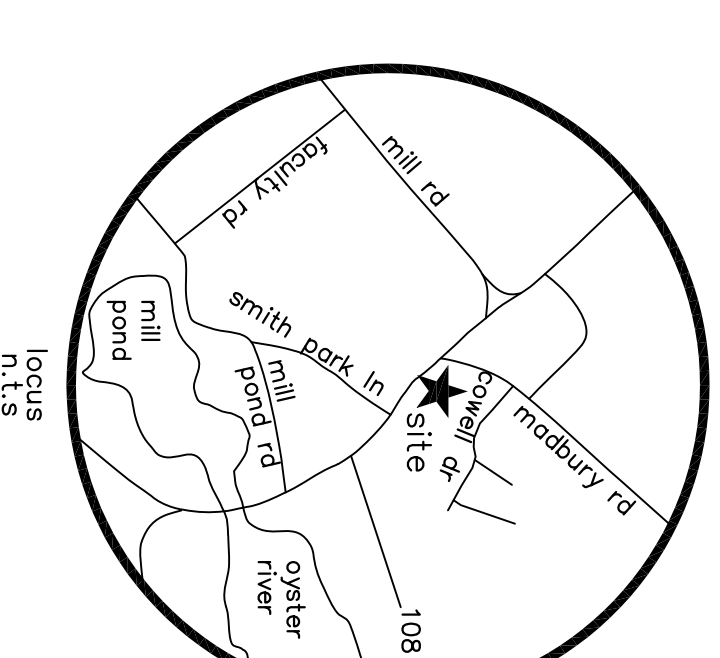
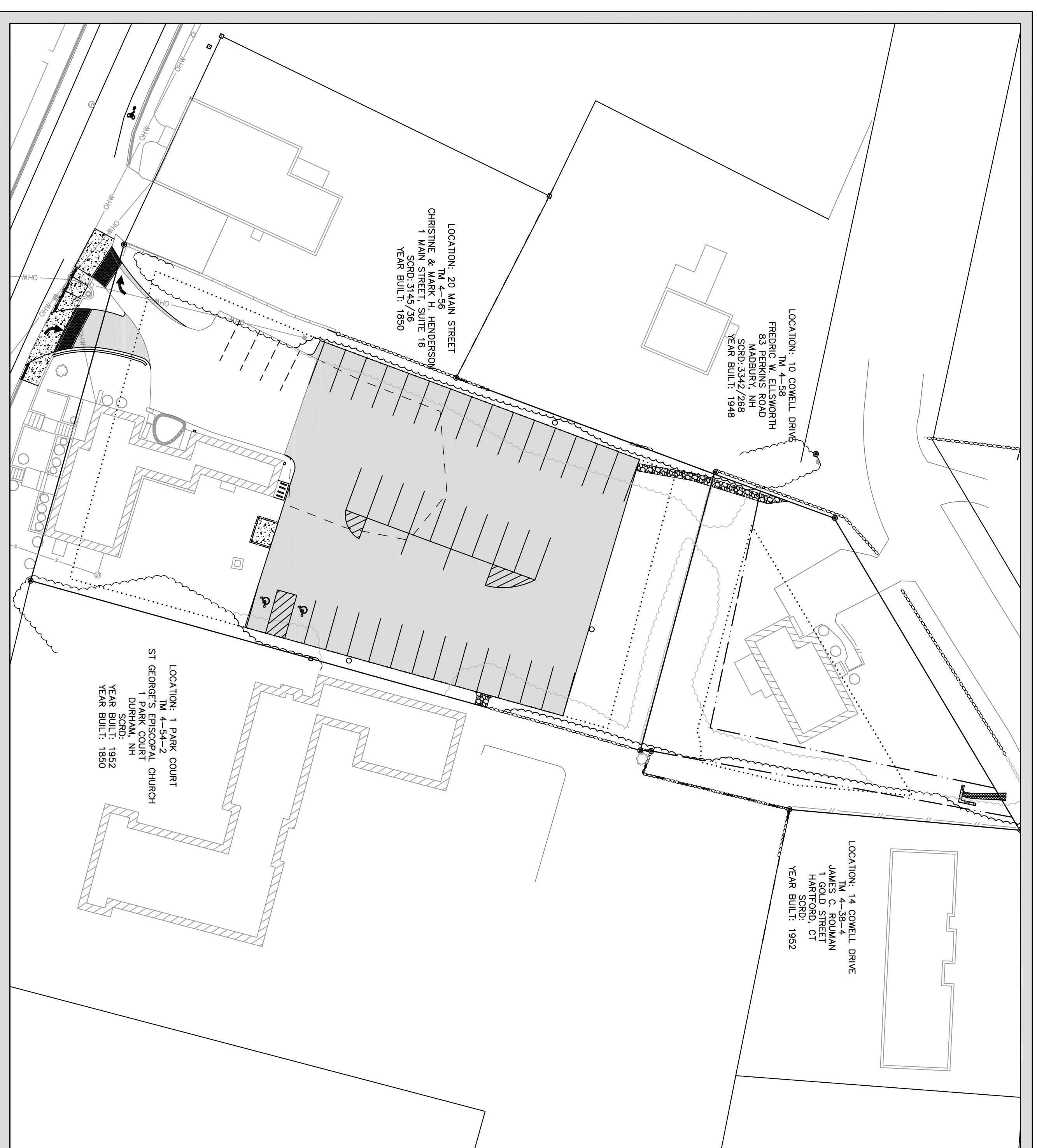


SITE PLAN

for
TOOMERFS, LLC
 18 MAIN STREET & 12 COWELL DRIVE
 DURHAM, NH

REVISED JANUARY 3, 2019

- LEGEND
- EXISTING PROPERTY LINE
 - SETBACK LINE OF GRAVEL
 - EXISTING EDGE OF PAVEMENT
 - EXISTING TREE LINE
 - PROPOSED TREE LINE
 - TO BE REMOVED TREE LINE
 - PROPOSED TREE LINE
 - PROPOSED PARKING SPACES
 - PROPOSED SILT SOCK
 - PROPOSED PAVEMENT RADIIUS
 - PROPOSED CONTOUR LINE
 - EXISTING CONTOUR LINE

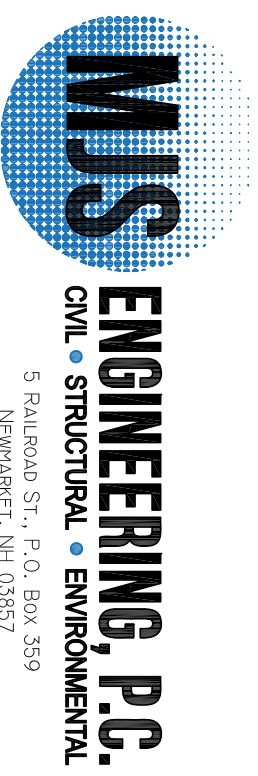


TITLE	SHEET
EXISTING CONDITIONS PLAN.....	C1
PROPOSED SITE PLAN.....	C1
UTILITY & EROSION CONTROL PLAN.....	C2
LANDSCAPING PLAN.....	L1
LIGHTING PLAN.....	
CONSTRUCTION DETAILS.....	D1-D3

OWNER

TOOMERFS, LLC
 37 MAIN STREET
 UNIT 0
 DURHAM, NH 03824

CIVIL ENGINEER



5 BARNHART ST., 2ND FLOOR
 NEWMARRKET, NH 03857
 PHONE: (603) 659-4979, FAX: (603) 659-4627
 E-MAIL: MJS@MJS-ENGINEERING.COM

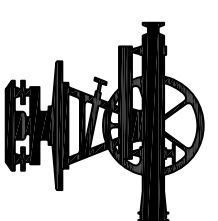
SURVEYOR

NORWAY PLAINS ASSOCIATES, INC.
 2 CONTINENTAL BOULEVARD
 ROCHESTER, NEW HAMPSHIRE
 03867 (603) 335-3948

LANDSCAPE ARCHITECT

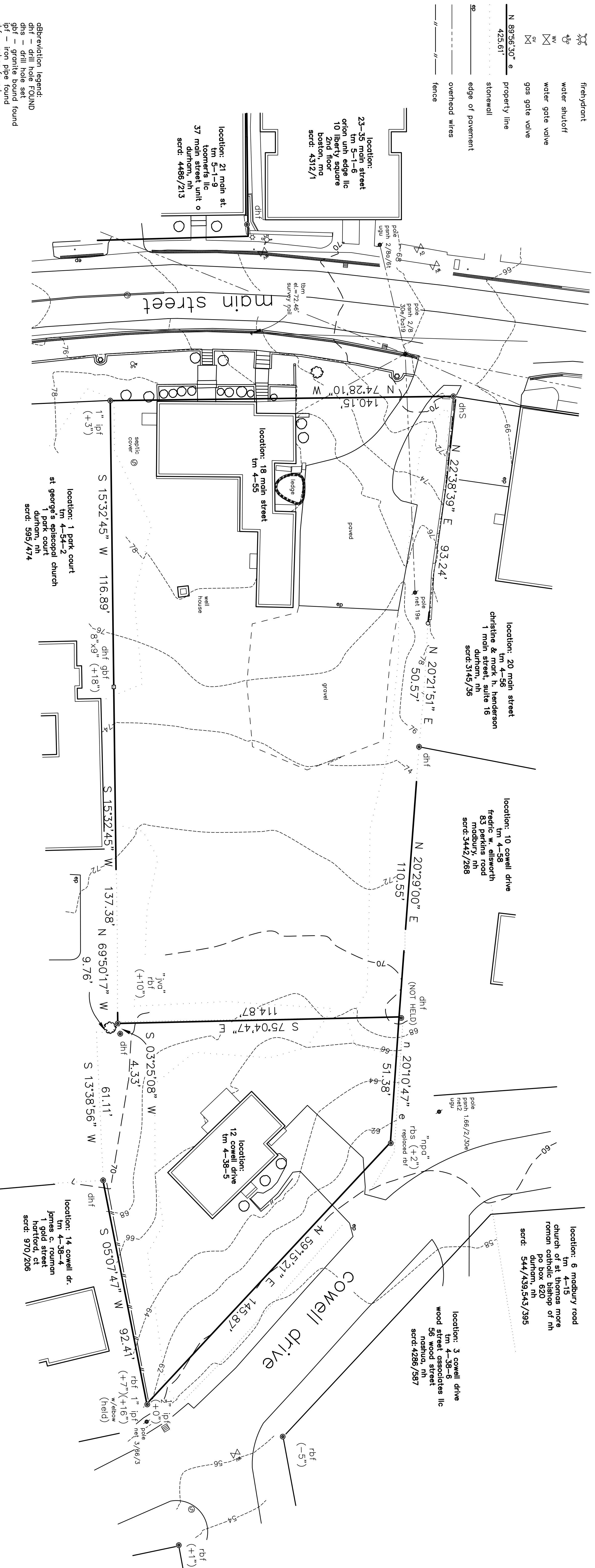
WOODBURN & COMPANY
 103 KENT PLACE
 NEWMARRKET, NEW HAMPSHIRE
 (603) 659-5949

NO.	REVISIONS	DATE	INT.
2	DESIGN REVISIONS PER FIRST PLANNING BOARD MEETING	1/23/19	EHK
1	PLAN UPDATES	11/29/18	EHK
0	INITIAL SUBMISSION TO DURHAM PLANNING BOARD	10/5/18	EHK

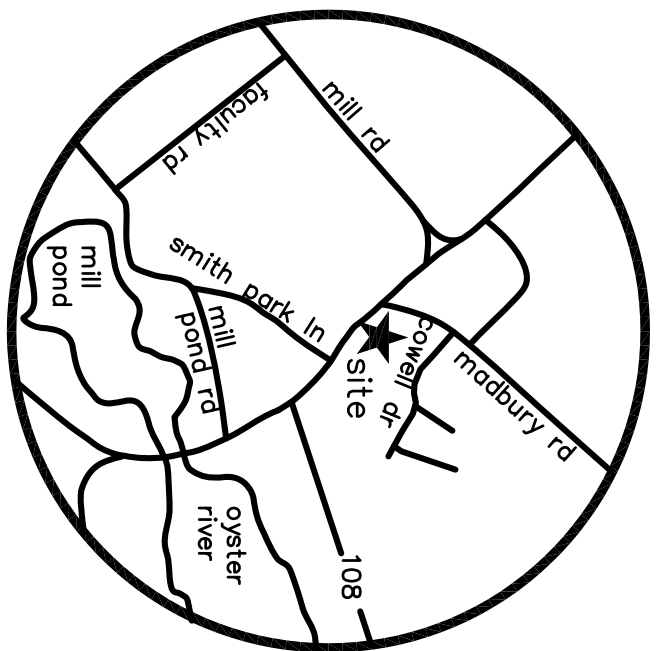


reserved registry of deeds

- LEGEND
- existing
 - monument
 - ☆ lamp post
 - utility pole
 - bush
 - deciduous tree
 - ⊞ catch basin
 - ⊞ firehydrant
 - ⊞ water shutoff
 - ⊞ water gate valve
 - ⊞ gas gate valve
 - N 89°56'30" E
425.61' property line
 - stonewall
 - edge of pavement
 - overhead wires
 - fence



abbreviation legend:
 dhf - drill hole FOUND
 dhs - drill hole set
 gpf - granite bound
 ipf - iron pipe found
 rpf - rebar found
 (+2) - indicates height of the monument
 (-2) - indicates height of the monument
 scrd - stafford county registry of deeds
 monument identification inscriptions:
 "npd" - norway plains associates
 "jvc" - james vero assoc. inc.



FILE NO.#329
 PLAN NO.#c-2925
 DWG. NO.18031-ldd/6-1
 P.B. NO. "tag"

31 MOONEY STREET, ALTON, NH 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

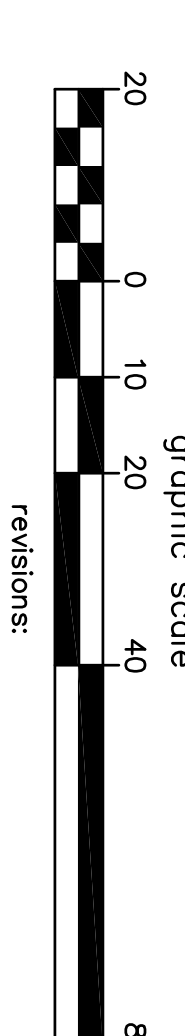
2 CONTINENTAL BLVD., ROCHESTER, NH 603-335-3948

- reference plan:
- "plan of land of the catholic church, roy macedonick, r.s. & m.w. hamron, durham, nh" dated: sep. 1950 by r.s. hamron, m.j. steele recorded: scrd 1-3-13
 - "final & same statement, proposed part of office site, durham, new hamphshire" dated: sep. 28, 1950 by r.s. hamron, m.j. steele recorded: scrd 1-3-31
 - "plan of land of st. alban hamon, durham, nh" dated: april 10, 1952 by r.s. hamron recorded: scrd 1-3-45
 - "plan showing land for new england tel-tel co, durham, nh" dated: june 1956 by thomas collard recorded: scrd 2-14-19
 - "plan of land of mrs. howard williams jones, durham, nh" dated: june 2, 1952 by r.s. hamron recorded: scrd 1-3-44
 - "durham arms, main street" dated: nov. 14, 1931 by w.s. wheeler, ce recorded: scrd 3-3-40
 - "plan of land of r.s. & m.w. hamron, durham, nh" dated: may 9, 1950 by m.j. chase & r.s. hamron recorded: scrd 4-3-4
 - "report of lots, property in durham, nh of home and lowen and h.w. lowen" dated: sept. 1945 by unknown recorded: scrd 4-3-18
 - "property in durham, nh of episcopal diocese of new hamphshire" dated: aug. 1924 by c.e. dedge recorded: scrd 4-3-44
 - "esement plan, 1 park court, durham, new hamphshire, owner: bishop of the protestant episcopal church in new hamphshire, assessor's parcel no. 004-054-002" dated: oct. 1950 by james vero and associates, inc. recorded: scrd 99-41

- notes:
- total parcel areas:
 tm 4-55: 32,054 sf/0.74 acres
 tm 4-38-5: 12,394 sf/0.28 acres
 - parcel zoning
 tm 4-38-5 is in the church hill zone
 tm 4-38-5 is in the residence A zone
 residence A:
 lot size = 20,000 sf
 frontage = 100'
 Church Hill:
 lot size = 5,000 sf
 frontage = 50'
 - minimum lot requirements:
 residence A:
 lot size = 20,000 sf
 frontage = 100'
 Church Hill:
 lot size = 5,000 sf
 frontage = 50'
 - building setbacks:
 residence A = fy = 30', sy = 10', ry = 20'
 church hill = fy = 15', sy = 5', ry = 15'
 - the lots are serviced by the municipal water and sewer system.
 - the lots are not located within the 100 year flood zone as shown on the flood insurance rate map dated 9/30/15 community panel 3301760318.
 - parcels maybe subject to any easements of record

tm 4-55 & 4-38-5
 owner of record:
 toomerfs, llc
 37 main street unit o
 durham, nh
 scrtd: 4486/213

existing features plan
 main street aka NH ROUTE 108
 & cowell drive, durham
 stafford county, nh
 for: toomerfs, llc
 1" = 20' august 2018





- GENERAL NOTES:**
- OWNER OF RECORD: DURHAM, NEW HAMPSHIRE 03824 S.C.R.D. BOOK 4486, PAGE 213
 - OWNER OF RECORD: TOOMERS, LLC DURHAM, NEW HAMPSHIRE 03824 S.C.R.D. BOOK 4486, PAGE 213
 - LOT AREA: 72 ACRES (31,363 S.F.)
 - REFERENCE PLANS:
 - A. EXISTING FEATURES PLAIN MAIN STREET AKA NH ROUTE 108 AND COWELL DRIVE, DURHAM STRAFFORD COUNTY, NH PREPARED FOR TOOMERS, LLC, PREPARED BY NORWAY PLANS ASSOCIATES, INC. DATED AUGUST, 2018.
 - B. VERTICAL DATUM IS ASSUMED.
 - C. UTILITY SURFACE RATIO FOR LOT 4-55:
 - PROPOSED = 28.6% (6,960 S.F.)
 - DISCONNECTED IMPERVIOUS COVER = 0 S.F.
 - EFFECTIVE IMPERVIOUS AREA (EIA) = 21,072 S.F.
 - D. ALL OUTSIDE CONSTRUCTION RELATED ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 5:00 P.M. SATURDAY.
 - E. FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM, NH 03824, (603) 888-8064.
 - F. ALL EXTERIOR LIGHTING MUST BE FULLY SHIELDED AND NOT PROJECT GLARE TOWARD ANY ADJUTING PROPERTIES.
 - G. ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT AT 888-5531 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
 - H. SNOW SHALL NOT BE PUSHED AGAINST TREES OR SHRUBS IN ANY MANNER THAT COULD DAMAGE THEM.
 - I. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE PROJECT. THIS INCLUDES DISCREPANCIES BETWEEN THESE PLANS AND ANY OTHER PLANS OR CONTRACT DOCUMENTS.

SITE DATA BLOCK
 PLAN INTENT: THE PROPOSAL IS TO CONSTRUCT A NEW PAVED PARKING LOT ON THE SUBJECT PARCEL.
 ZONE: CH - CHURCH HILL
 OVERLAY DISTRICTS: HISTORIC DISTRICT
 USE: COMMERCIAL

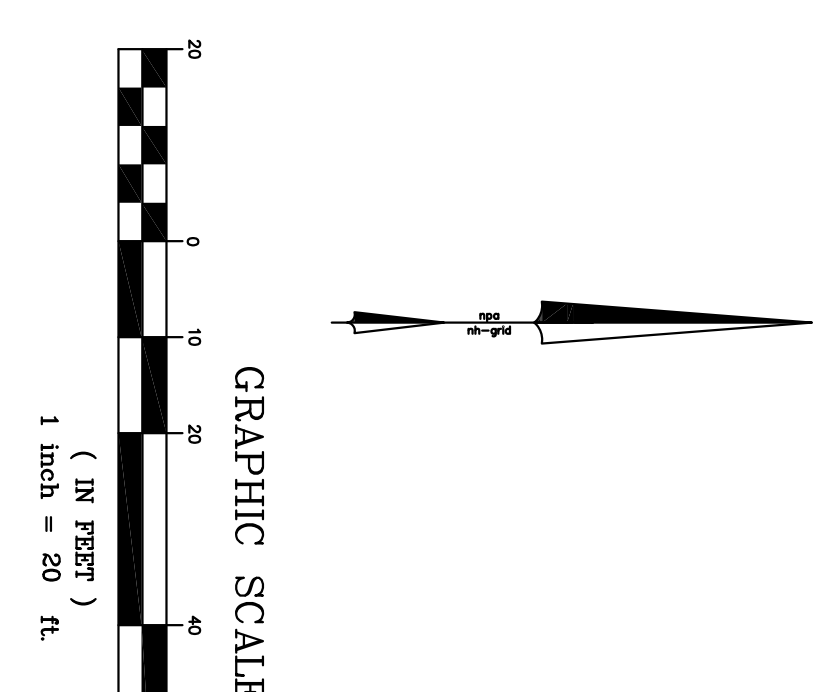
DIMENSIONAL REQUIREMENTS

MINIMUM LOT SIZE (SQUARE FEET)	REQUIRED IN CH DISTRICT	REQUIRED IN EA DISTRICT
5,000 SF	50	20,000 SF
MINIMUM FRONTAGE (FEET)	50	100
MINIMUM LOT SETBACKS		
SIDE (FEET)	15'	30'
REAR (FEET)	5'	10'
FRONT (FEET)	15'	20'
MAXIMUM ROAD STREETCROSS (FEET)	15'	15'
MAXIMUM HEIGHT W/ P.B. APPROVAL (FEET)	35'	35'
IMPERVIOUS SURFACES RATIO	80%	33%

PARKING REQUIREMENTS

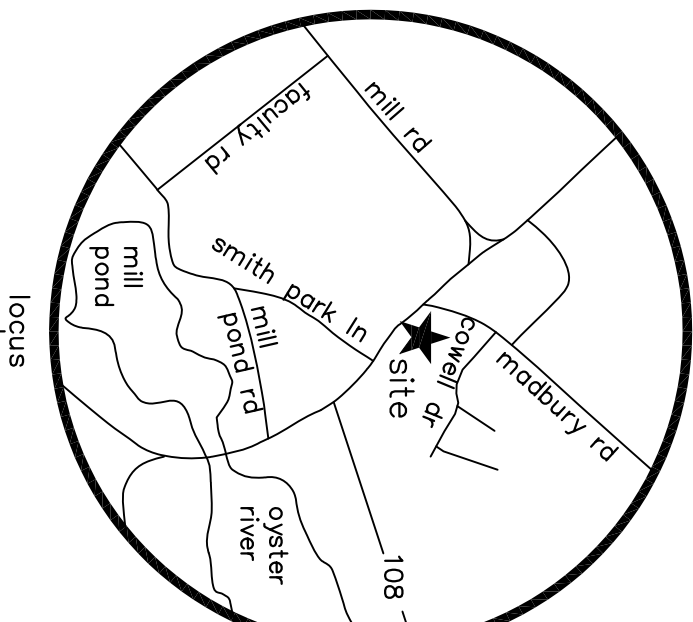
USE	OCCUPANTS	REQUIRED	EXISTING	PROPOSED
LOT 4-55				
DEVELOPING UNITS - PERMITTED FOR 3 OR MORE UNRELATED OCCUPANTS	15	1 SPACES/OCCUPANT = 15 SPACES	17 SPACES	46 SPACES*

*PER ARTICLE 10, SECTION 10.2.2, PARKING LOTS MAY CONTAIN UP TO THE PERCENT (17%) OF SPACES MORE THAN THE REQUIRED MINIMUM. NOTE: ADDITIONAL PARKING SPACES FOR USE BY LOTS 1-3, 1-10, AND 1-11 MAY BE 5 AND REMAIN SPACES, CONDITIONAL USE REQUIRED.



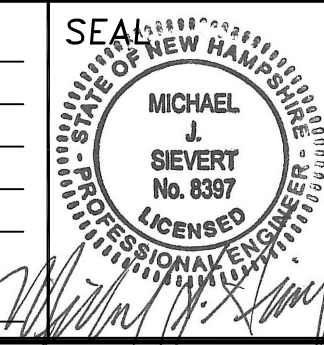
FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 DATE _____

UTILITIES NOTE:
 ALL ELECTRIC, GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATION FOR INFORMATION REGARDING SUCH. CALL DIG-5AVE: 1-888-UC-SAFE (1-888-544-7233)



NO.	REVISIONS	DATE	INT.
3.	DESIGN REVISIONS PER FIRST PLANNING BOARD MEETING	1/3/19	EHK
2.	PLAN UPDATES	11/29/18	EHK
1.	REDESIGN PARKING LOT ENTRANCE AND DRAINAGE	11/26/18	EHK
0.	INITIAL SUBMISSION TO DURHAM PLANNING BOARD	10/5/18	EHK

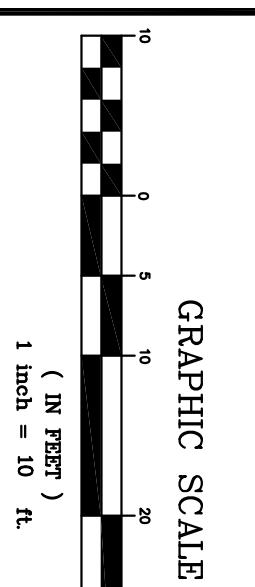
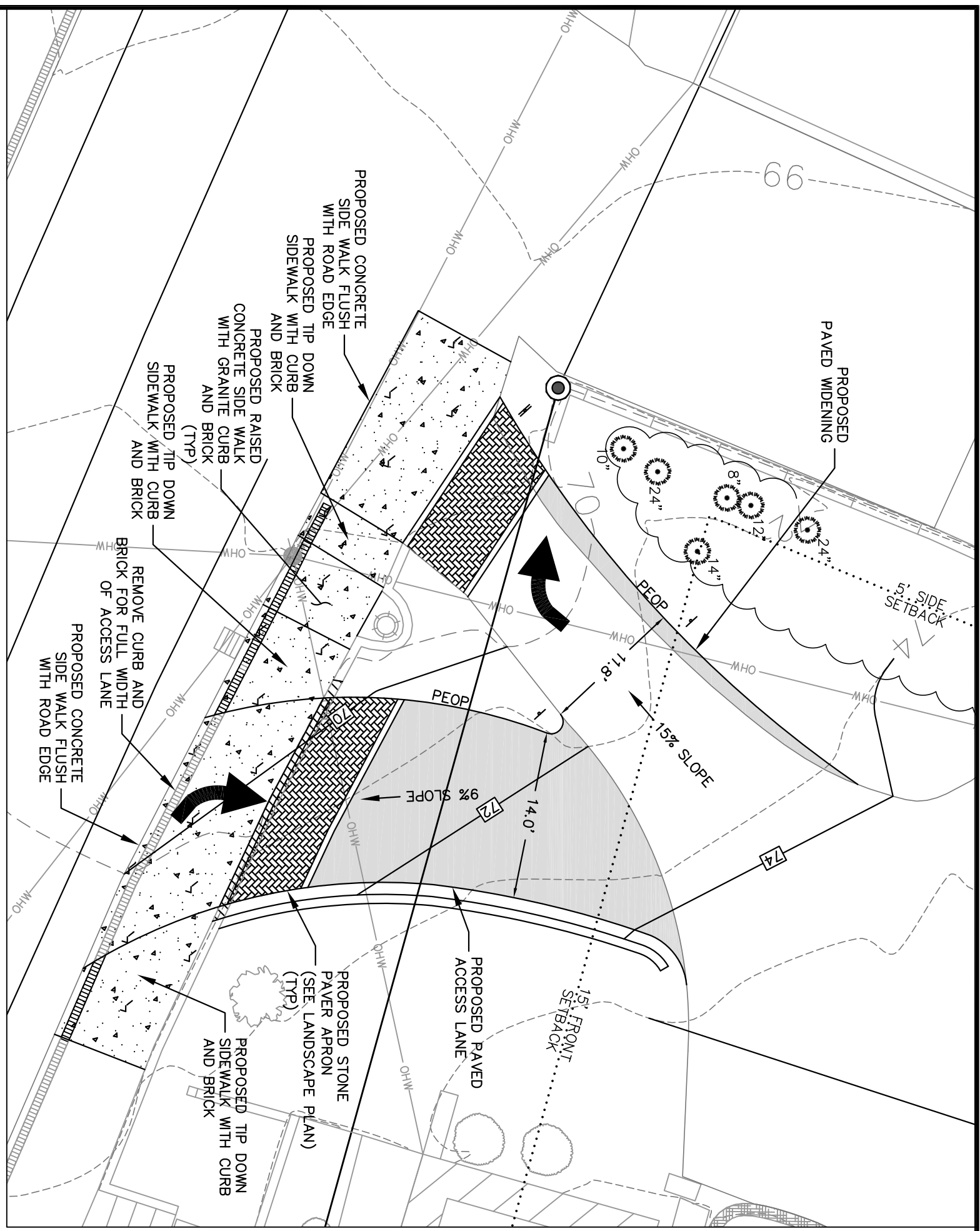
DATE: 10/5/18
 SCALE: 1"=20'
 DESIGNED BY: EHK
 DRAWN BY: EHK
 APPROVED BY: MJS
 DWG FILE: 18-040 CivilJ.dwg



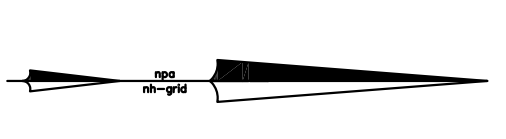
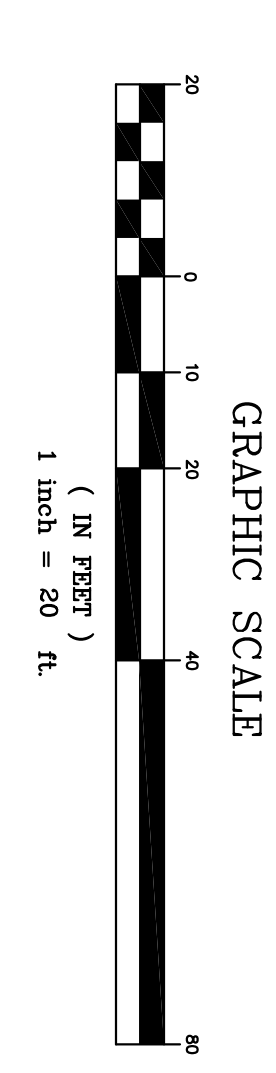
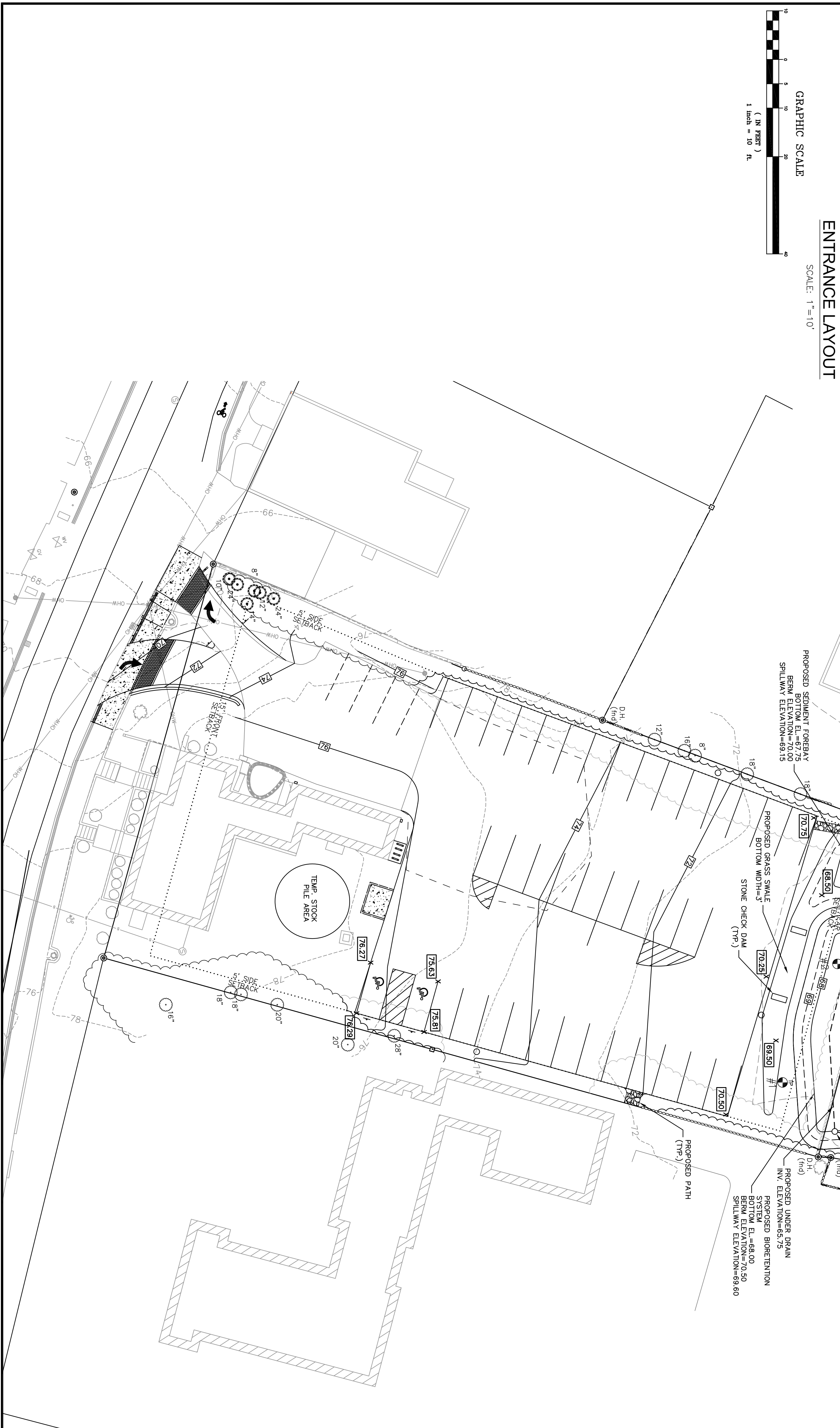
SITE PLAN
 prepared for
TOOMERS, LLC
 TAX MAP 4, LOTS 38-5 AND 55
 18 MAIN ST AND 12 COWELL DR., DURHAM, NH

MJS ENGINEERING, P.C.
 CIVIL • STRUCTURAL • ENVIRONMENTAL
 5 RAILROAD ST., P.O. BOX 3559
 NEWHAMPTON, NH 03857
 PHONE: (603) 659-4979, FAX: (603) 659-4627
 E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 18-040
 C1



ENTRANCE LAYOUT
SCALE: 1"=10'



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
DATE _____

- GRADING, DRAINAGE, UTILITY & EROSION CONTROL NOTES**
1. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNLESS OTHERWISE NOTED. EROSION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING CONSTRUCTION AND ANY EROSION CONTROL MEASURES SHALL BE REPAIRED/REPLACED AS NEEDED.
 2. REFER TO CONSTRUCTION AND EROSION CONTROL NOTES ON SHEET 01.
 3. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
 4. ALL DISTURBED AREAS NOT PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" OF COMPACTION REQUIREMENTS.
 5. MINIMUM COMPACTION:
 - BELOW PAVED OR CONCRETE AREAS: 95%
 - TRENCH BEDDING MATERIAL AND BELOW LOW AND SED AREAS: 90%
 6. ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM PROCTOR DENSITY.
 7. EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAIN STORM OF 0.25 INCHES OR GREATER. DAMAGED EROSION CONTROL DEVICES SHALL BE REPAIRED/MODIFIED AS NECESSARY.
 8. REPAIRED/MODIFIED AS NECESSARY. TEMPORARY EROSION CONTROL MEASURES.
- TEST PIT DATA:**
- | DEPTH | LOCATION |
|--------|---|
| 0-12" | LAGM |
| 12-36" | VERY FINE SILT LOAM AND FILL WITH GRANITE NO SHUNT TO 36" |
- TEST PIT LOGS:**
- | TEST PIT | TOPSOIL | FINE SAND/ LOAM | GRANULAR FRACTION (10R 3/3) | 15-28" | 28-32" | ESWMT AT 32" |
|----------|---------|-----------------|-----------------------------|--------|--------------|--------------|
| 1 | 0-3" | 3-15" | 15-28" | 28-32" | ESWMT AT 32" | |
| 2 | 0-3" | 3-15" | 15-28" | 28-32" | ESWMT AT 32" | |
| 3 | 0-3" | 3-15" | 15-28" | 28-32" | ESWMT AT 32" | |
- TEST PITS LOGGED ON 8/22/18 BY MICHAEL J. SEVERT, MJS ENGINEERING, PC.

UTILITIES NOTE:
GAS, TELEPHONE, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. ANY AND ALL WORK WHATSOEVER SHALL BE UNDERTAKEN ON THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATION FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE. 1-888-DIG-SAFE (1-888-344-7233)

NO.	REVISIONS	DATE	INT.
3.	DESIGN REVISIONS PER FIRST PLANNING BOARD MEETING	1/3/19	EHK
2.	PLAN UPDATES	11/29/18	EHK
1.	REDESIGN PARKING LOT ENTRANCE AND DRAINAGE	11/26/18	EHK
0.	INITIAL SUBMISSION TO DURHAM PLANNING BOARD	10/5/18	EHK

DATE: 10/5/18
SCALE: 1"=20'
DESIGNED BY: EHK
DRAWN BY: EHK
APPROVED BY: MJS
DWG FILE: 18-040 CivilJ.dwg

GRADING, DRAINAGE & EROSION CONTROL PLAN
prepared for TOOMERFS, LLC
TAX MAP 4, LOTS 38-5 AND 55
18 MAIN ST AND 12 COWELL DR., DURHAM, NH

MJS ENGINEERING, P.C.
CIVIL • STRUCTURAL • ENVIRONMENTAL
5 RAILROAD ST., P.O. BOX 359
NEWHAMPSHIRE, NH 03857
PHONE: (603) 659-4979, FAX: (603) 659-4627
E-MAIL: MJS@MJS-ENGINEERING.COM

JOB: 18-040
C2

Do not heavily prune the tree at planting. Prune only cross-over limbs, codominant leaders, and broken or dead branches. Some pruning, however, DO NOT remove the terminal buds or branches that extend to the crown of the crown.

These trees have 7" to 8" caliper shall be staked with three stakes per tree, spaced evenly around the trunk with 12 gauge wire. Plastic tree staking is not allowed. Each wire shall be tagged with a visual marker. 5' long min. wooden stakes shall be used to anchor the wires. Stakes shall be placed in the ground at the end of the first planting pit line stable soil. Remove all staking NO LATER than the end of the first growing season after planting.

Make the north side of the tree in the nursery. Rotate the tree to face north at the site whenever possible.

4 in. high earth saucer beyond edge of root ball

2 in. deep, 2 inch DO NOT exceed depth in contact with tree trunk. Maintain around with wood-chips for a minimum of three years after planting.

Temp seal around root ball base firmly with foot pressure so that root ball does not shift.

Placed root ball on unexcavated or tamped soil.

2 times the diameter of the root ball to be planted shall be no less than a 5' wide radius from the base of the tree.

Backfill with existing soil. In sandy and/or clay soils add 20% max. by volume composted organic material to the existing soil.

Remove all wires, open, wire, and burp.

If plant is staked with a wire basket around the root ball prior to planting, the contractor shall cut away the bottom wire to plant and level. The contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.

Each tree must be planted such that the original trunk line is visible at the top of the root ball. Trees whose DO NOT cover the top of the root ball with soil.

Before planting Contractor shall inspect the root ball for the root visible at the top of the root ball then the Contractor shall then gently remove from the top of the root ball any soil that is not needed for planting. Trees with 4" or more caliper shall be removed prior to planting. Trees with 4" or more caliper shall be inspected. The tree shall be delivered with the original root line at or slightly (2-3") above surrounding finished grade.

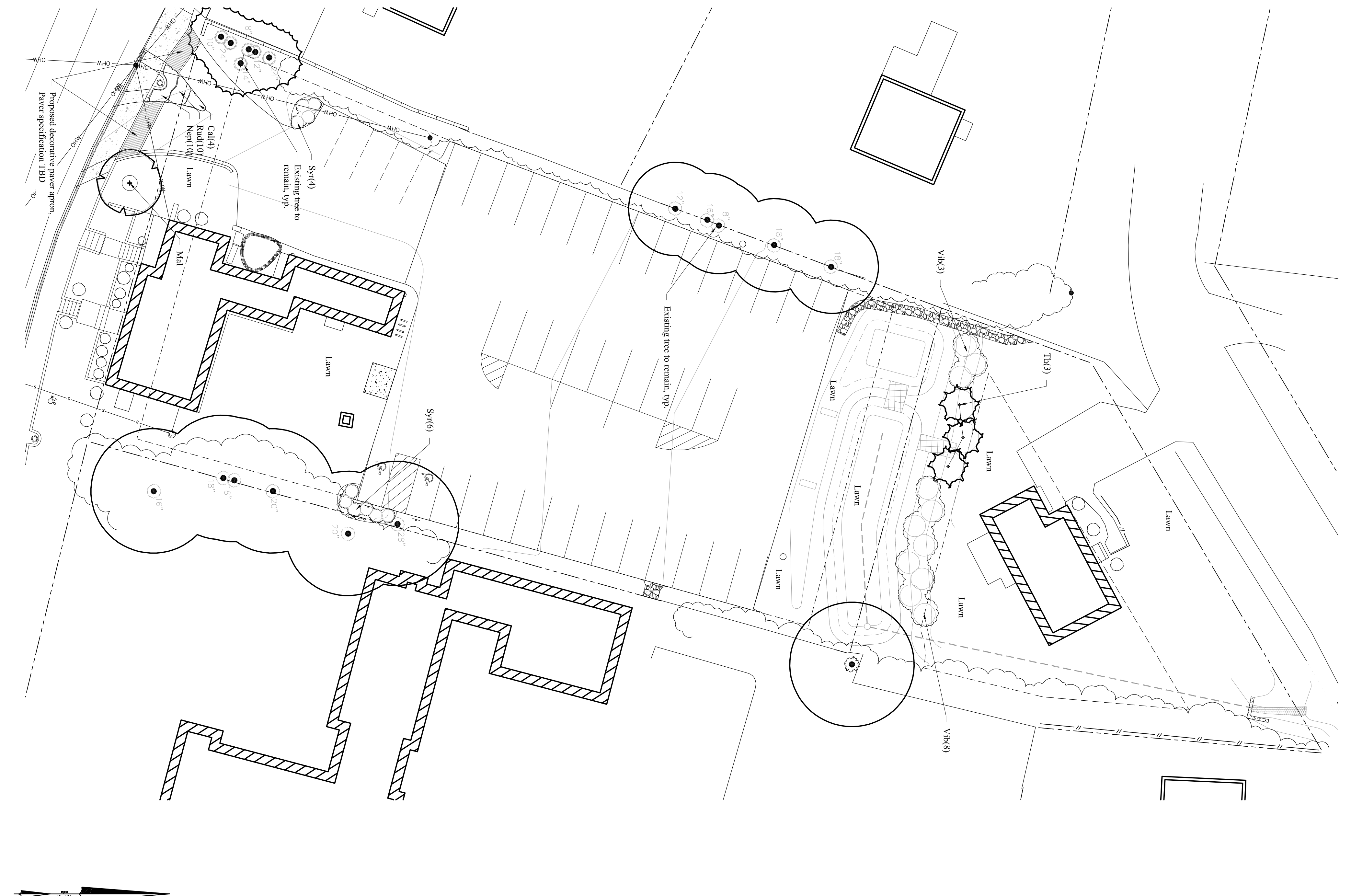
6" Compressed PVC line sock

Tree Planting Detail, Typ.

Landscape Notes

- Design is based on drawings by MJS Engineering dated December 2018 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction. Control Fabric shall be staked in place between the work and Water Bodies. Weeds and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the contractor shall provide a set of drawings at the correct scale, at the request of the contractor.
- The contractor shall provide a set of drawings at the correct scale, at the request of the contractor.
- Do not backfill with existing soil. In sandy and/or clay soils add 20% max. by volume composted organic material to the existing soil.
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- If plant is staked with a wire basket around the root ball prior to planting, the contractor shall cut away the bottom wire to plant and level. The contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.
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- 6" Compressed PVC line sock

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
TREES					
Mai	<i>Morus nigra</i> 'Tyne'	Sugarvine White Crabapple	1	3-3' Cal	B&B
Th	<i>Thuja plicata</i> 'Atrovirens'	Atrovirens Arborvitae	3	7-8' Ht	B&B
SHRUBS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Vib	<i>Viburnum plicatum</i> 'Tomentosum'	Marie's Doublefile Viburnum	11	3-4' Ht	B&B
Syr	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	10	2-3' Ht	B&B
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Val	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	10	1' gal	
Veg	<i>Nepeta reasensii</i> 'Walker's Low'	Walker's Low Catmint	10	1' gal	
Rud	<i>Rudbeckia hirta</i> 'Goldsturm'	Black-Eyed Susan	10	1' gal	



FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 DATE _____

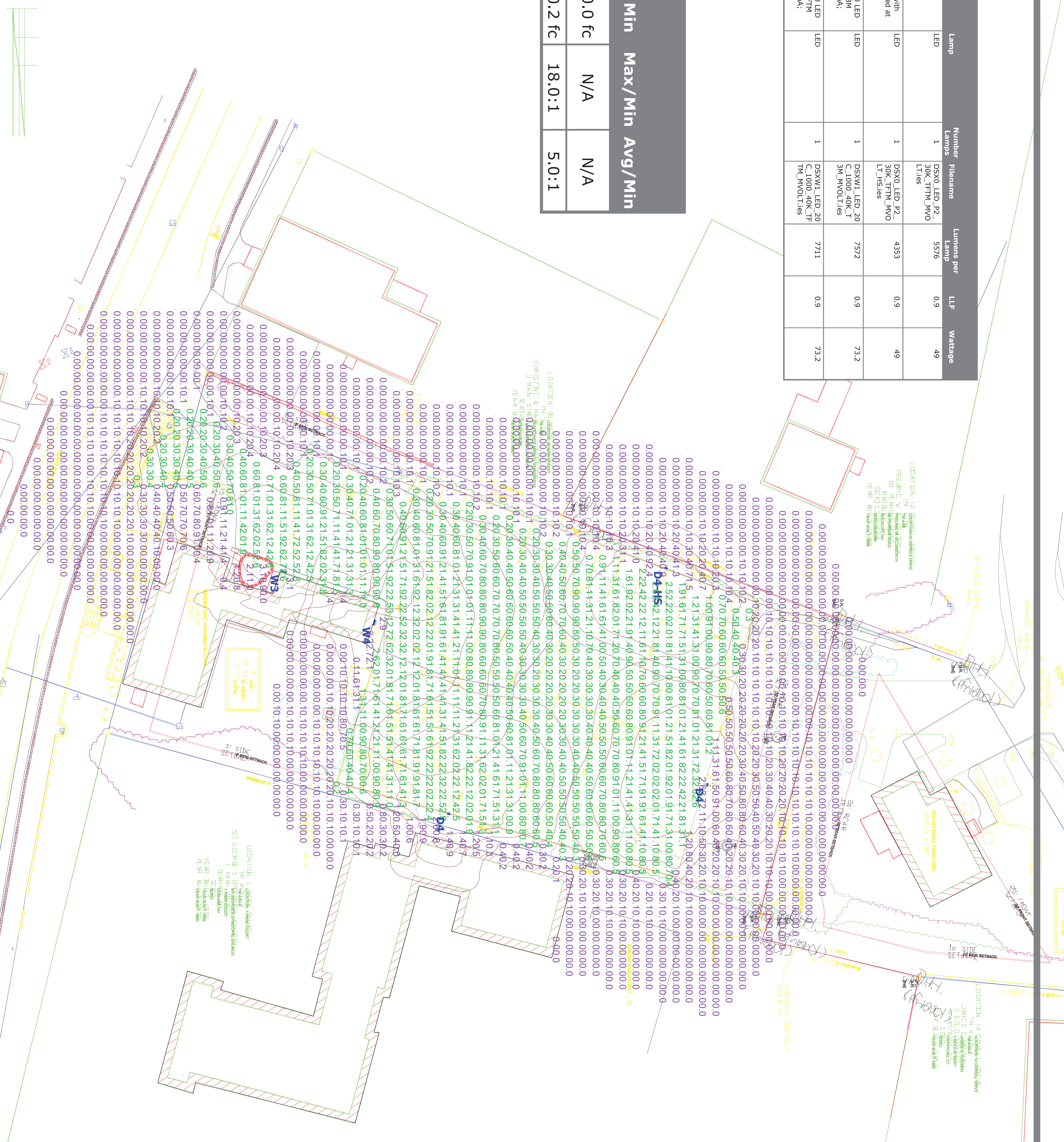
GRAPHIC SCALE
 1 inch = 20' ft

woodburn & company
 LANDSCAPE ARCHITECTURE
 103 Kent Place, Newmarket, New Hampshire
 Phone: 603.659.3949

JOB: 18-040	MJS ENGINEERING, P.C. CIVIL • STRUCTURAL • ENVIRONMENTAL 5 RAILROAD ST., P.O. BOX 359 NEWMARKET, NH 03857 PHONE: (603) 659-4770 FAX: (603) 659-4627 E-MAIL: MJS@MJS-ENGINEERING.COM	LANDSCAPE PLAN	DATE: 9/28/18	SEAL	1. PER REVISED SITE PLAN 12/27/18 VM 0. INITIAL SUBMISSION TO LEE PLANNING BOARD 9/28/18 VM
		prepared for TOOMERFS, LLC. TAX MAP 4, LOTS 38-5 AND 55 18 MAIN ST AND 12 COWELL DR., DURHAM, NH	SCALE: 1"=20' DESIGNED BY: VM DRAWN BY: VM APPROVED BY: RW DWG FILE:		

Schedule	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
D4	2	Lithonia Lighting	DSXO LED P2 30K TFTM MOUNT 55S 13 4C DM19AS DDBXD	DSXO LED Area Fixture; mounted at 16ft	LED	1	DSXO_LED_P2_30K_TFTM_MVO L1.rles	5776	0.9	49	
D4-HS	1	Lithonia Lighting	DSXO LED P2 30K TFTM MOUNT 55S 13 4C DM19AS DDBXD	DSXO LED Area Fixture with houseside shield; mounted at 16ft	LED	1	DSXO_LED_P2_30K_TFTM_MVO L1.rles	4353	0.9	49	
W3	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOILT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 10000mA; mounted at 16ft	LED	1	DSXW1_LED_20 C_1000_40K_T 3M_MVOILT.rles	7572	0.9	73.2	
W4	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOILT DDBXD	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 10000mA; mounted at 16ft	LED	1	DSXW1_LED_20 C_1000_40K_T 3M_MVOILT.rles	7711	0.9	73.2	

Statistics		Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking		+	0.2 fc	3.2 fc	0.0 fc	N/A	N/A
Parking Lot		+	1.0 fc	3.6 fc	0.2 fc	18.0:1	5.0:1



18 MAIN ST Durham, NH Site Lighting Layout

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Date
12/27/2018

Scale
1"=40'

Drawing No.
Summary

