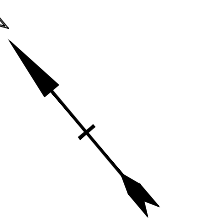


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**Mill Plaza  
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New Hampshire 03824

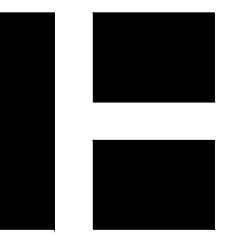
MARK	DATE	DESCRIPTION
	1/2/2020	General Revisions

PROJECT NO: M1529-002  
DATE: 05/23/18  
FILE: L4.0 Hardscape Plans.dwg  
DRAWN BY: HAS/TNE  
CHECKED: JMP  
APPROVED: BLM

**HARDSCAPE  
PLAN**

SCALE:

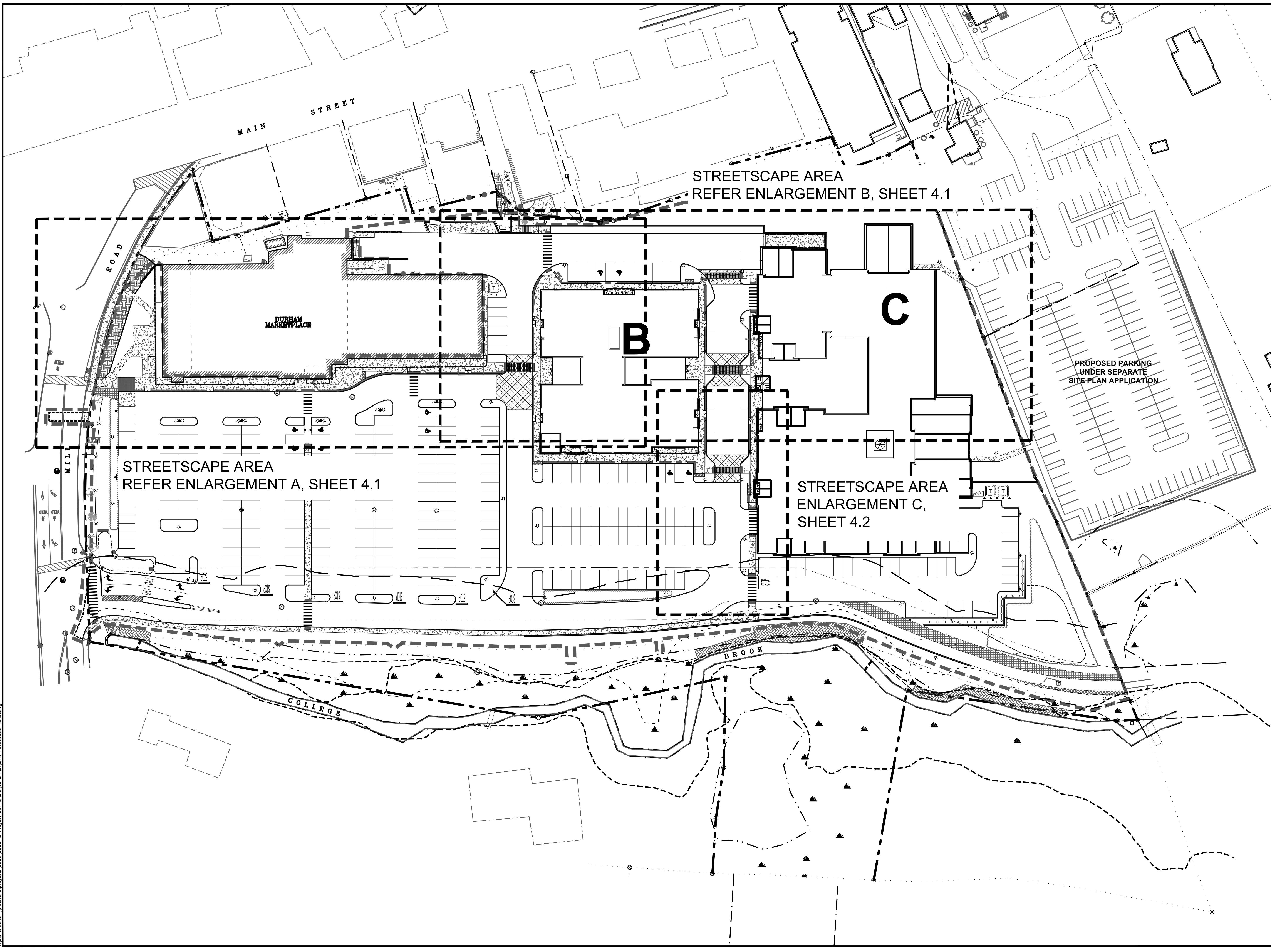
**L4.2**



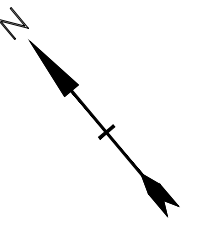
**HARRIMAN**

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**Mill Plaza  
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MARK	DATE	DESCRIPTION
	1/2/2020	General Revisions

PROJECT NO: M1529-002  
DATE: 05/23/18  
FILE: L4.0 Hardscape Plans.dwg  
DRAWN BY: HAS/TNE  
CHECKED BY: JMP  
APPROVED BY: BLM

**HARDSCAPE  
OVERALL PLAN**

SCALE:  
**L4.0**

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**A1** EXTERIOR ELEVATION - "B" WEST  
SCALE: 1/16" = 1'-0"



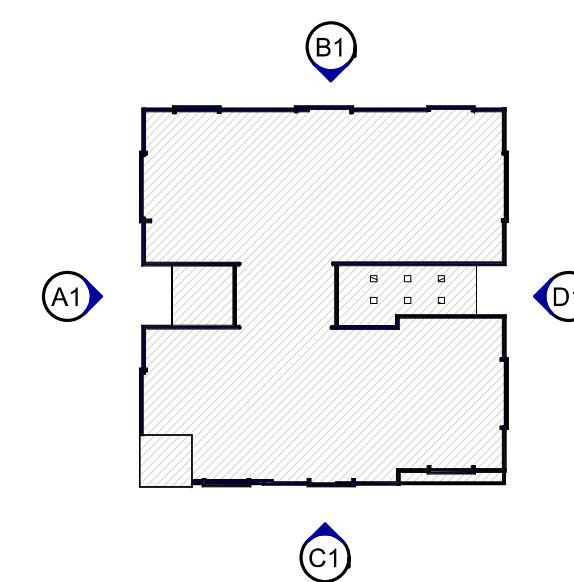
**C1** EXTERIOR ELEVATION - "B" SOUTH  
SCALE: 1/16" = 1'-0"



**B1** EXTERIOR ELEVATION - "B" NORTH  
SCALE: 1/16" = 1'-0"



**D1** EXTERIOR ELEVATION "B" EAST  
SCALE: 1/16" = 1'-0"



**A2** KEY PLAN FOR A20.1  
SCALE: 1" = 80'-0"

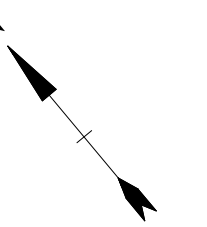


**HARRIMAN**

AUBURN PORTLAND PORTSMOUTH BOSTON

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**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



SCALE IN FEET  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

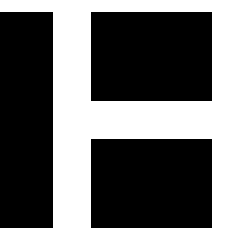
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
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	1/2/2020	GENERAL REVISIONS
PROJECT NO:		M1529-002
DATE:		5/28/2018
FILE:		
DRAWN BY:		ERP/AEW/SAA
CHECKED:		MDL
APPROVED:		MDL

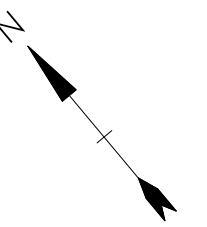
EXTERIOR ELEVATIONS

SCALE: As indicated

**A20.1**



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



SCALE IN FEET  
0 8' 16' 24'  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
	1/20/2021	PLANNING BOARD COMMENTS
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PROJECT NO.	M1529-002	
DATE:	5/23/2018	
FILE:		
DRAWN BY:	ERP/AEW/SAA	
CHECKED:	MDL	
APPROVED:	MDL	

EXTERIOR ELEVATIONS

SCALE: As indicated

A20.2



**C1 EXTERIOR ELEVATION - "C" EAST**  
SCALE: 1/16" = 1'-0"



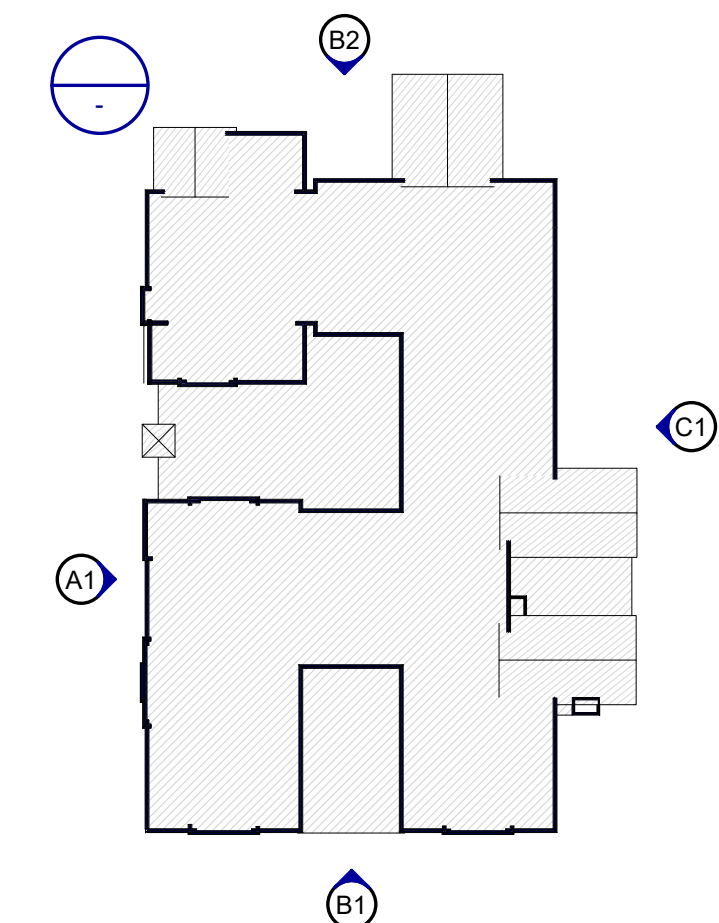
**B1 EXTERIOR ELEVATION - "C" SOUTH**  
SCALE: 1/16" = 1'-0"



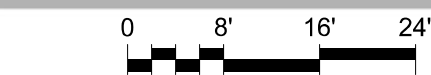
**B2 EXTERIOR ELEVATION "C" NORTH**  
SCALE: 1/16" = 1'-0"



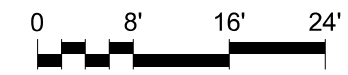
**A1 EXTERIOR ELEVATION - "C" WEST**  
SCALE: 1/16" = 1'-0"



**A2 KEY PLAN FOR A20.2**  
SCALE: 1" = 80'-0"



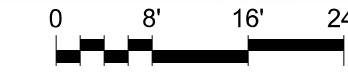
**D1** RENDERED ELEVATION - "B" WEST  
SCALE: 1/16" = 1'-0"



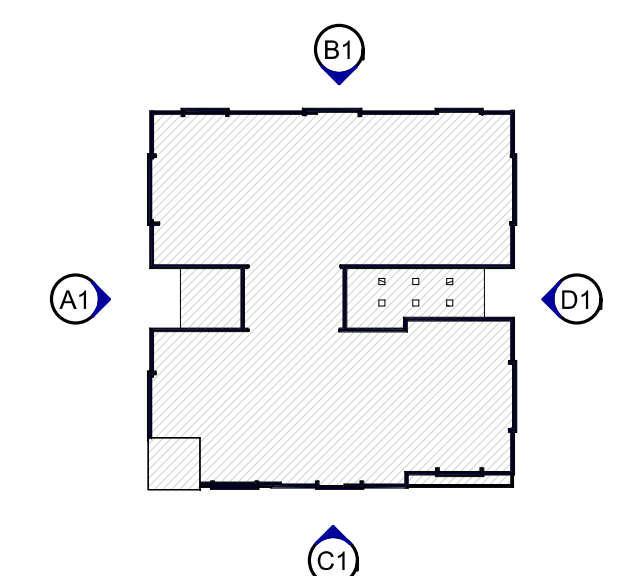
**D2** RENDERED ELEVATION - "B" NORTH  
SCALE: 1/16" = 1'-0"



**C1** RENDERED ELEVATION - "B" SOUTH  
SCALE: 1/16" = 1'-0"

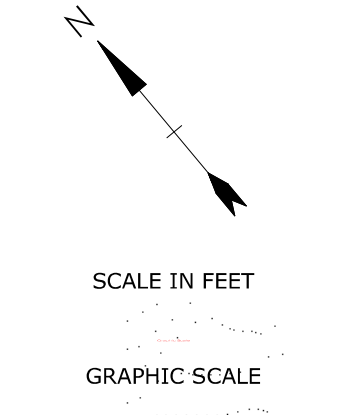


**C2** RENDERED ELEVATION "B" EAST  
SCALE: 1/16" = 1'-0"



**A2** KEY PLAN FOR A20.3  
SCALE: 1" = 80'-0"

**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



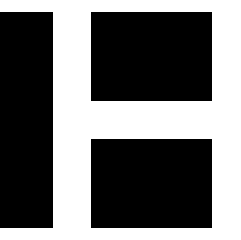
**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

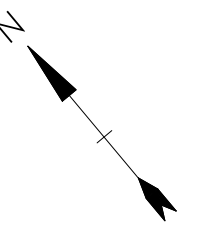
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

1/20/2021	PLANNING BOARD COMMENTS	
1/2/2020	GENERAL REVISIONS	
MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	5/28/2018	
FILE:		
DRAWN BY:	ERP/AEW/SAA	
CHECKED:	MDL	
APPROVED:	MDL	

RENDERINGS
SCALE: As indicated
<b>A20.3</b>



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



SCALE IN FEET  
0 8' 16' 24'  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

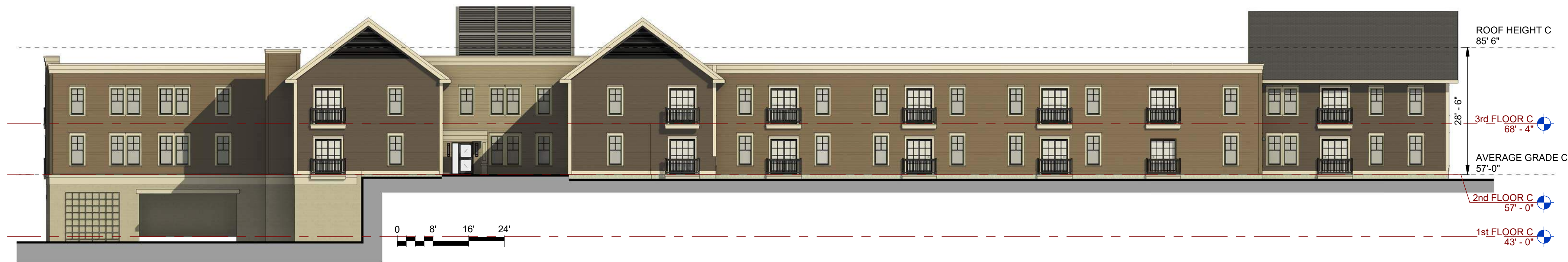
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

MARK	DATE	DESCRIPTION
	1/20/2021	PLANNING BOARD COMMENTS
	1/2/2020	GENERAL REVISIONS
PROJECT NO.	M1529-002	
DATE:	5/23/2018	
FILE:		
DRAWN BY:	ERP/AEW/SAA	
CHECKED:	MDL	
APPROVED:	MDL	

EXTERIOR ELEVATIONS

SCALE: As indicated

A20.4



**C1 EXTERIOR ELEVATION - "C" EAST**  
SCALE: 1/16" = 1'-0"



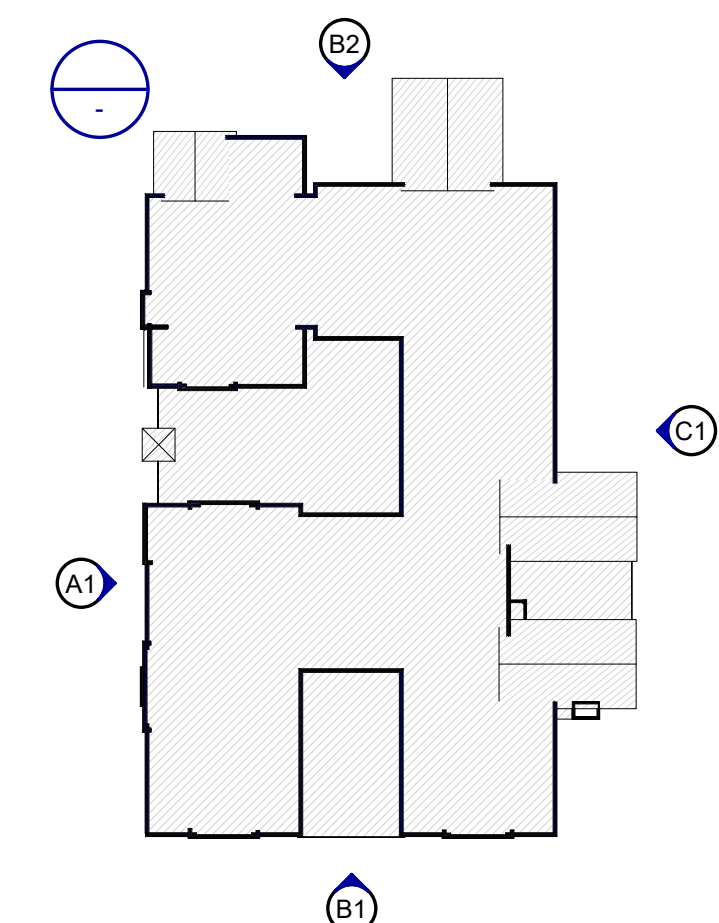
**B1 EXTERIOR ELEVATION - "C" SOUTH**  
SCALE: 1/16" = 1'-0"



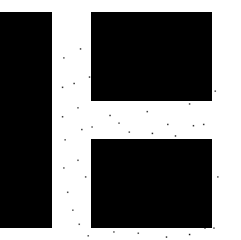
**B2 EXTERIOR ELEVATION "C" NORTH**  
SCALE: 1/16" = 1'-0"



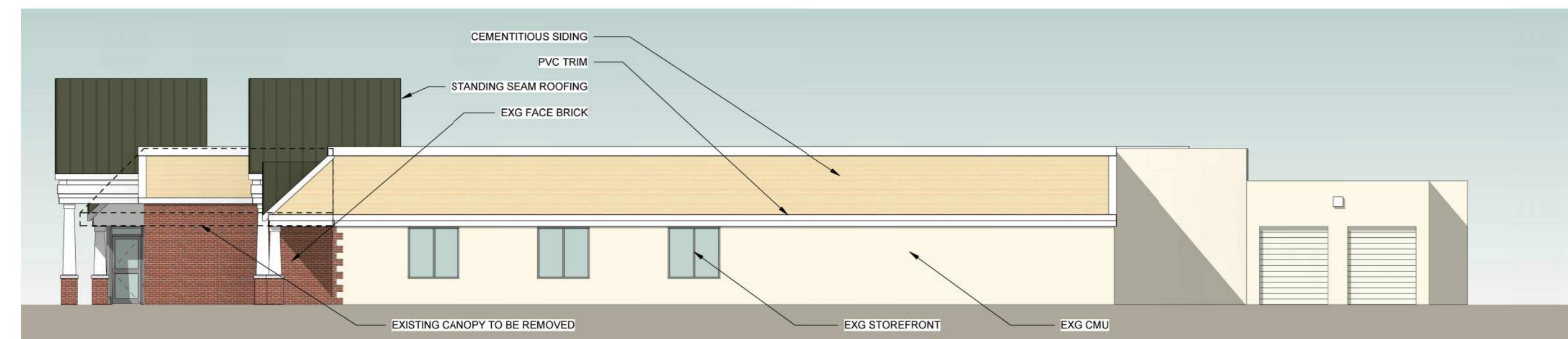
**A1 EXTERIOR ELEVATION - "C" WEST**  
SCALE: 1/16" = 1'-0"



**A2 KEY PLAN FOR A20.2**  
SCALE: 1" = 80'-0"



**C1** RETAIL - LEFT ELEVATION  
SCALE: NO SCALE



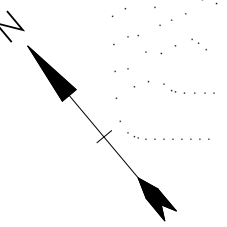
**B1** RETAIL - RIGHT ELEVATION  
SCALE: NO SCALE



**A1** RETAIL - FRONT ELEVATION  
SCALE: NO SCALE

NOTE: CONCEPTUAL ILLUSTRATION OF FACADE IMPROVEMENTS. SUBJECT TO DISCUSSION WITH HANNAFORD AND RITE AID.

**PERMIT DRAWINGS  
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SCALE IN FEET  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

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7 Mill Road, Unit L  
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New Hampshire 03824

MARK	DATE	DESCRIPTION
	1/20/2021	PLANNING BOARD COMMENTS
	1/2/2020	GENERAL REVISIONS
PROJECT NO:	16117	
DATE:	5/23/2018	
FILE:		
DRAWN BY:	DRE	
CHECKED:	MDL	
APPROVED:	MDL	

RETAIL ELEVATIONS

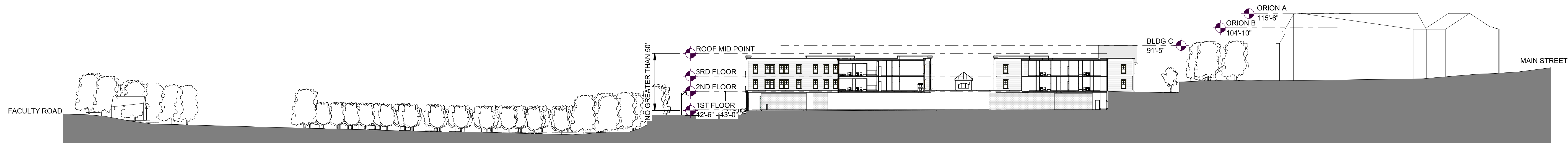
SCALE: NO SCALE

A20.5

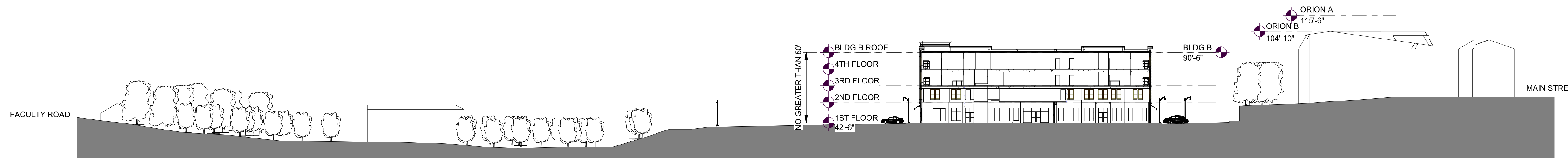




**C1 SOUTH SITE SECTION**  
SCALE: 1" = 30'-0"

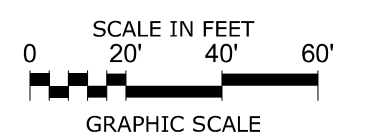
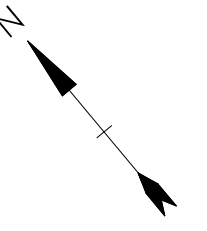


**B1 SITE SECTION THROUGH BUILDING C**  
SCALE: 1" = 40'-0"



**A1 SITE SECTION THROUGH BUILDING B**  
SCALE: 1" = 40'-0"

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**Mill Plaza  
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MARK	DATE	DESCRIPTION
	1/20/2021	PLANNING BOARD COMMENTS
	1/2/2020	GENERAL REVISIONS
PROJECT NO.: M1529-002		
DATE: 5/23/2018		
FILE:		
DRAWN BY: AEW		
CHECKED: MDL		
APPROVED: MDL		

SITE SECTIONS

SCALE: As indicated

A30.1



VIEW AT PEDESTRIAN CROSSING BETWEEN BUILDINGS A & B LOOKING EAST

Pict Date: 1/1/2020 2:28:47 PM

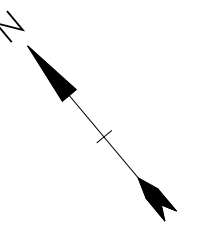


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SCALE IN FEET

GRAPHIC SCALE

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1/20/2021	PLANNING BOARD COMMENTS	
1/2/2020	GENERAL REVISIONS	
MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	5/23/2018	
FILE:		
DRAWN BY:	ERP/AEW/SAA	
CHECKED:	MDL	
APPROVED:	MDL	

RENDERED PERSPECTIVE

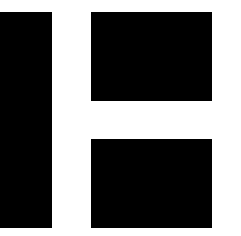
SCALE:

A40.1



VIEW AT PEDESTRIAN CROSSING BETWEEN BUILDINGS B & C LOOKING SOUTH

Pict Date: 1/1/2020 2:28:31 PM

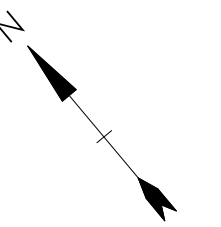


**HARRIMAN**

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SCALE IN FEET

GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

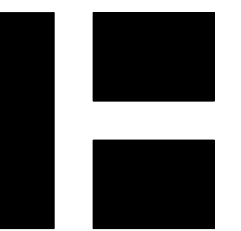
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

	1/20/2021	PLANNING BOARD COMMENTS
	1/2/2020	GENERAL REVISIONS
MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	5/23/2018	
FILE:		
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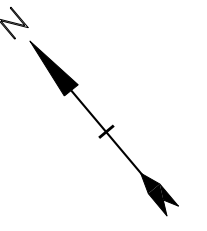
RENDERED PERSPECTIVE

SCALE:

A40.2



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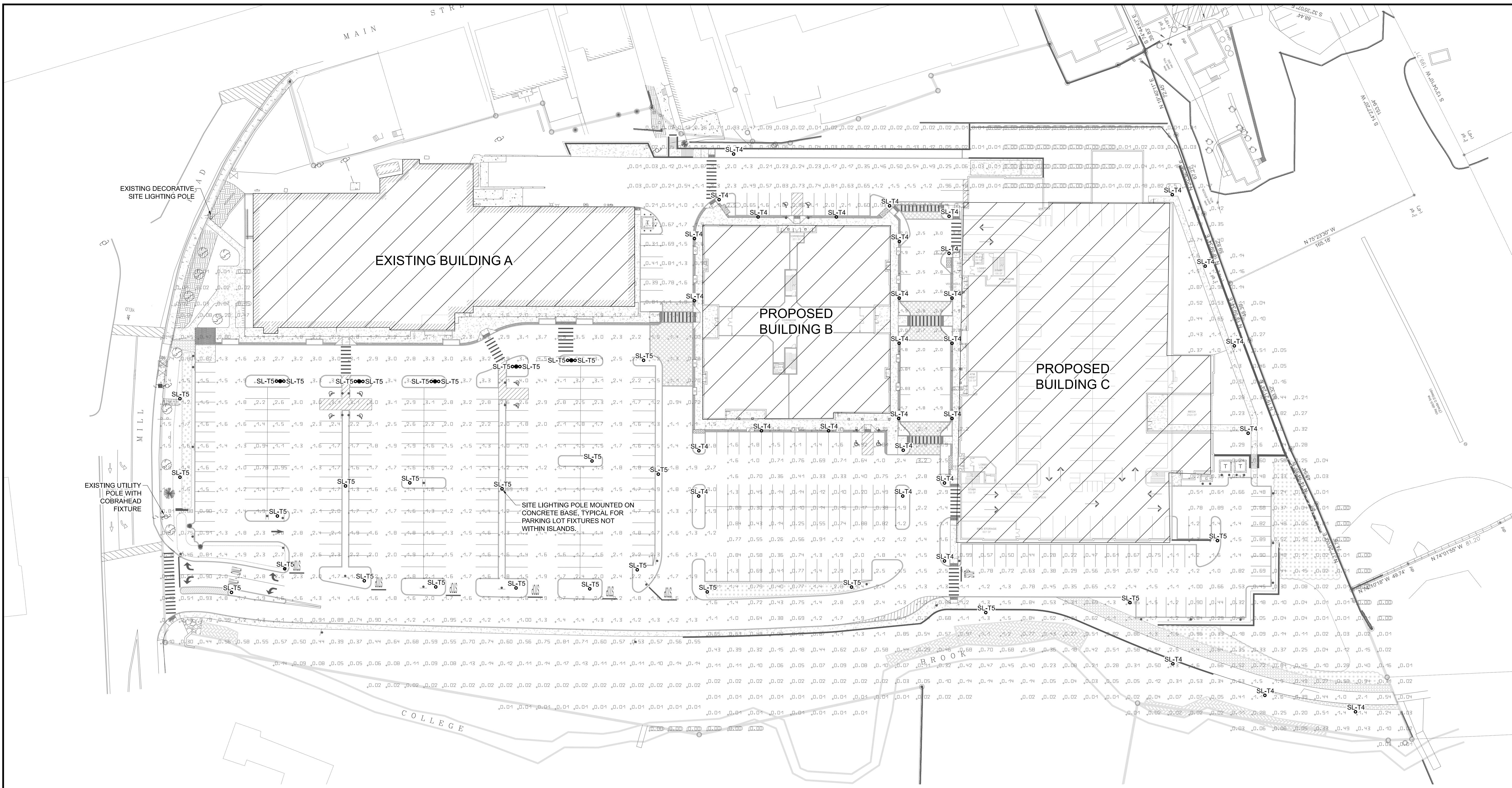


SCALE IN FEET  
0 40' 80'  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

7 Mill Road, Unit L  
Durham,  
New Hampshire 03824



**2 SITE LIGHTING PLAN**  
SCALE: 1" = 40'

LIGHTING FIXTURE SCHEDULE							
ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH ALL HARDWARE LAMPS, HANGERS, FITTINGS, ETC. FOR A COMPLETE AND PROPER INSTALLATION							
TYPE	MANUFACTURER	CATALOG NO.	MTG.	VOLT	LAMPS		REMARKS/BALLAST INFORMATION
					NO.	WATT	
SL-T4	SITE LIGHT FIXTURE (LED TYPE IV ASYMMETRICAL DISTRIBUTION) - 12" ROUND DECORATIVE STEEL POLE						
	LUMEC	MPTR-35W32LED4K-LE4-277-DMG-FN1-BKTX	POLE	277	35	LED	PROVIDE 12" 16 SHARP FLUTED STEEL POLE. POLE SHALL ACCEPT FOUR 1" CONDUITS. POLE COLOR SHALL MATCH FIXTURE COLOR. POLE SHALL BE RATED FOR FIXTURE EPA RATING WITH 100MPH WIND. 35 INPUT WATTS PER HEAD.
	APPROVED EQUAL	POLE: NORTH HAMPTON STYLE STAINLESS STEEL POST WITH BASE. SEE REMARKS.					
SL-T5	SITE LIGHT FIXTURE (LED TYPE V SYMMETRICAL DISTRIBUTION) - 18" ROUND DECORATIVE STEEL POLE						
	LUMEC	MPTR-90W80LED4K-LE5-277-DMG-FN1-BKTX	POLE	277	87	LED	PROVIDE 18" 16 SHARP FLUTED STEEL POLE. POLE SHALL ACCEPT FOUR 1" CONDUITS. POLE COLOR SHALL MATCH FIXTURE COLOR. POLE SHALL BE RATED FOR FIXTURE EPA RATING WITH 100MPH WIND. 87 INPUT WATTS PER HEAD.
	APPROVED EQUAL	POLE: NORTH HAMPTON STYLE STAINLESS STEEL POST WITH BASE. SEE REMARKS.					

**1 SITE LIGHTING FIXTURE SCHEDULE**  
SCALE: NO SCALE

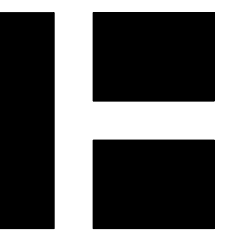
1/20/2021	PLANNING BOARD COMMENTS	
1/2/2020	GENERAL REVISIONS	
MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	05/23/18	
FILE:		
DRAWN BY:	BSO	
CHECKED:	JWT	
APPROVED:	JWT	

**ELECTRICAL SITE  
LIGHTING PLAN**

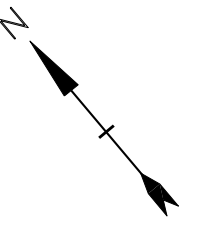
SCALE: AS SHOWN

**ES10.1**

3m) By: \$(getvar, "loginname")



**PERMIT DRAWINGS  
NOT FOR CONSTRUCTION**



SCALE IN FEET  
0 40 80  
GRAPHIC SCALE

**Mill Plaza  
Redevelopment**

Colonial Durham  
Associates, LP

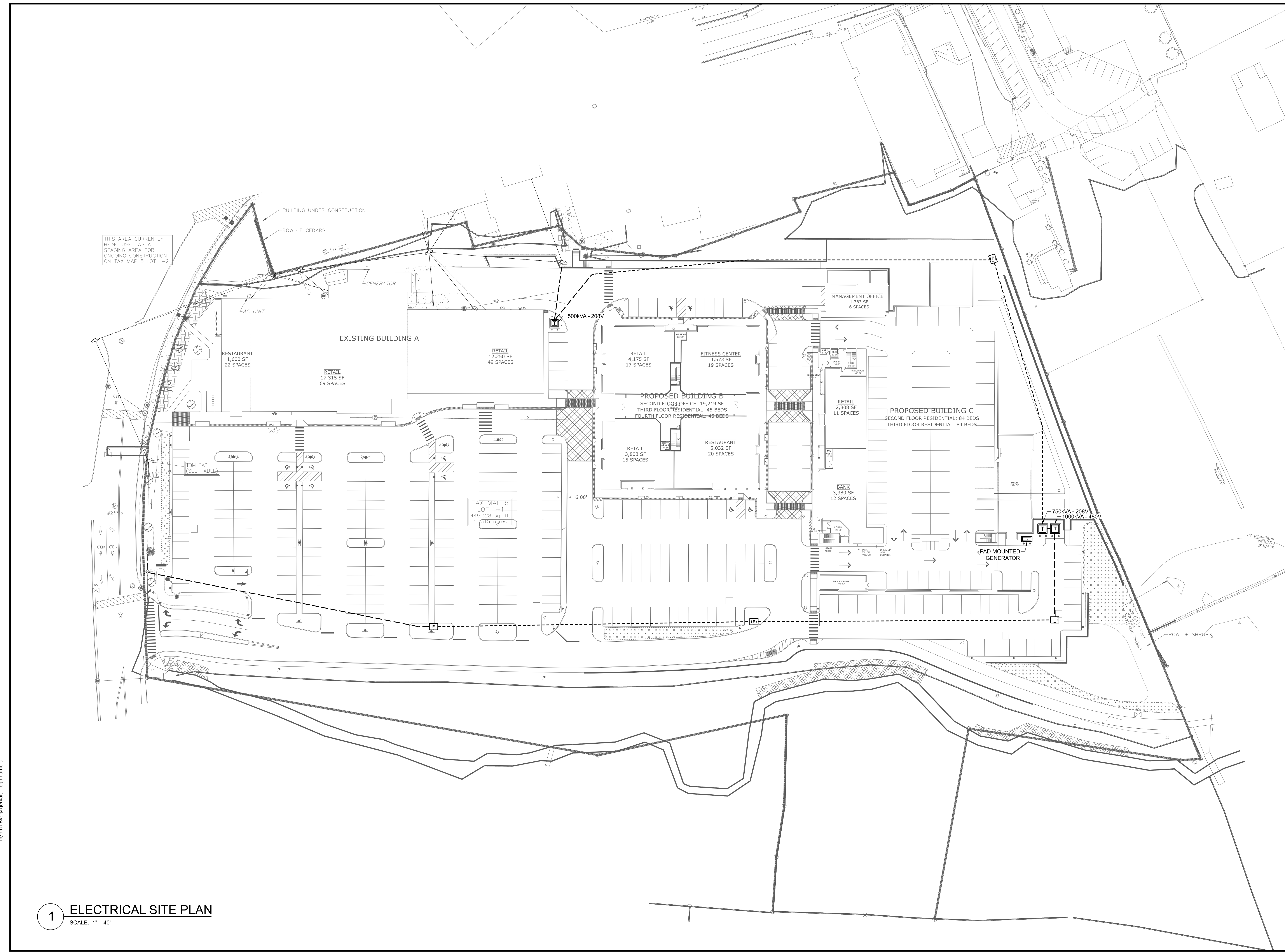
7 Mill Road, Unit L  
Durham,  
New Hampshire 03824

1/20/2021	PLANNING BOARD COMMENTS	
1/2/2020	GENERAL REVISIONS	
MARK	DATE	DESCRIPTION
PROJECT NO:	M1529-002	
DATE:	05/23/18	
FILE:		
DRAWN BY:	JWT	
CHECKED:	JWT	
APPROVED:	JWT	

**ELECTRICAL  
SITE PLAN**

SCALE: AS SHOWN

**ES20.1**



**1 ELECTRICAL SITE PLAN**

SCALE: 1" = 40'

m:\pm\ By: \$(getvar, "loginname")