

CLIENT/OWNER
 RICHMOND PROPERTY GROUP
 333 N. ALABAMA STREET
 INDIANAPOLIS, IN 46204

CIVIL ENGINEER
 EMANUEL ENGINEERING, INC.
 118 PORTSMOUTH AVENUE, SUITE A202
 STRATHAM, NH 03885

LAND SURVEYOR
 DOUCET SURVEY, INC.
 102 KENT PLACE
 NEWMARKET, NH 03857

SOIL SCIENTIST
 GZA GEOENVIRONMENTAL
 5 COMMERCE PARK NORTH, SUITE 201
 BEDFORD, NH 03110

ARCHITECT
 KRITTENBRINK ARCHITECTURE
 119 W. MAIN STREET
 NORMAN, OK 73069

LIGHTING PLAN
 KRITTENBRINK ARCHITECTURE
 119 W. MAIN STREET
 NORMAN, OK 73069

GEOTECHNICAL ENGINEER
 S.W. COLE ENGINEERING, INC.
 10 CENTRE ROAD
 SOMERSWORTH, NH 03878

LANDSCAPE ARCHITECT
 WOODBURN & COMPANY
 103 KENT PLACE
 NEWMARKET, NH 03857

AMENDED SITE PLAN FOR RICHMOND PROPERTY GROUP

ALPHA TAU OMEGA FRATERNITY

DURHAM TAX MAP 2 LOT 12-12

18 GARRISON AVENUE

DURHAM, NH 03824

WAIVERS GRANTED BY THE TOWN OF DURHAM ZONING BOARD ON MARCH 17, 2020:

- ZONING ORDINANCE 175.62 - PARKING WITHIN WCOD
- ZONING ORDINANCE 175.11 - PARKING WITHIN FRONT COURT OF BUILDING



PROJECT DRAWING SET:

- COVER SHEET
- 1 EXISTING CONDITIONS PLAN (BY DOUCET SURVEY, INC.)
- C2 SITE PLAN
- C3 GRADING & DRAINAGE PLAN
- C4 PAVING & CURBING PLAN
- D1 - D2 NOTES
- D3 - D5 DETAILS
- CS1 CONSTRUCTION SEQUENCING PLAN
- L1 PRELIMINARY LANDSCAPE CONCEPT
- FLOOR PLANS
- ARCHITECTURAL RENDERINGS

PROJECT LOCUS PLAN

1" = 1,000'

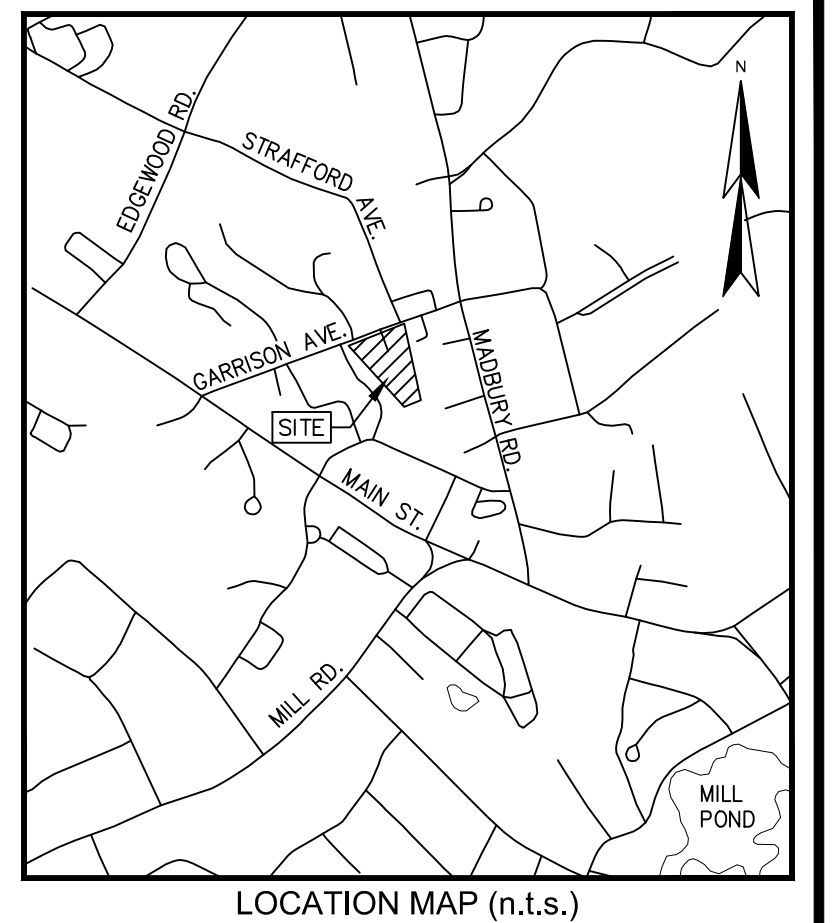
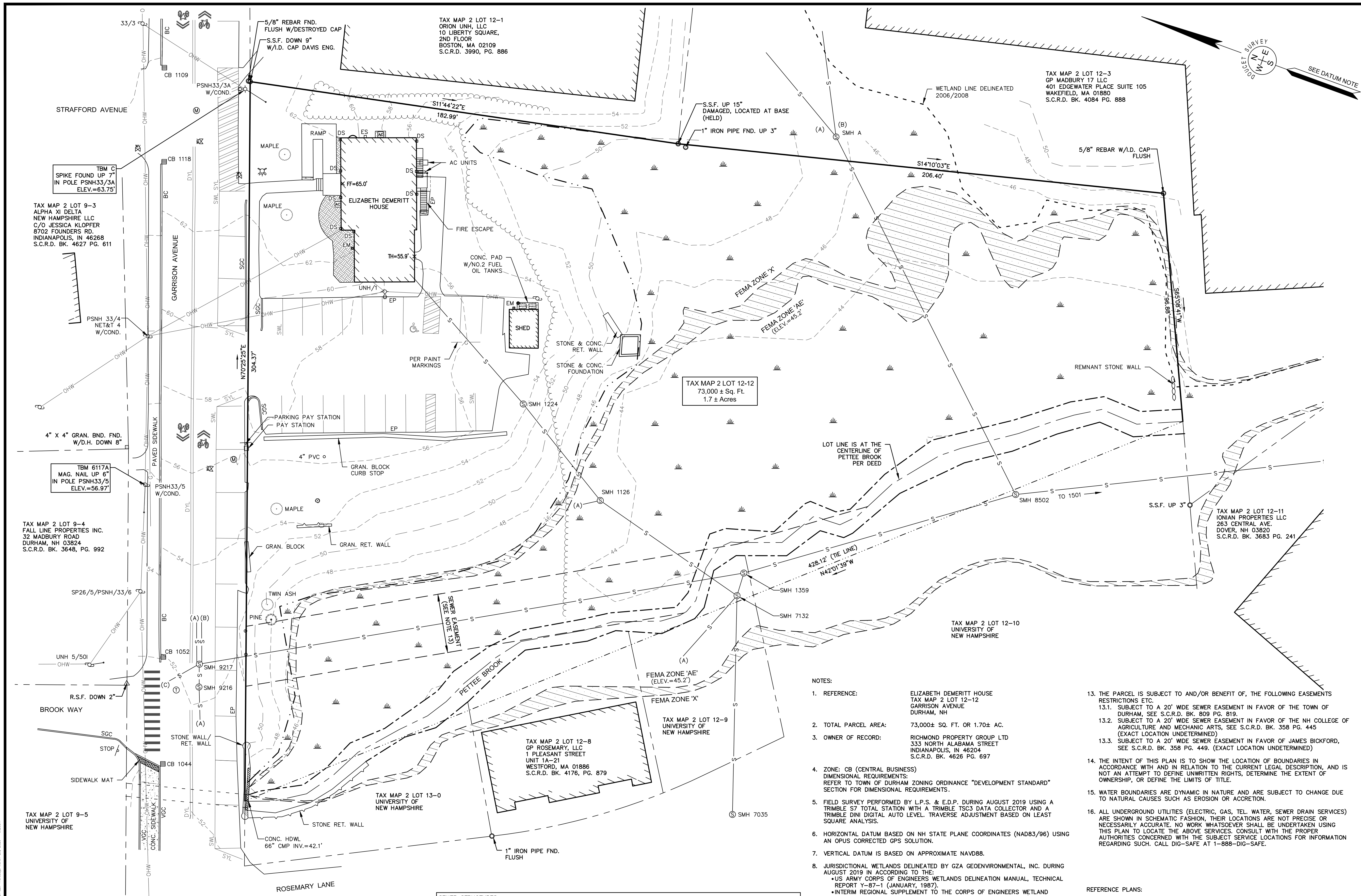
APPROVED BY THE TOWN OF DURHAM PLANNING BOARD
 CHAIRPERSON _____ DATE _____

| | | | |
|--------------|-----------------------|--------------|------|
| 4 | SEPT 2, 2020 | FOR APPROVAL | |
| 3 | APR 24, 2020 | FOR APPROVAL | |
| 1 | MAR 11, 2020 | FOR APPROVAL | |
| ISS. DATE: | DESCRIPTION OF ISSUE: | | CHK: |
| DRAWN: JJM | DESIGN: JJM | | |
| CHECKED: BDS | CHECKED: BDS | | |



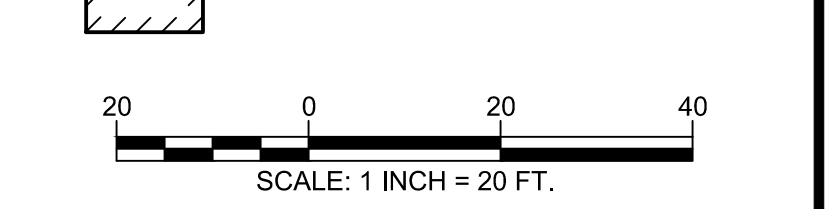
CLIENT:
 RICHMOND PROPERTY GROUP
 333 N. ALABAMA ST.
 INDIANAPOLIS, IN 46204

| | | |
|--------------------|--|-----------------|
| SEAL: | TITLE: COVER FOR RICHMOND PROPERTY GROUP ELIZABETH DEMERITT HOUSE 18 GARRISON AVENUE (SITE) DURHAM, NH 03824 | |
| PROJECT: 19-083 | SCALE: AS SHOWN | SHEET: COVER |



LEGEND

- LOT LINE
- - - APPROXIMATE ABUTTERS LOT LINE
- - - EXISTING EASEMENT LINE
- - - APPROXIMATE CENTERLINE OF BROOK
- - - EDGE OF BROOK
- RETAINING WALL
- STONE WALL
- OVERHEAD WIRE
- SEWER LINE
- DRAIN LINE
- GAS LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE LINE
- EDGE OF DELINEATED WETLAND (2019)
- EDGE OF DELINEATED WETLAND (2006/2008)
- WETLAND AREA
- CONCRETE
- LANDSCAPED AREA
- FEMA ZONE 'X' 0.2% ANNUAL CHANCE FLOOD HAZARD
- UTILITY POLE & GUY WIRE
- UTILITY POLE W/LIGHT
- SIGN
- IRON PIPE/ROD FOUND
- FIRE HYDRANT
- WATER GATE VALVE
- CATCH BASIN
- MANHOLE
- TELEPHONE MANHOLE
- SEWER MANHOLE
- WOODED POST
- BOLLARD
- CONIFEROUS TREE
- DECIDUOUS TREE
- TYPICAL
- S.S.F. STAKE FOUND
- CONCRETE
- GRANITE
- HDWL
- FINISHED FLOOR ELEVATION
- THRESHOLD ELEVATION
- EP
- VGC
- SGC
- EM
- ES
- BC
- SWL
- SYL
- DYL
- DS
- CC
- BUILDING



EXISTING CONDITIONS PLAN
FOR
EMANUEL ENGINEERING
OF THE
ELIZABETH DEMERITT HOUSE
TAX MAP 2 LOT 12-12
18 GARRISON AVENUE
DURHAM, NEW HAMPSHIRE

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |

| | | | |
|-------------|--------|--------------|-------------|
| DRAWN BY: | M.T.L. | DATE: | AUGUST 2019 |
| CHECKED BY: | S.V.M. | DRAWING NO.: | 6117A |
| JOB NO.: | 6117 | SHEET | 1 OF 1 |

Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-0660
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
http://www.doucetsurvey.com

NOTES:

- REFERENCE: ELIZABETH DEMERITT HOUSE TAX MAP 2 LOT 12-12 GARRISON AVENUE DURHAM, NH
- TOTAL PARCEL AREA: 73,000± SQ. FT. OR 1.70± AC.
- OWNER OF RECORD: RICHMOND PROPERTY GROUP LTD 333 NORTH ALABAMA STREET INDIANAPOLIS, IN 46204 S.C.R.D. BK. 4626 PG. 697
- ZONE: CB (CENTRAL BUSINESS) DIMENSIONAL REQUIREMENTS: REFER TO TOWN OF DURHAM ZONING ORDINANCE "DEVELOPMENT STANDARD" SECTION FOR DIMENSIONAL REQUIREMENTS.
- FIELD SURVEY PERFORMED BY L.P.S. & E.D.P. DURING AUGUST 2019 USING A TRIMBLE S7 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DINI DIGITAL AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NH STATE PLANE COORDINATES (NAD83/96) USING AN OPUS CORRECTED GPS SOLUTION.
- VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88.
- JURISDICTIONAL WETLANDS DELINEATED BY GZA GEOENVIRONMENTAL, INC. DURING AUGUST 2019 IN ACCORDANCE TO THE:
 - US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY, 1987)
 - INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION (OCTOBER 2009)
 - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1), U.S. FISH AND WILDLIFE SERVICE (MAY 1986)
 - CODE OF ADMINISTRATIVE RULES, WETLANDS BOARD, STATE OF NEW HAMPSHIRE (CURRENT)
- FLOOD HAZARD ZONES: "X" & "AE", PER FIRM MAP #3301700318E, DATED 9/15/15.
- PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
- THE PARCEL IS SUBJECT TO AND/OR BENEFIT OF, THE FOLLOWING EASEMENTS RESTRICTIONS ETC.
 - SUBJECT TO A 20' WIDE SEWER EASEMENT IN FAVOR OF THE TOWN OF DURHAM, SEE S.C.R.D. BK. 809 PG. 819.
 - SUBJECT TO A 20' WIDE SEWER EASEMENT IN FAVOR OF THE NH COLLEGE OF AGRICULTURE AND MECHANIC ARTS, SEE S.C.R.D. BK. 358 PG. 445 (EXACT LOCATION UNDETERMINED)
 - SUBJECT TO A 20' WIDE SEWER EASEMENT IN FAVOR OF JAMES BICKFORD, SEE S.C.R.D. BK. 358 PG. 449. (EXACT LOCATION UNDETERMINED)
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION.
- ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

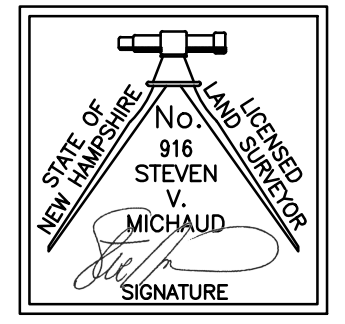
REFERENCE PLANS:

- "PLAN OF LAND, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE FOR GAMMA THETA CORPORATION, GARRISON AVENUE, (NO TAX MAP/LOT NUMBER ASSIGNED) DURHAM, NEW HAMPSHIRE" DATED JULY 11, 2014 BY DOUCET SURVEY, INC. S.C.R.D. PLAN 108-020.
- "EXISTING CONDITIONS PLAN OF 17 & 21 MADBURY ROAD FOR AG ARCHITECTS, PC" DATED MAY 11, 2008 BY DOUCET SURVEY, INC.
- "TOWN OF DURHAM SEWER EASEMENTS, PETTEE BROOK INTERCEPTOR" DATED NOVEMBER 1964 BY G.L. DAVIS & ASSOCIATES S.C.R.D. POCKET 4 FOLDER 4 PLAN 26.
- "RE-SUBDIVISION OF LAND IN DURHAM, NH PREPARED FOR THETA GAMMA OF DELTA ZETA HOUSE CORP." DATED AUGUST 4, 1980 BY JOHN W. DURGIN ASSOCIATES, INC. S.C.R.D. DRAWER 21, PLAN 86.
- "PLAN OF LAND FOR ERNEST CUTLER" DATED OCTOBER 1977 BY JOHN W. DURGIN ASSOCIATES, INC.
- "UNIVERSITY OF NEW HAMPSHIRE GARRISON AVENUE AREA" DATED SEPTEMBER 16, 1957 BY G.L. DAVIS & ASSOCIATES.

SEWER STRUCTURES

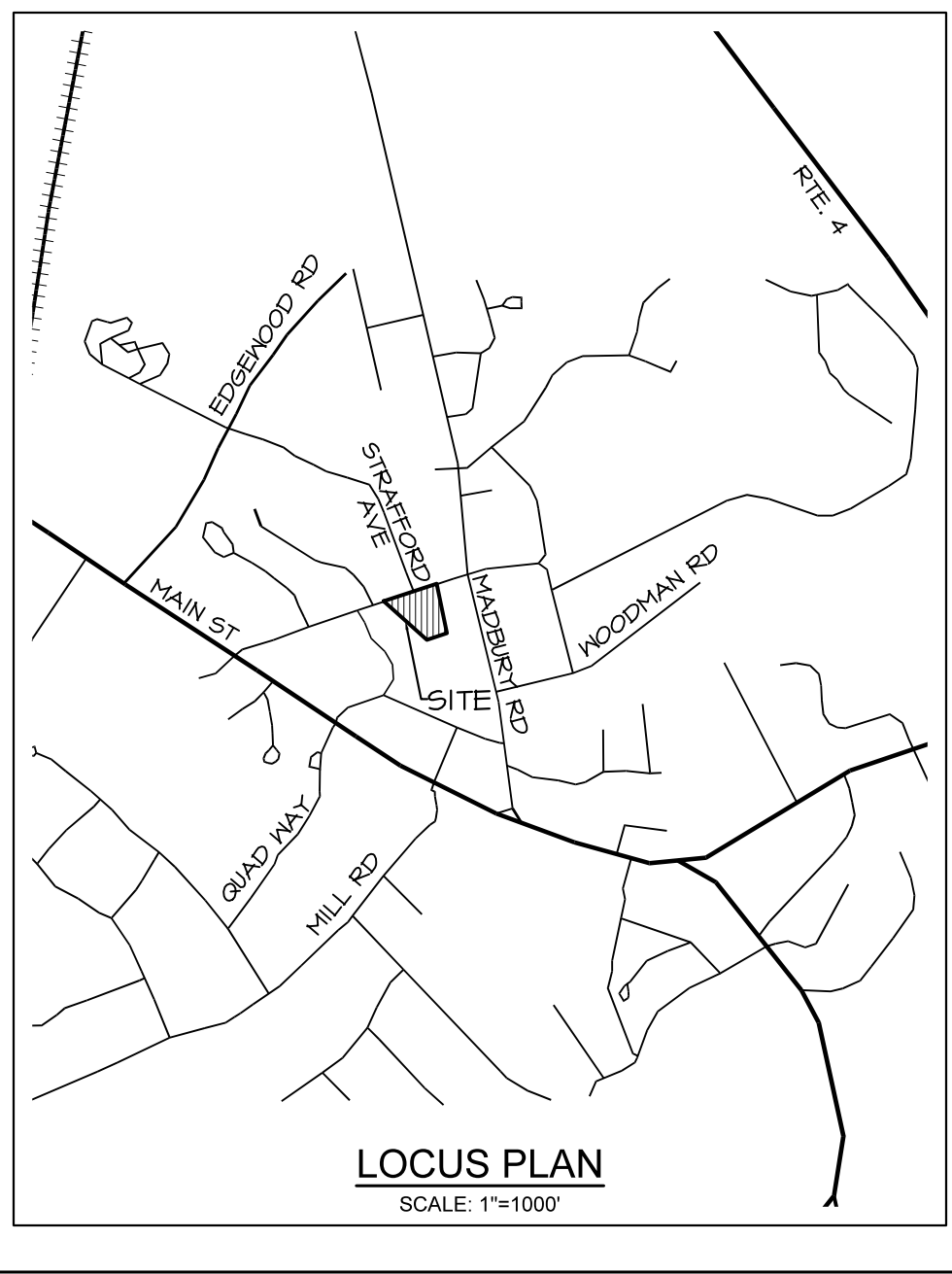
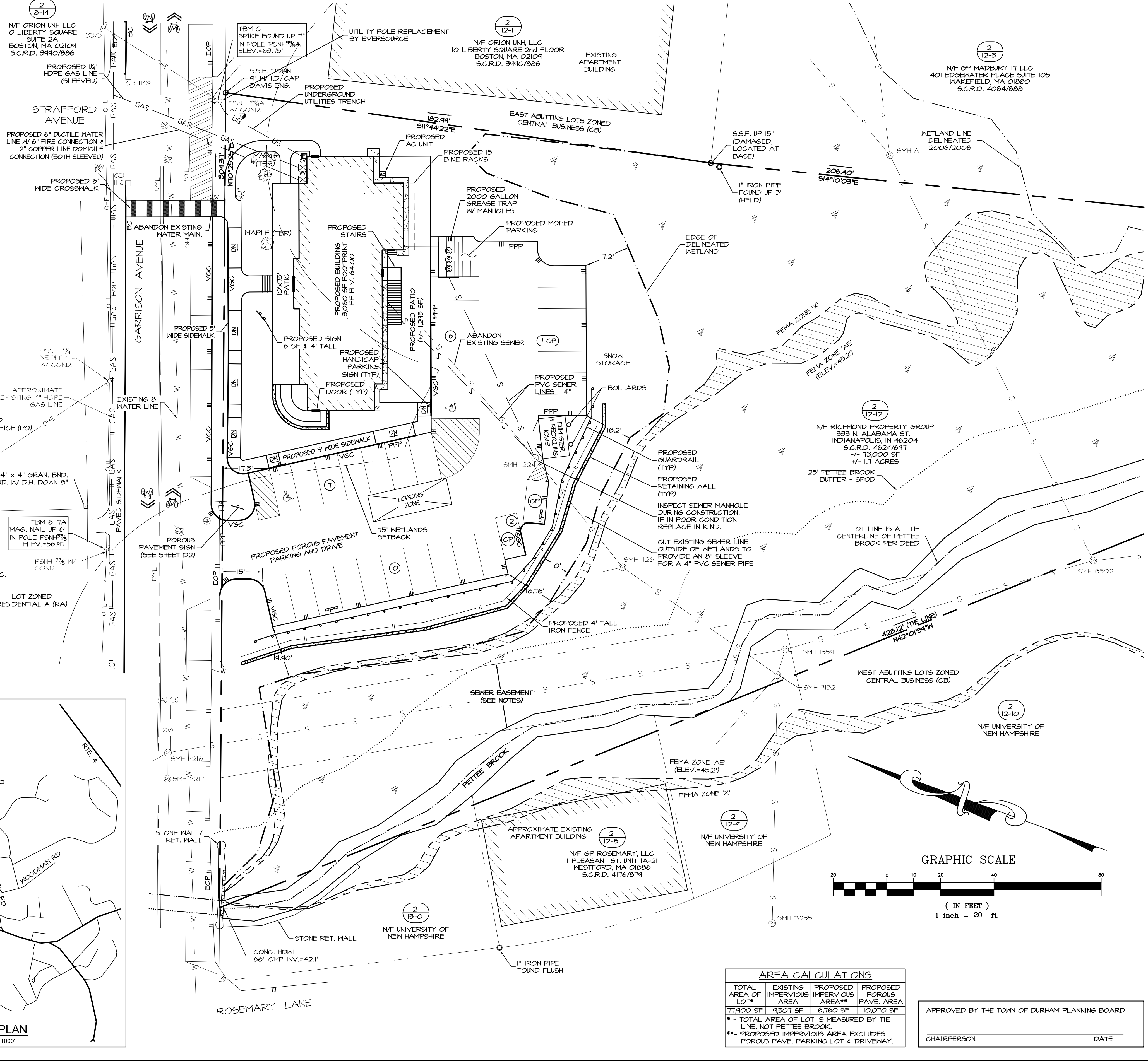
| SMH A | SMH 1224 | SMH 7132 | SMH 9216 |
|-----------------------|---------------------------|----------------------------|--------------------------------|
| RIM ELEV.=46.3' | RIM ELEV.=54.6' | RIM ELEV.=45.3' | RIM ELEV.=52.3' |
| (A) 8" CIP INV.=42.2' | (BLDG) 6" PVC INV.=47.8' | (A) 8" PVC INV.=38.5' | (A) 8" UNK. INV.=39.6' |
| (B) 6" CIP INV.=42.5' | (1226) 6" PVC INV.=47.8' | (7035) 8" PVC INV.=38.5' | (9217) 8" UNK. INV.=39.6' |
| (8502) 8" CIP=42.2' | | (1126) 8" PVC INV.=38.5' | |
| | SMH 1359 | (1359) 10" UNK. INV.=38.5' | SMH 9217 |
| | RIM ELEV.=44.6' | | RIM ELEV.=52.5' |
| | (7132) 10" PVC INV.=36.4' | SMH 8502 | (A) 8" CLAY INV.=45.7' |
| | (9217) 18" PVC INV.=35.6' | RIM ELEV.=42.9' | (B) 8" UNK. INV.=37.3' |
| | (8502) 18" PVC INV.=35.6' | (SMH A) CC ELEV.=36.1' | (9216) 8" UNK. INV.=37.2' |
| | | (1359) CC ELEV.=35.1' | (C) 18" UNK. CC ELEV.=36.6' |
| | | (1501) CC ELEV.=35.1' | (1359) 18" UNK. CC ELEV.=36.6' |

PURSUANT TO RSA 676:18, III:
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN ±15,000.
L.L.S. #916
DATE: 3/26/2020
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



LEGEND

| | |
|---|-----------------------|
| ○ | BOUND FOUND |
| ○ | IRON PIPE FOUND |
| ○ | TYPICAL |
| ○ | PROP. POROUS PAVE. |
| ○ | PROP. TRAD. PAVE. |
| ○ | VERT. GRANITE CURB |
| ○ | SLOPED GRANITE CURB |
| ○ | BITUMINOUS CURB |
| ○ | PROPERTY LINE |
| ○ | EDGE OF PAVE (EOP) |
| ○ | EOP WITH CURB |
| ○ | UNDERGROUND UTILITIES |
| ○ | OVERHEAD UTILITIES |
| ○ | WATER LINE |
| ○ | SEWER LINE |
| ○ | GAS LINE |
| ○ | IRON FENCE |
| ○ | GUARD RAIL |
| ○ | EDGE OF WETLANDS |
| ○ | UTILITY POLE |
| ○ | LIGHT POLE |
| ○ | WETLANDS |
| ○ | BOLLARD |
| ○ | ELECTRICAL METER |
| ○ | SEWER MANHOLE |
| ○ | CATCH BASIN |
| ○ | SEWER CLEANOUT |
| ○ | WATER VALVE |
| ○ | TREE |
| ○ | PARKING SPACES IN ROW |
| ○ | COMPACT PARKING SPOT |
| ○ | LANDSCAPING |
| ○ | FEMA FLOOD ZONE X |



AREA CALCULATIONS

| TOTAL AREA OF LOT* | EXISTING IMPERVIOUS AREA | PROPOSED IMPERVIOUS AREA** | PROPOSED POROUS PAVE. AREA |
|--------------------|--------------------------|----------------------------|----------------------------|
| 11,900 SF | 9,501 SF | 6,160 SF | 10,070 SF |

* - TOTAL AREA OF LOT IS MEASURED BY THE TIE LINE, NOT PETTEE BROOK.
 ** - PROPOSED IMPERVIOUS AREA EXCLUDES POROUS PAVE. PARKING LOT & DRIVEWAY.

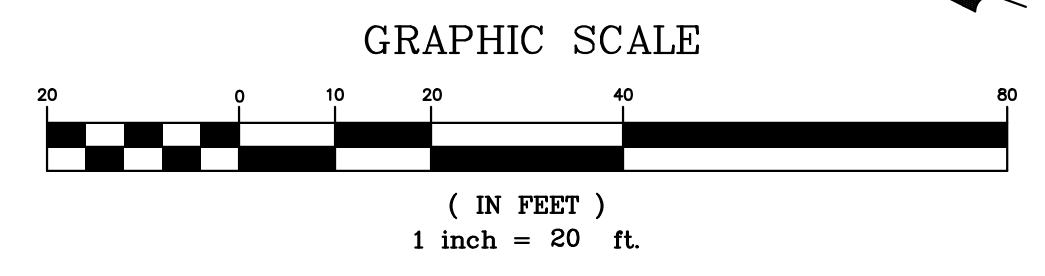
APPROVED BY THE TOWN OF DURHAM PLANNING BOARD

CHAIRPERSON _____ DATE _____

- NOTES:**
- OWNER OF RECORD: TAX MAP 2, LOT 12-12 RICHMOND PROPERTY GROUP 333 N. ALABAMA ST. INDIANAPOLIS, IN 46204 S.C.R.D. 4626 PG 64T
 - THE INTENT OF THIS PLAN IS TO AMEND A PREVIOUSLY APPROVED SITE PLAN. THE PROPOSED FOOTPRINT OF THE FRATERNITY BUILDING HAS BEEN CHANGED, WHICH ALSO AFFECTED THE DESIGN OF ASSOCIATED SITE IMPROVEMENTS. THE SITE PLAN BEING AMENDED WAS APPROVED BY THE DURHAM, NH PLANNING BOARD ON MAY 13, 2020.
 - PARCEL IS ZONED CENTRAL BUSINESS (CB) PER THE 2006 DURHAM ZONING DISTRICT MAP.
 - A PORTION OF THE PARCEL IS IN A FLOOD HAZARD ZONE; REFERENCE FLOOD INSURANCE RATE MAP 33017C0318E, DATED SEPTEMBER 30, 2015.
 - SURVEY FIELDWORK CONDUCTED BY DOUCET SURVEY, LLC IN AUGUST, 2019.
 - SOILS AND WETLANDS WERE DELINEATED BY GZA GEOENVIRONMENTAL, INC. DURING AUGUST, 2019.
 - PROPERTY TO BE SERVICED BY TOWN WATER AND SEWER.
 - ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
 - THIS PARCEL IS SUBJECT TO AND/OR BENEFIT OF EASEMENTS, RESTRICTIONS, ETC. FOR MORE INFORMATION, SEE EXISTING CONDITIONS PLAN BY DOUCET SURVEY, AS PART OF THIS PLAN SET.

- REFERENCE PLANS:**
- "PLAN OF LAND, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE FOR GAMMA THETA CORPORATION, GARRISON AVENUE, (NO TAX MAP/LOT NUMBER ASSIGNED) DURHAM, NEW HAMPSHIRE" DATED JULY 11, 2014 BY DOUCET SURVEY, INC. S.C.R.D. PLAN 108-020.
 - "EXISTING CONDITIONS PLAN OF 17 & 21 MADBURY ROAD FOR AG ARCHITECTS, PC" DATED MAY 11, 2006 BY DOUCET SURVEY, INC.
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 - "UNIVERSITY OF NEW HAMPSHIRE GARRISON AVENUE AREA" DATED SEPTEMBER 16, 1957 BY G.L. DAVIS & ASSOCIATES.

- NOTES (CONT.):**
- ANNUAL REPORT TO TOWN ON POROUS PAVEMENT MAINTENANCE IS REQUIRED.
 - THE WETLAND MEADOW SHOULD BE MOWED APPROXIMATELY 2 TIMES PER YEAR TO PREVENT INVASIVE SPECIES FROM INHABITING WETLANDS.
 - THE FOLLOWING CB DISTRICT REQUIREMENTS ARE PER THE TOWN OF DURHAM'S SITE PLAN REGULATIONS AND ZONING ORDINANCE, DATED 2019:
 - *TOTAL NUMBER OF RESIDENTS AND ON-SITE EMPLOYEES FOR THE PROPOSED FRATERNITY IS 44.
 - 1) MINIMUM ONE PARKING SPACE PER RESIDENT (CB DISTRICT EXEMPT IV FEES)
 - REQUIRED = 43 SPACES
 - PROPOSED = 32 SPACES
 - 2) MAXIMUM 30% OF PARKING ARE COMPACT SPACES
 - MAX = 12 SPACES
 - PROPOSED = 4 SPACES
 - 3) ONE HANDICAP PARKING SPACE PER 25 SPACES
 - REQUIRED = 2 SPACES
 - PROPOSED = 2 SPACES
 - 4) MINIMUM PARKING SPACE DIMENSIONS:
 - PERPENDICULAR = 9'x18'
 - PARALLEL = 8'x22'
 - COMPACT = 8'x16'
 - HANDICAP = 8'x18'
 - 5) PARKING LOTS AT THE SIDE OF PRINCIPLE BUILDINGS SHALL BE SET BACK AS FAR AS THE FRONT OF THE BUILDING OR 15 FT, WHICHEVER IS GREATER
 - REQUIREMENT NOT MET
 - VARIANCE GRANTED MARCH 17, 2020
 - 6) MINIMUM AMOUNT OF BIKE RACKS
 - REQUIRED = 15 BIKE RACKS
 - PROVIDED = 15 BIKE RACKS
 - 7) MAXIMUM BUILDING HEIGHT IS 30 FT
 - HEIGHT = 34.5'
 - 8) MINIMUM LOT FRONTAGE = 50 FT
 - PROVIDED = 304 FT
 - 9) MINIMUM LOT SIZE = 5,000 SF
 - PROVIDED = 73,000 SF
 - 10) WETLAND SETBACK (BUFFER) = 75 FT
 - PROVIDED < 75 FT
 - VARIANCE GRANTED MARCH 17, 2020, & CONDITIONAL USE APPLICATION IN PROCESS.



| | | | |
|------------|--------------|-----------------------|------|
| 1 | SEPT 2, 2020 | FOR APPROVAL | |
| ISS. DATE: | | DESCRIPTION OF ISSUE: | CHK. |
| DRAWN: | MCV | DESIGN: | MCV |
| CHECKED: | BDS | CHECKED: | BDS |

CLIENT:

RICHMOND PROPERTY GROUP
 333 N. ALABAMA ST.
 INDIANAPOLIS, IN 46204

TITLE:

AMENDED SITE PLAN
 FOR
RICHMOND PROPERTY GROUP
 ELIZABETH DEMERITT HOUSE
 18 GARRISON AVENUE (SITE)
 DURHAM, NH 03824

| | | |
|----------|--------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | 1"=20' | C2 |

LEGEND

| | |
|-------|--------------------------|
| ○ | BOUND FOUND |
| ○ | IRON PIPE FOUND |
| (TYP) | TYPICAL |
| PPP | PROPOSED POROUS PAVEMENT |
| PTP | PROPOSED TRAD. PAVEMENT |
| V6C | VERTICAL GRANITE CURB |
| S6C | SLOPED GRANITE CURB |
| BC | BITUMINOUS CURB |
| --- | PROPERTY LINE |
| --- | EDGE OF PAVEMENT (EOP) |
| --- | EOP WITH CURB |
| --- | OVERHEAD UTILITIES |
| --- | WATER LINE |
| --- | SEWER LINE |
| --- | GAS LINE |
| --- | CHAINLINK FENCE |
| --- | GUARDRAIL |
| --- | EDGE OF WETLANDS |
| --- | UTILITY POLE |
| --- | LIGHT POLE |
| --- | WETLANDS |
| --- | SEWER MANHOLE |
| --- | CATCH BASIN |
| --- | SEWER CLEANOUT |
| --- | WATER VALVE |
| --- | TREE |
| --- | FEMA FLOODZONE X |

NOTES:

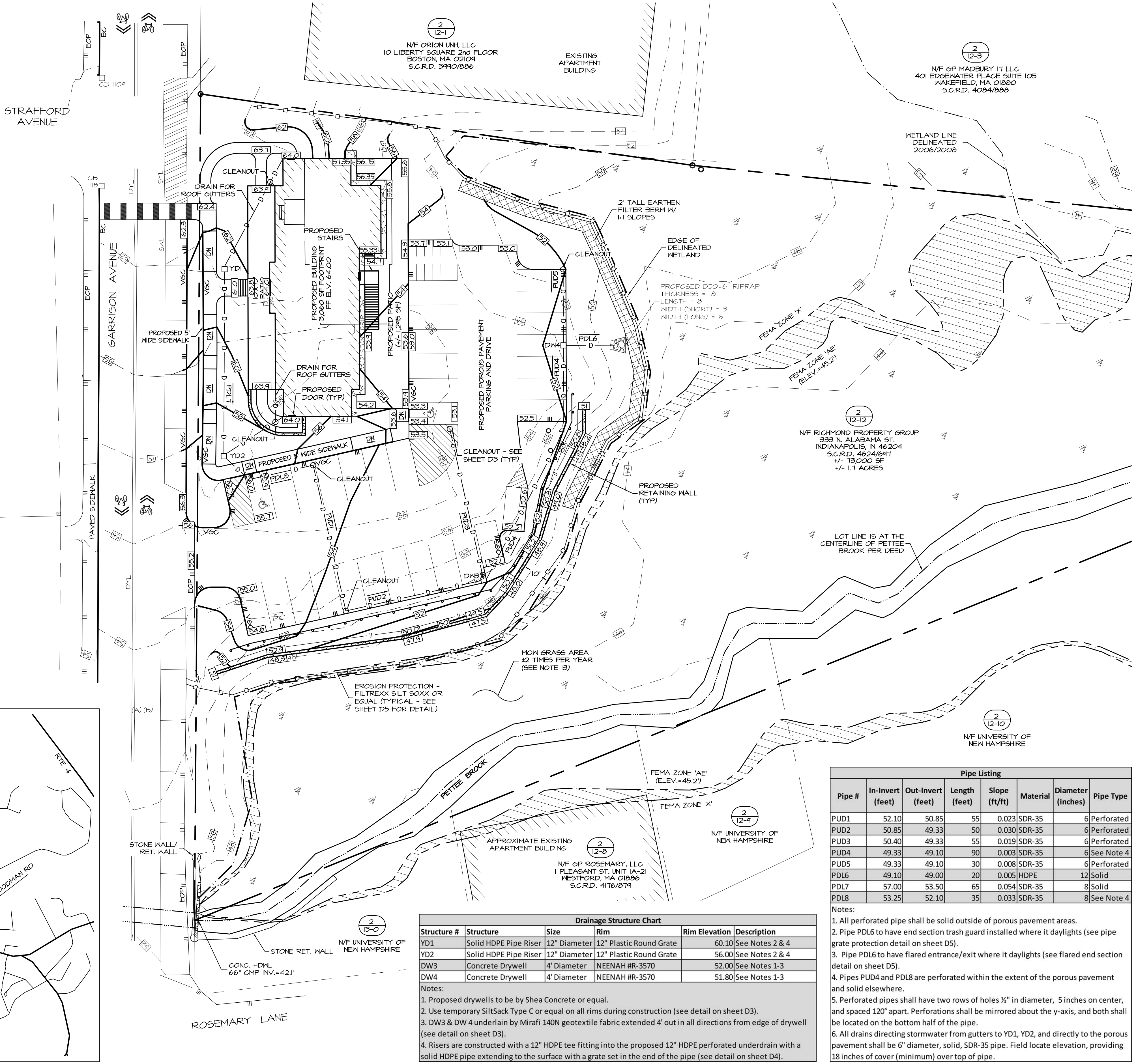
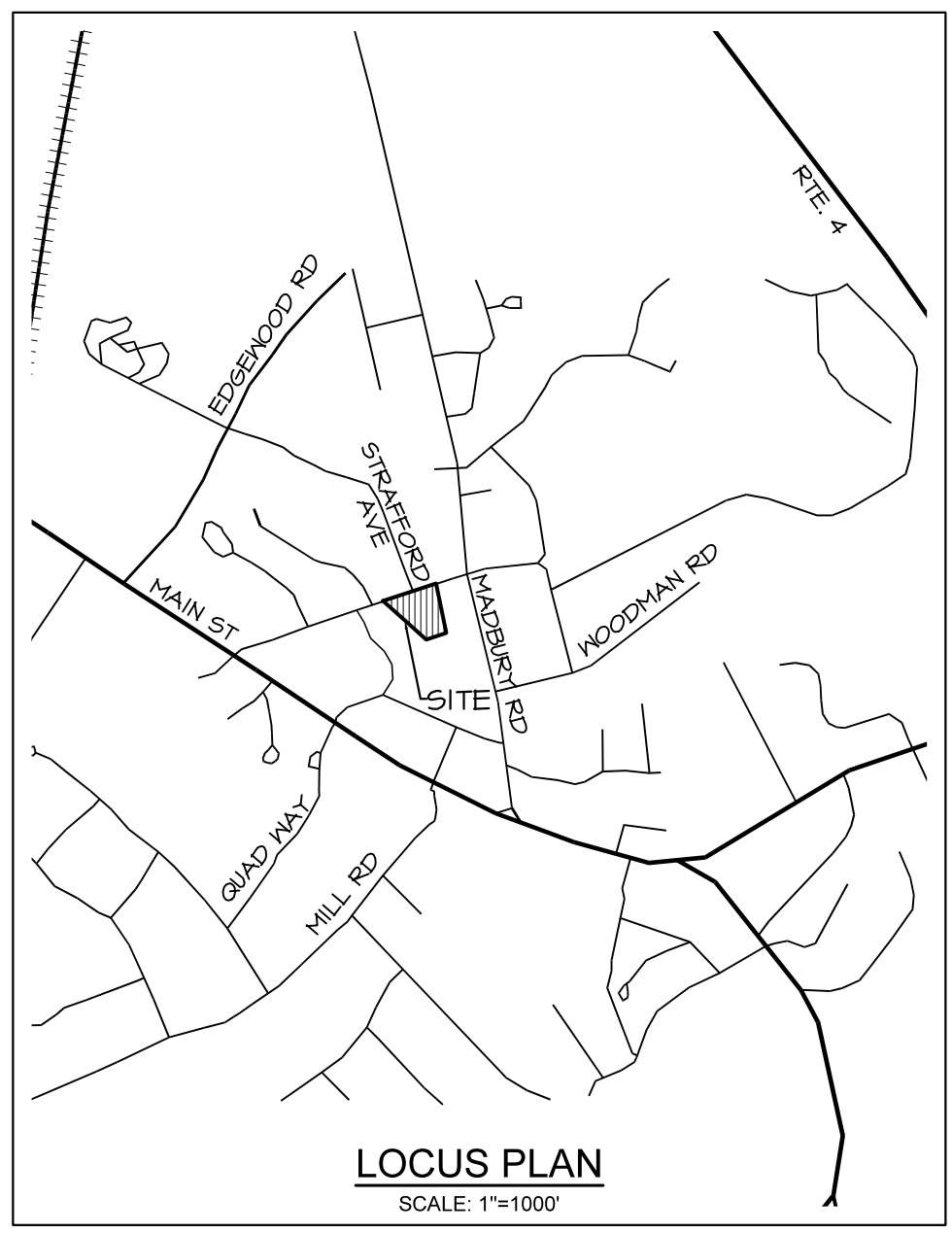
- OWNER OF RECORD: TAX MAP 2, LOT 12-12 RICHMOND PROPERTY GROUP 333 N. ALABAMA ST. INDIANAPOLIS, IN 46204 S.C.R.D. 4624/641
- THE INTENT OF THIS PLAN IS TO SHOW THE DRAINAGE STRUCTURES AND PROPOSED GRADING ASSOCIATED WITH THE SITE IMPROVEMENTS.
- PARCEL IS ZONED CENTRAL BUSINESS (CB) PER THE 2006 DURHAM ZONING DISTRICT MAP.
- A PORTION OF THE PARCEL IS IN A FLOOD HAZARD ZONE; REFERENCE FLOOD INSURANCE RATE MAP 3301C0301E, DATED SEPTEMBER 30, 2015.
- SURVEY FIELDWORK CONDUCTED BY DOUCET SURVEY, LLC IN AUGUST, 2014.
- SOILS AND WETLANDS WERE DELINEATED BY GZA GEOENVIRONMENTAL, INC. DURING AUGUST, 2014.
- PROPERTY TO BE SERVICED BY TOWN WATER AND SEWER.
- ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
- THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
- BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 12 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
- HOUSE ROOF GUTTERS OR DRIP EDGES DRAIN INTO POROUS PAVEMENT. ALL DOWNSPOUT LEADERS TO HAVE A LEADER ADAPTER/GAP INSTALLED TO ALLOW FOR OVERFLOW AT THE SURFACE.
- THE WETLAND MEADOW SHOULD BE MOWED APPROXIMATELY 2 TIMES PER YEAR TO PREVENT INVASIVE SPECIES FROM INHABITING WETLANDS.

REFERENCE PLANS:

- "PLAN OF LAND, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE FOR GAMMA THETA CORPORATION, GARRISON AVENUE, (NO TAX MAP)/LOT NUMBER ASSIGNED) DURHAM, NEW HAMPSHIRE" DATED JULY 11, 2014 BY DOUCET SURVEY, INC. S.C.R.D. PLAN 108-020.
- "EXISTING CONDITIONS PLAN OF 17 & 21 MADBURY ROAD FOR AG ARCHITECTS, PC" DATED MAY 11, 2006 BY DOUCET SURVEY, INC.
- "TOWN OF DURHAM SEWER EASEMENTS, PETTEE BROOK INTERCEPTOR" DATED NOVEMBER 1964 BY G.L. DAVIS & ASSOCIATES S.C.R.D. POCKET 4 FOLDER 4 PLAN 26.
- "RE-SUBDIVISION OF LAND IN DURHAM, NH PREPARED FOR THETA GAMMA OF DELTA ZETA HOUSE CORP." DATED AUGUST 4, 1980 BY JOHN W. DURGIN ASSOCIATES, INC. S.C.R.D. DRAWER 21, PLAN 86.
- "PLAN OF LAND FOR ERNEST CUTTER" DATED OCTOBER 1977 BY JOHN W. DURGIN ASSOCIATES, INC.
- "UNIVERSITY OF NEW HAMPSHIRE GARRISON AVENUE AREA" DATED SEPTEMBER 16, 1957 BY G.L. DAVIS & ASSOCIATES.

2
4-3
N/F ALPHA XI DELTA
NEW HAMPSHIRE LLC
C/O JESSICA KLOPPER
8702 FOUNDERS RD.
INDIANAPOLIS, IN 46226
S.C.R.D. 4621/611

2
4-4
N/F FALL LINE PROPERTIES INC.
52 MADBURY RD.
DURHAM, NH 03824
S.C.R.D. 3648/442



2
12-12
N/F RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204
S.C.R.D. 4624/641
± 13,000 SF
± 1.1 ACRES

2
12-8
N/F GP ROSEMARY, LLC
1 PLEASANT ST. UNIT 1A-2I
WESTFORD, MA 01086
S.C.R.D. 4176/814

Drainage Structure Chart

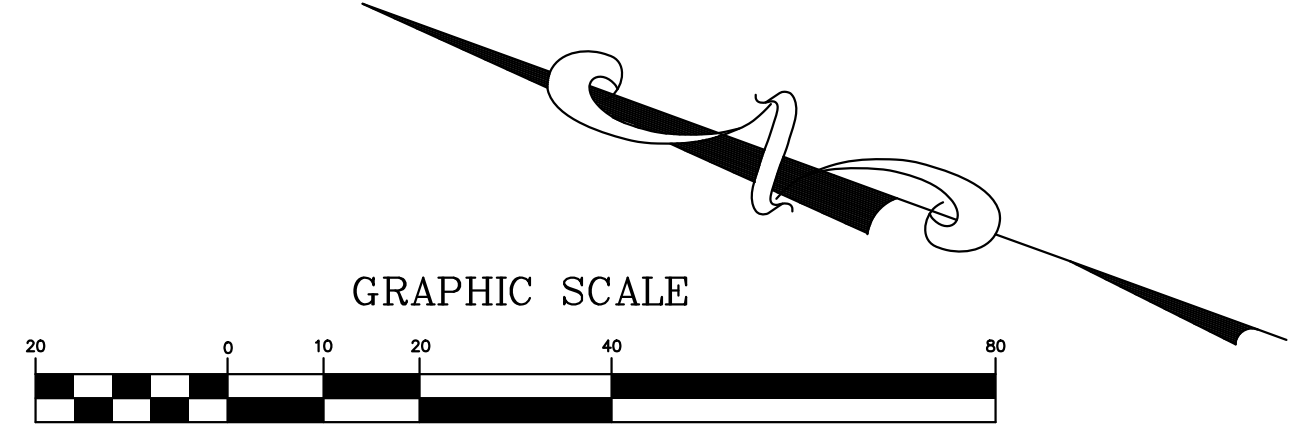
| Structure # | Structure | Size | Rim | Rim Elevation | Description |
|-------------|-----------------------|--------------|-------------------------|---------------|-----------------|
| YD1 | Solid HDPE Pipe Riser | 12" Diameter | 12" Plastic Round Grate | 60.10 | See Notes 2 & 4 |
| YD2 | Solid HDPE Pipe Riser | 12" Diameter | 12" Plastic Round Grate | 56.00 | See Notes 2 & 4 |
| DW3 | Concrete Drywell | 4' Diameter | NEENAH #R-3570 | 52.00 | See Notes 1-3 |
| DW4 | Concrete Drywell | 4' Diameter | NEENAH #R-3570 | 51.80 | See Notes 1-3 |

Notes:
 1. Proposed drywells to be by Shea Concrete or equal.
 2. Use temporary SiltSack Type C or equal on all rims during construction (see detail on sheet D3).
 3. DW3 & DW 4 underlain by Mirafai 140N geotextile fabric extended 4' out in all directions from edge of drywell (see detail on sheet D3).
 4. Risers are constructed with a 12" HDPE tee fitting into the proposed 12" HDPE perforated underdrain with a solid HDPE pipe extending to the surface with a grate set in the end of the pipe (see detail on sheet D4).

Pipe Listing

| Pipe # | In-Invert (feet) | Out-Invert (feet) | Length (feet) | Slope (ft/ft) | Material | Diameter (inches) | Pipe Type |
|--------|------------------|-------------------|---------------|---------------|----------|-------------------|------------|
| PUD1 | 52.10 | 50.85 | 55 | 0.023 | SDR-35 | 6 | Perforated |
| PUD2 | 50.85 | 49.33 | 50 | 0.030 | SDR-35 | 6 | Perforated |
| PUD3 | 50.40 | 49.33 | 55 | 0.019 | SDR-35 | 6 | Perforated |
| PUD4 | 49.33 | 49.10 | 90 | 0.003 | SDR-35 | 6 | See Note 4 |
| PUD5 | 49.33 | 49.10 | 30 | 0.008 | SDR-35 | 6 | Perforated |
| PDL6 | 49.10 | 49.00 | 20 | 0.005 | HDPE | 12 | Solid |
| PDL7 | 57.00 | 53.50 | 65 | 0.054 | SDR-35 | 8 | Solid |
| PDL8 | 53.25 | 52.10 | 35 | 0.033 | SDR-35 | 8 | See Note 4 |

- Notes:
- All perforated pipe shall be solid outside of porous pavement areas.
 - Pipe PDL6 to have end section trash guard installed where it daylight (see pipe grate protection detail on sheet D5).
 - Pipe PDL6 to have flared entrance/exit where it daylight (see flared end section detail on sheet D5).
 - Pipes PUD4 and PDL8 are perforated within the extent of the porous pavement and solid elsewhere.
 - Perforated pipes shall have two rows of holes 1/2" in diameter, 5 inches on center, and spaced 120" apart. Perforations shall be mirrored about the y-axis, and both shall be located on the bottom half of the pipe.
 - All drains directing stormwater from gutters to YD1, YD2, and directly to the porous pavement shall be 6" diameter, solid, SDR-35 pipe. Field locate elevation, providing 18 inches of cover (minimum) over top of pipe.



| | | | |
|--------------|-----------------------|--------------|------|
| 4 | SEPT 2, 2020 | FOR APPROVAL | |
| 3 | MAY 07, 2020 | FOR APPROVAL | |
| 1 | MAR 24, 2020 | FOR APPROVAL | |
| ISS. DATE: | DESCRIPTION OF ISSUE: | | CHK. |
| DRAWN: JJM | DESIGN: JJM | | |
| CHECKED: BDS | CHECKED: BDS | | |

EMANUEL ENGINEERING
Civil & structural consultants, land planners
118 PORTSMOUTH AVENUE, A202
STRATHAM, NH 03885
P: 603-772-4400 F: 603-772-4487
WWW.EMANUELENGINEERING.COM

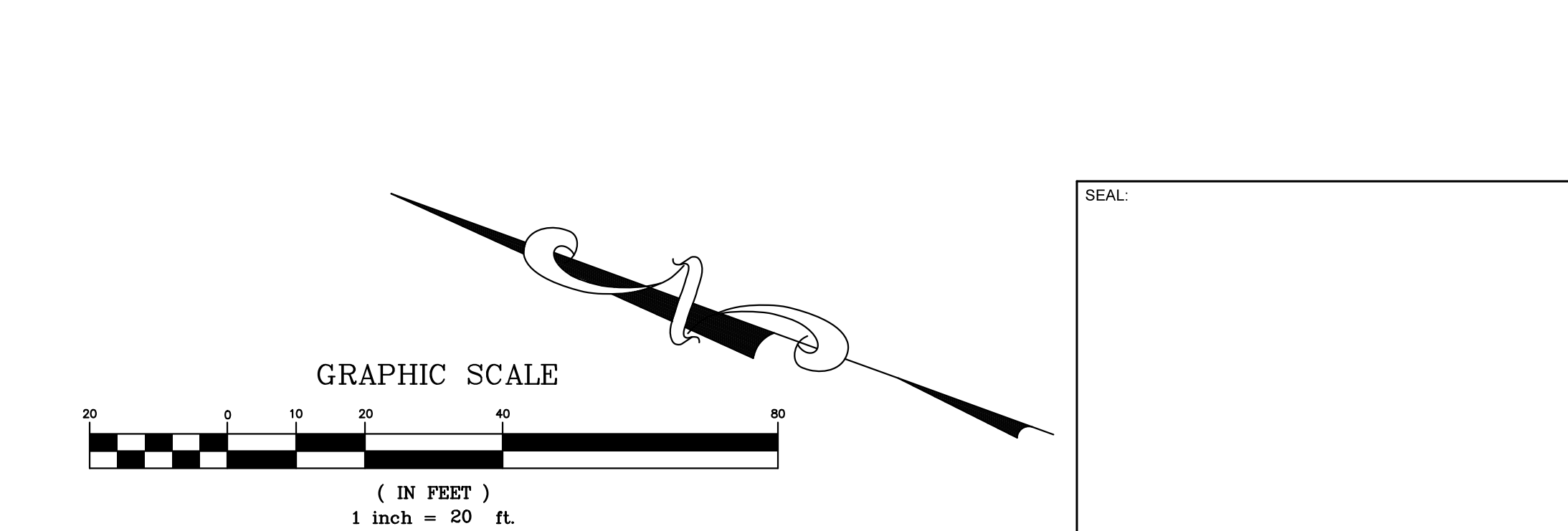
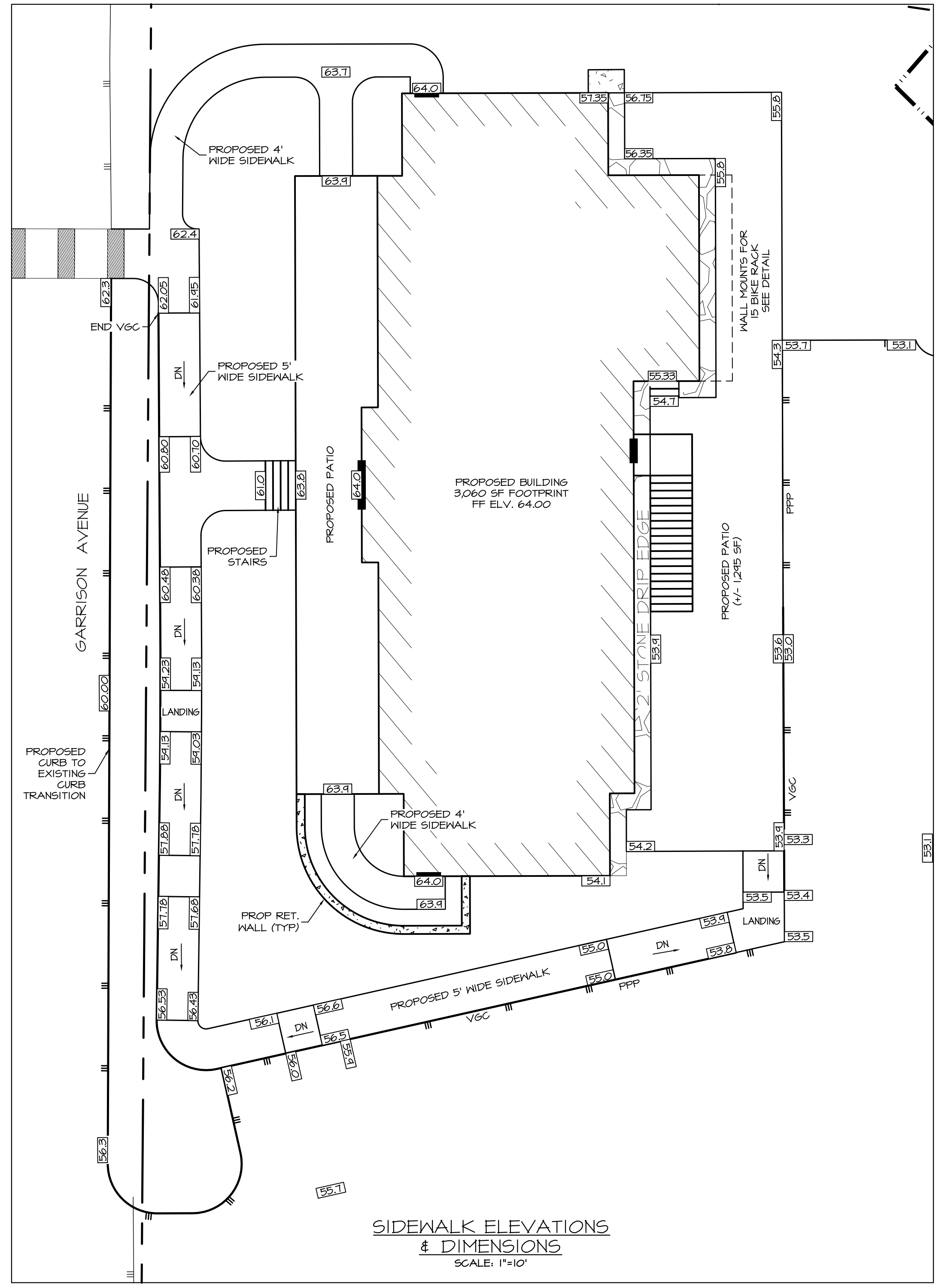
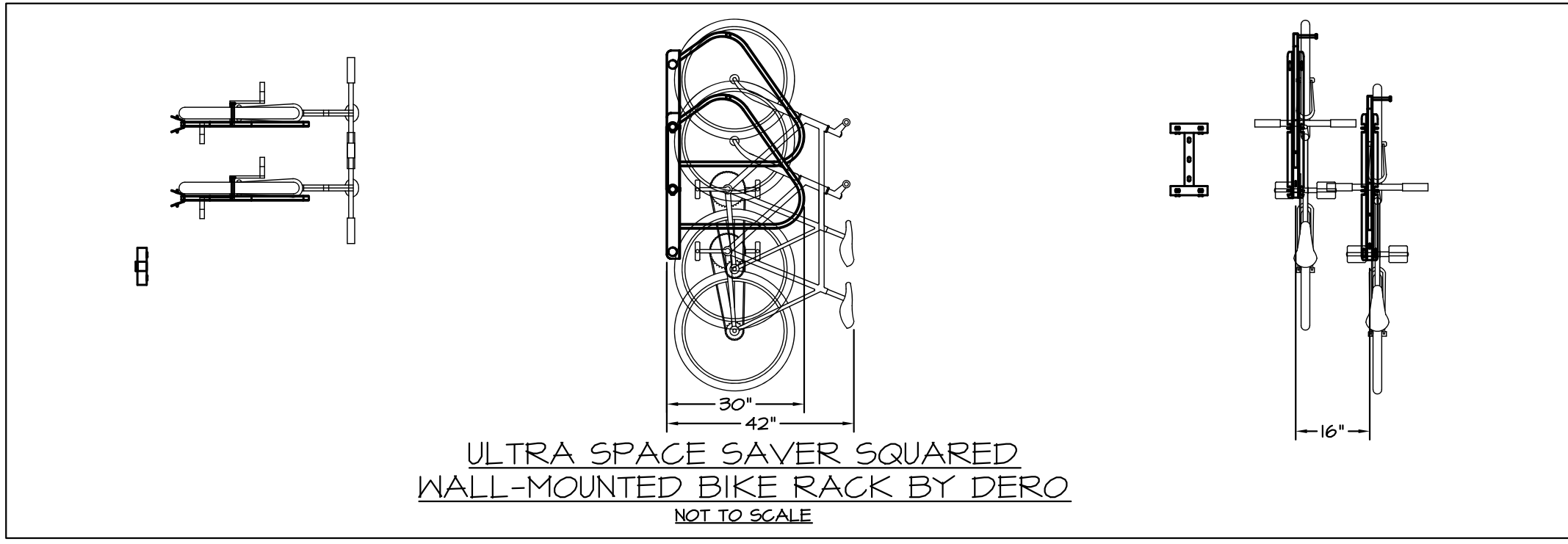
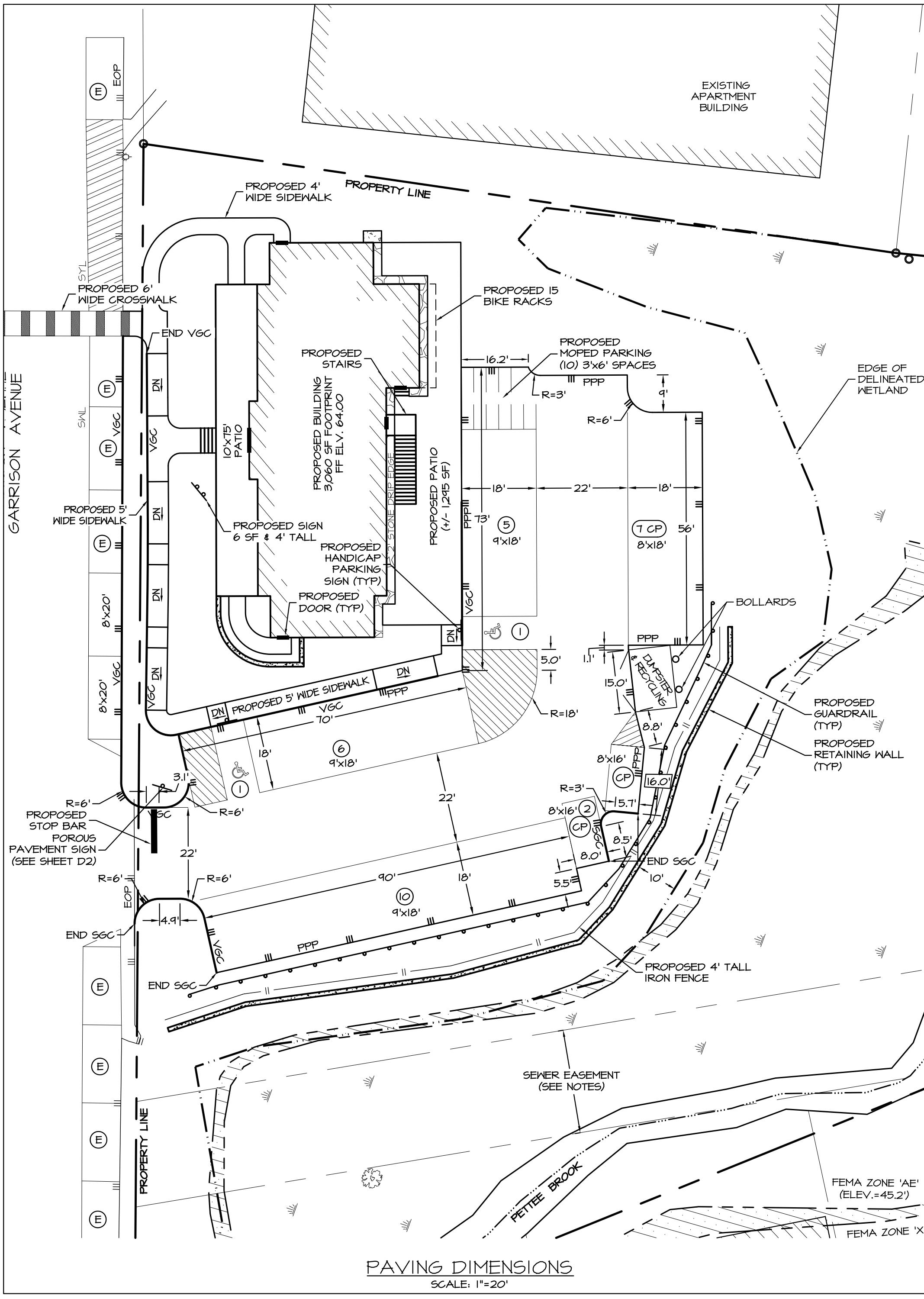
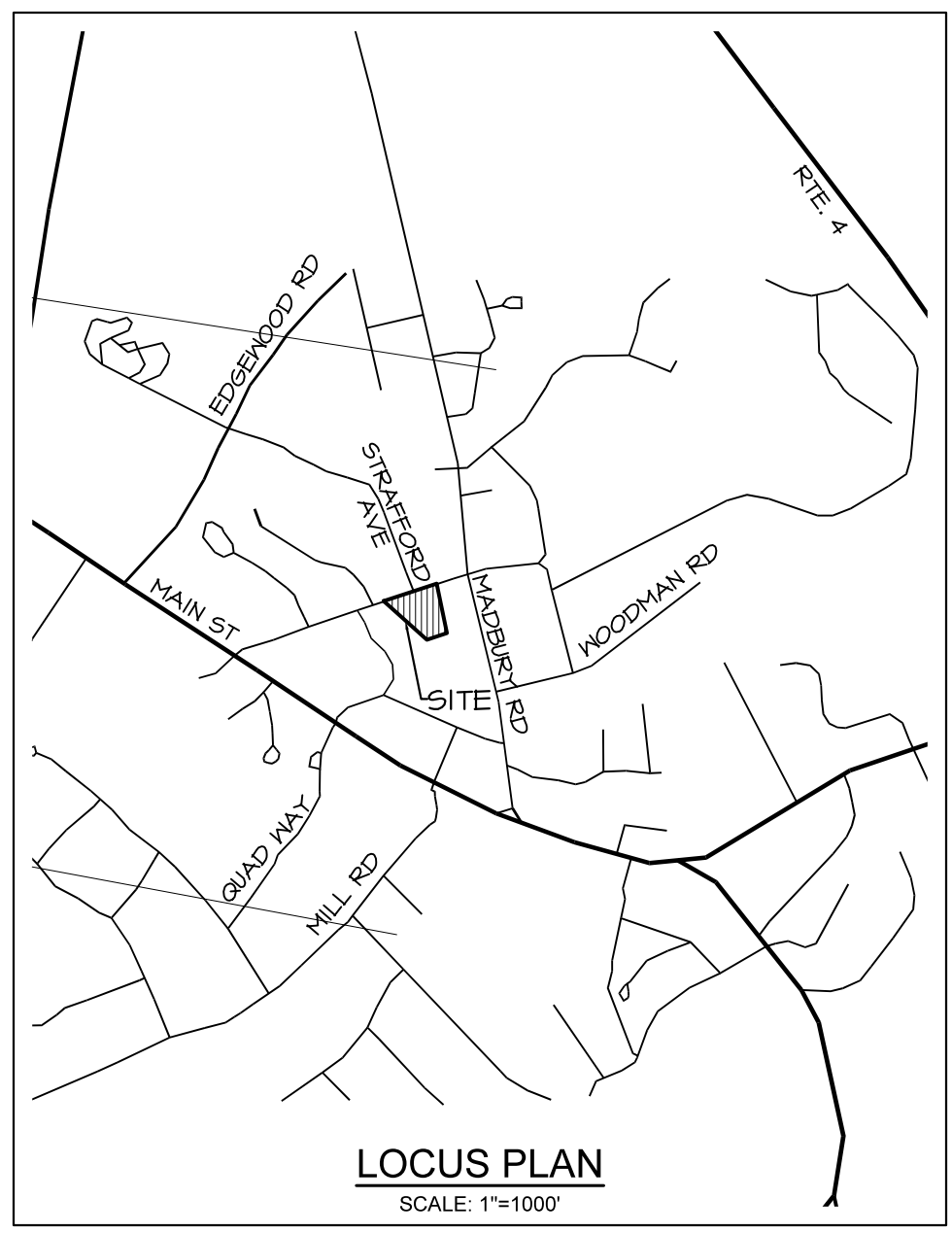
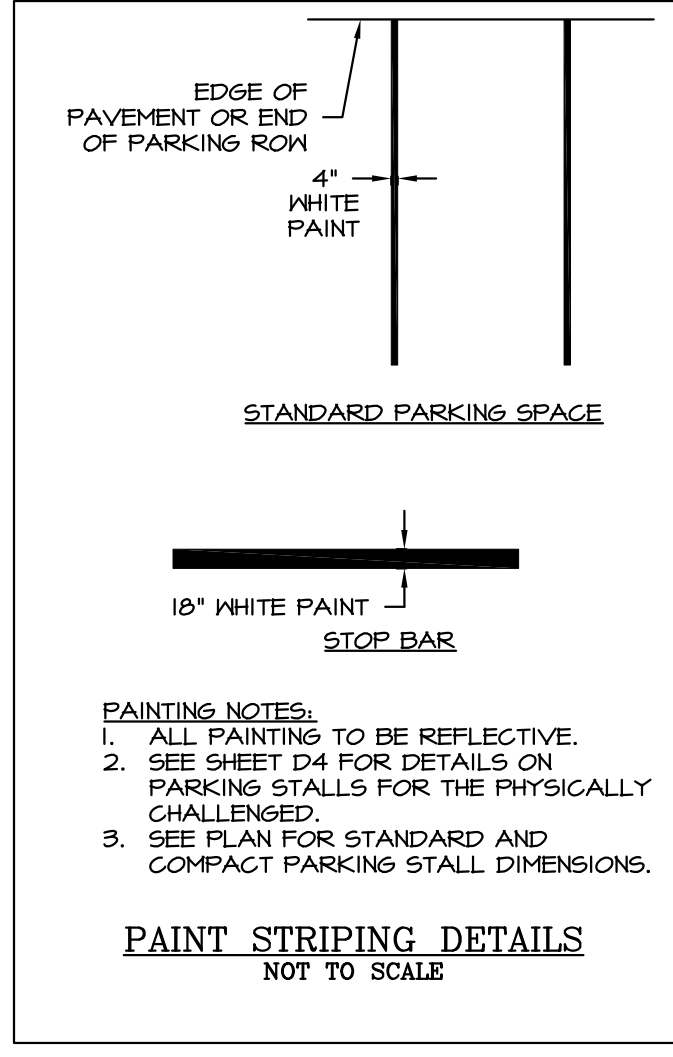
CLIENT:
RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204

TITLE:
GRADING & DRAINAGE PLAN
FOR
RICHMOND PROPERTY GROUP
ELIZABETH DEMERRIT HOUSE
18 GARRISON AVENUE (SITE)
DURHAM, NH 03824

PROJECT: 19-083 SCALE: 1"=20' SHEET: C3

LEGEND

| | | |
|-------|--------------------------|-----------------------|
| □ | BOUND FOUND | |
| ○ | IRON PIPE FOUND | |
| (TYP) | TYPICAL | |
| PPP | PROPOSED POROUS PAVEMENT | |
| PTP | PROPOSED TRAD. PAVEMENT | |
| VGC | VERTICAL GRANITE CURB | |
| SGC | SLOPED GRANITE CURB | |
| BC | BITUMINOUS CURB | |
| --- | PROPERTY LINE | |
| --- | EDGE OF PAVEMENT (EOP) | |
| --- | EOP WITH CURB | |
| --- | UNDERGROUND UTILITIES | |
| --- | OHE | OVERHEAD UTILITIES |
| --- | W | WATER LINE |
| --- | S | SEWER LINE |
| --- | GAS | GAS LINE |
| --- | --- | IRON FENCE |
| --- | --- | GUARD RAIL |
| --- | --- | EDGE OF WETLANDS |
| --- | --- | UTILITY POLE |
| --- | --- | LIGHT POLE |
| --- | --- | WETLANDS |
| --- | --- | BOLLARD |
| --- | --- | ELECTRICAL METER |
| --- | --- | SEWER MANHOLE |
| --- | --- | CATCH BASIN |
| --- | --- | SEWER CLEANOUT |
| --- | --- | WATER VALVE |
| --- | --- | TREE |
| --- | --- | PARKING SPACES IN ROW |
| --- | --- | COMPACT PARKING SPOT |
| --- | --- | LANDSCAPING |
| --- | --- | FEMA FLOOD ZONE X |



- NOTES:**
- OWNER OF RECORD:
TAX MAP 2, LOT 12-12
RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204
SGRD BK 4626 PG 641
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION, SIZE, PAVING, AND RADII OF THE DRIVEWAY, PARKING LOT, CURBING, AND SIDEWALKS WITHIN THE SITE.
 - PARCEL IS ZONED CENTRAL BUSINESS (CB) PER THE 2006 DURHAM ZONING DISTRICT MAP.
 - A PORTION OF THE PARCEL IS IN A FLOOD HAZARD ZONE, REFERENCE FLOOD INSURANCE RATE MAP 3301TC0318E, DATED SEPTEMBER 30, 2015.
 - SURVEY FIELDWORK CONDUCTED BY DOUCET SURVEY, LLC IN AUGUST, 2014.
 - SOILS AND WETLANDS WERE DELINEATED BY GZA GEOENVIRONMENTAL, INC. DURING AUGUST, 2014.
 - PROPERTY TO BE SERVICED BY TOWN WATER AND SEWER.
 - ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
 - THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
 - BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-800-DIG-SAFE.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.
- REFERENCE PLANS:**
- "PLAN OF LAND, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE FOR GAMMA THETA CORPORATION, GARRISON AVENUE, (NO TAX MAP/LOT NUMBER ASSIGNED) DURHAM, NEW HAMPSHIRE" DATED JULY 11, 2014 BY DOUCET SURVEY, INC. S.G.R.D. PLAN 108-020.
 - "EXISTING CONDITIONS PLAN OF 17 & 21 MADBURY ROAD FOR AG ARCHITECTS, PC" DATED MAY 11, 2006 BY DOUCET SURVEY, INC.
 - "TOWN OF DURHAM SEWER EASEMENTS, PETTEE BROOK INTERCEPTOR" DATED NOVEMBER 1964 BY G.L. DAVIS & ASSOCIATES S.G.R.D. POCKET 4 FOLDER 4 PLAN 26.
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 - "PLAN OF LAND FOR ERNEST CUTLER" DATED OCTOBER 1911 BY JOHN W. DURGIN ASSOCIATES, INC.
 - "UNIVERSITY OF NEW HAMPSHIRE GARRISON AVENUE AREA" DATED SEPTEMBER 16, 1957 BY G.L. DAVIS & ASSOCIATES.

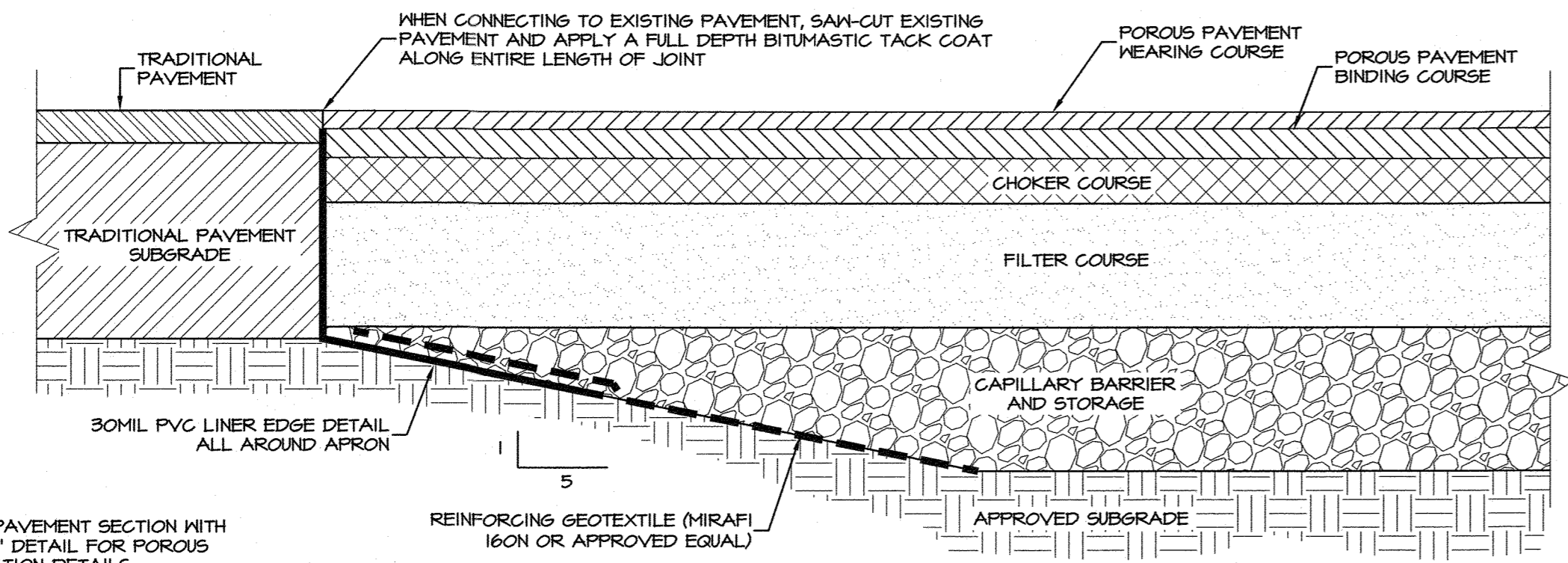
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|------------|-----------------------|--------------|------|
| 4 | SEPT 2, 2020 | FOR APPROVAL | |
| 3 | MAY 07, 2020 | FOR APPROVAL | |
| 1 | MAR 24, 2020 | FOR APPROVAL | |
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| CHECKED: | BDS | CHECKED: | BDS |

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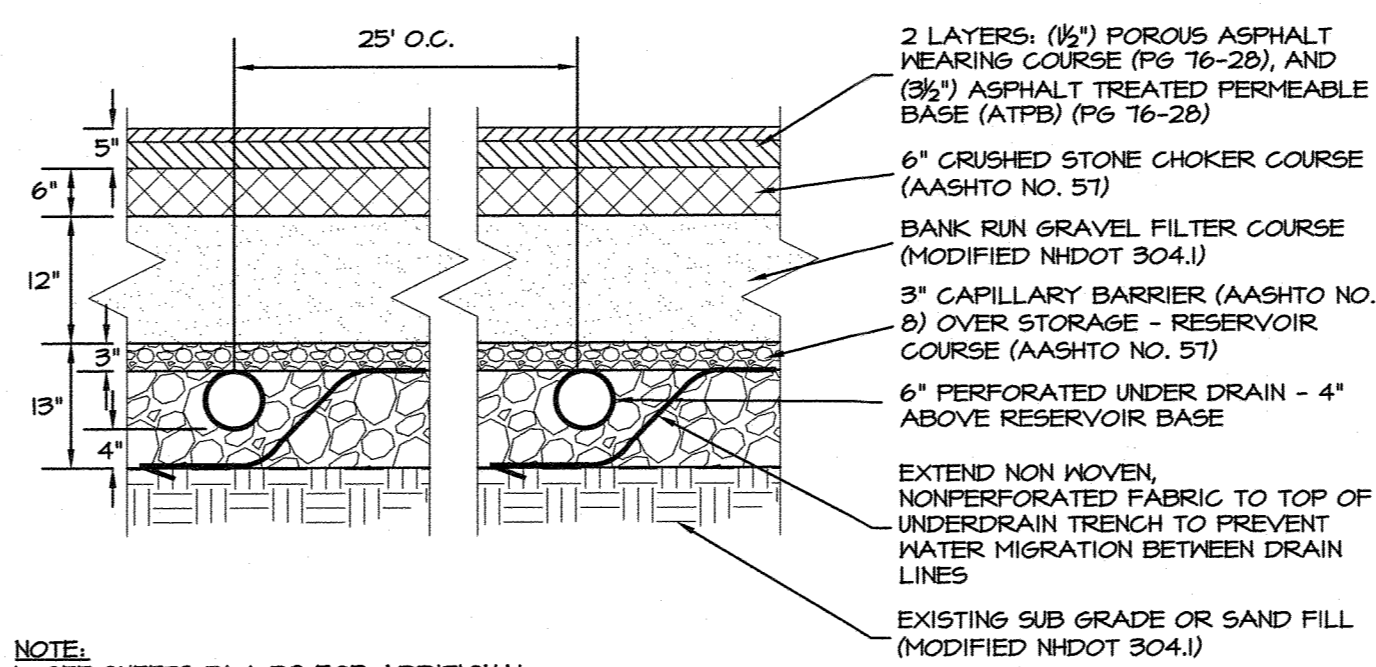
CLIENT:
RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204

TITLE:
PAVING & CURBING PLAN
FOR
RICHMOND PROPERTY GROUP
ELIZABETH DEMERRIT HOUSE
18 GARRISON AVENUE (SITE)
DURHAM, NH 03824

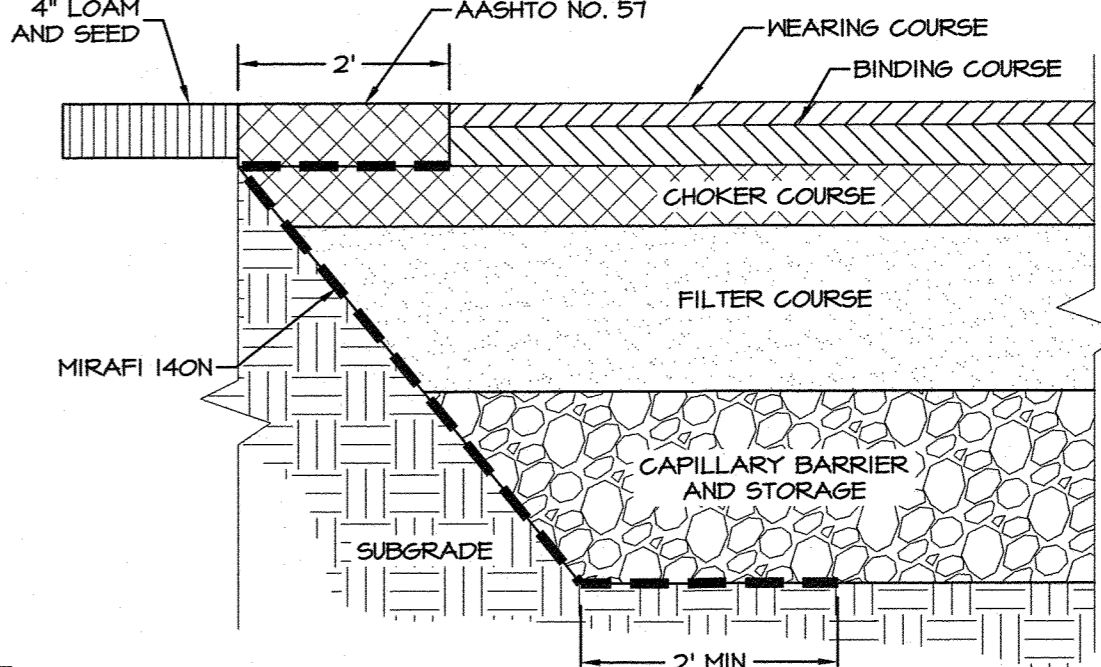
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|----------|----------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | AS SHOWN | C4 |



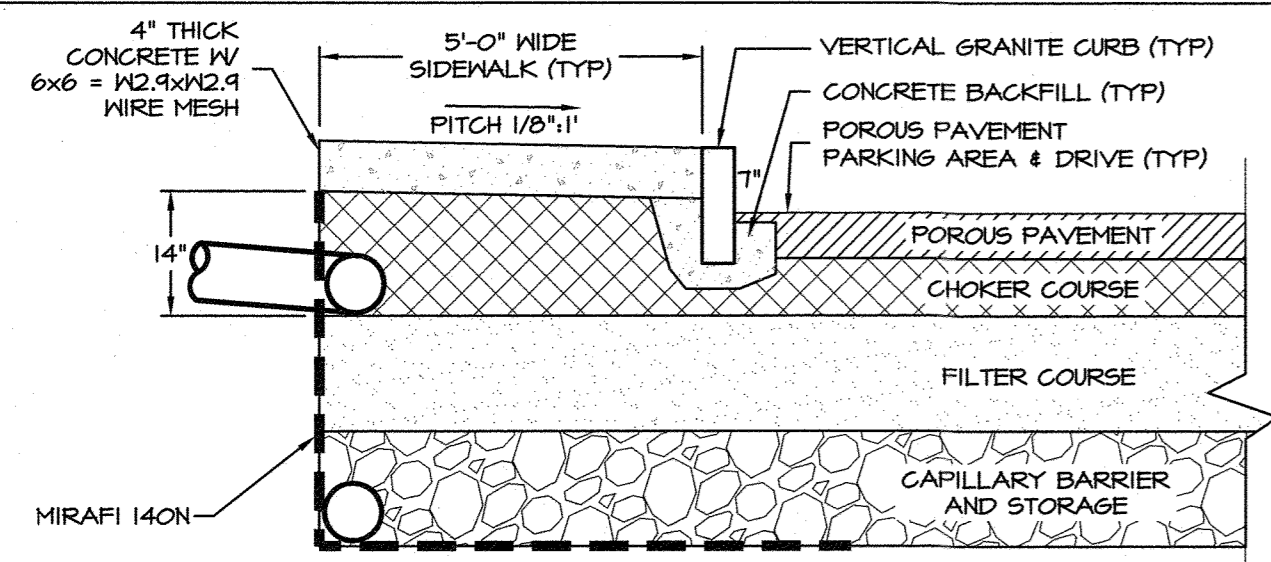
POROUS PAVEMENT TRANSITION TO TRADITIONAL PAVEMENT OR CONCRETE DETAIL
N.T.S.



POROUS PAVEMENT SECTION WITH UNDER DRAINS
N.T.S.

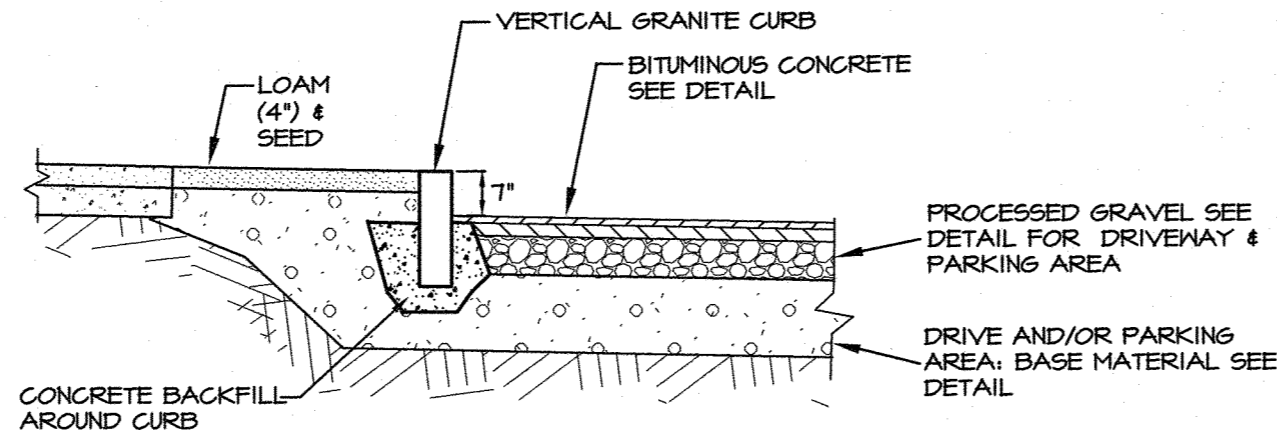


POROUS PAVEMENT EDGE DETAIL
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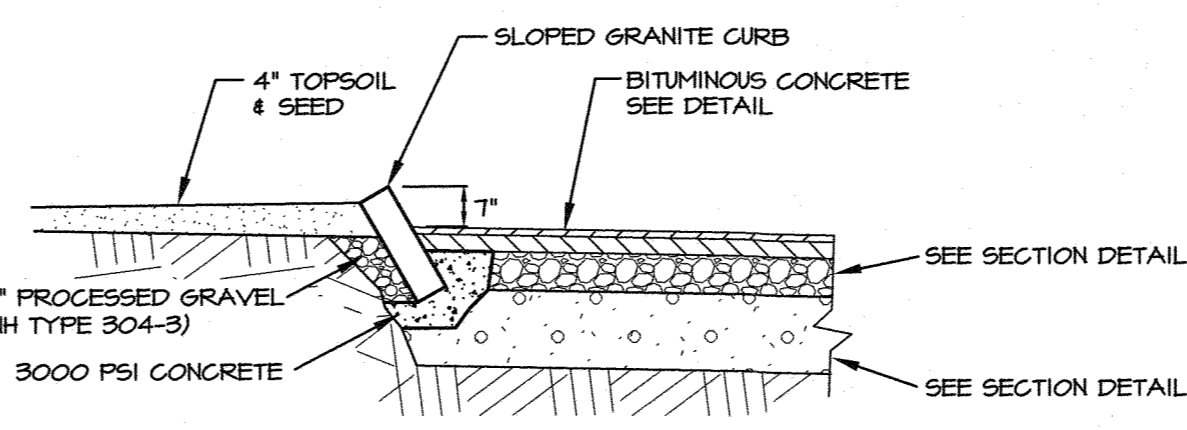


CONCRETE NOTES:
1. CONCRETE WORK SHALL CONFORM TO THE FOLLOWING NOTES AND SPECIFICATIONS.
* "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" - ACI 301-05.
* "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" - ACI 318-05.
2. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4000 PSI AFTER 28 DAYS WITH 5 - 1% AIR ENTRAINMENT, M.R. GRACE "ECLIPSE PLUS" SHRINKAGE ADMIXTURE, AND M.R. GRACE "DCI-5" CORROSION INHIBITOR, AND A MIDRANGE WATER REDUCER.
3. FINISH CONCRETE W/ BROOM FINISH, TOOLED CONTROL JOINTS @ 5'-0" MAX SPACING, AND TOOLED JOINT ALONG ALL EDGES OF SIDEWALK.
4. SLAB SHALL BE WATER CURED FOR A MINIMUM OF 5 DAYS USING WET BURLAP.

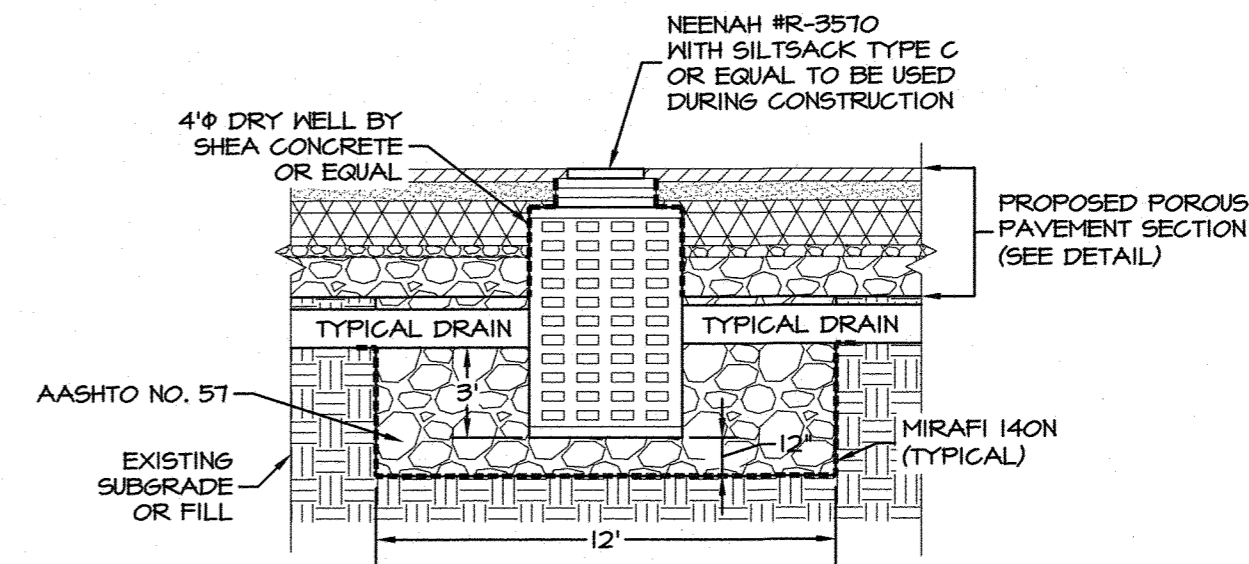
TYPICAL CONCRETE SIDEWALK DETAIL
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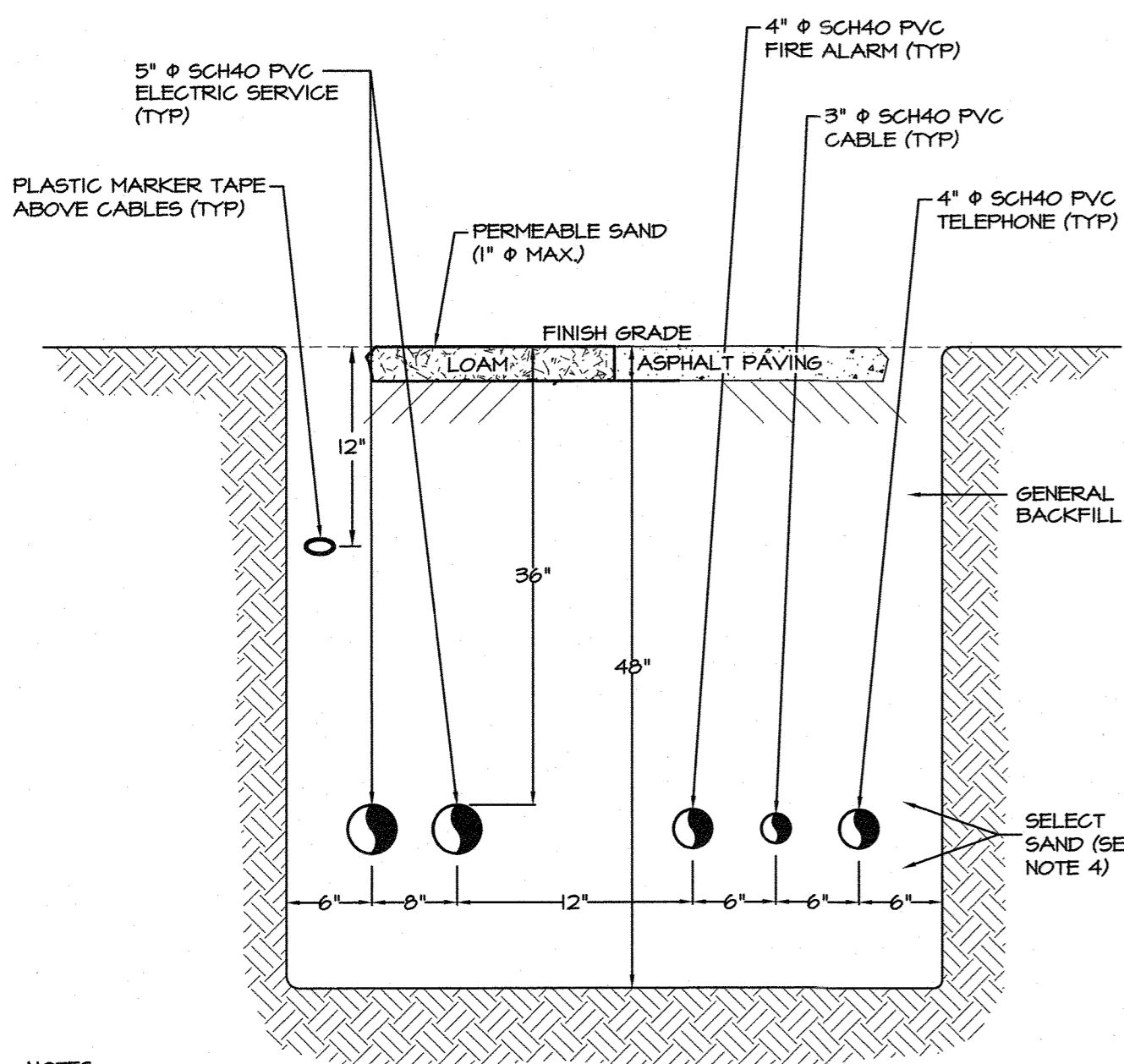
VERTICAL CURB DETAIL
N.T.S.



SLOPED CURB DETAIL
N.T.S.

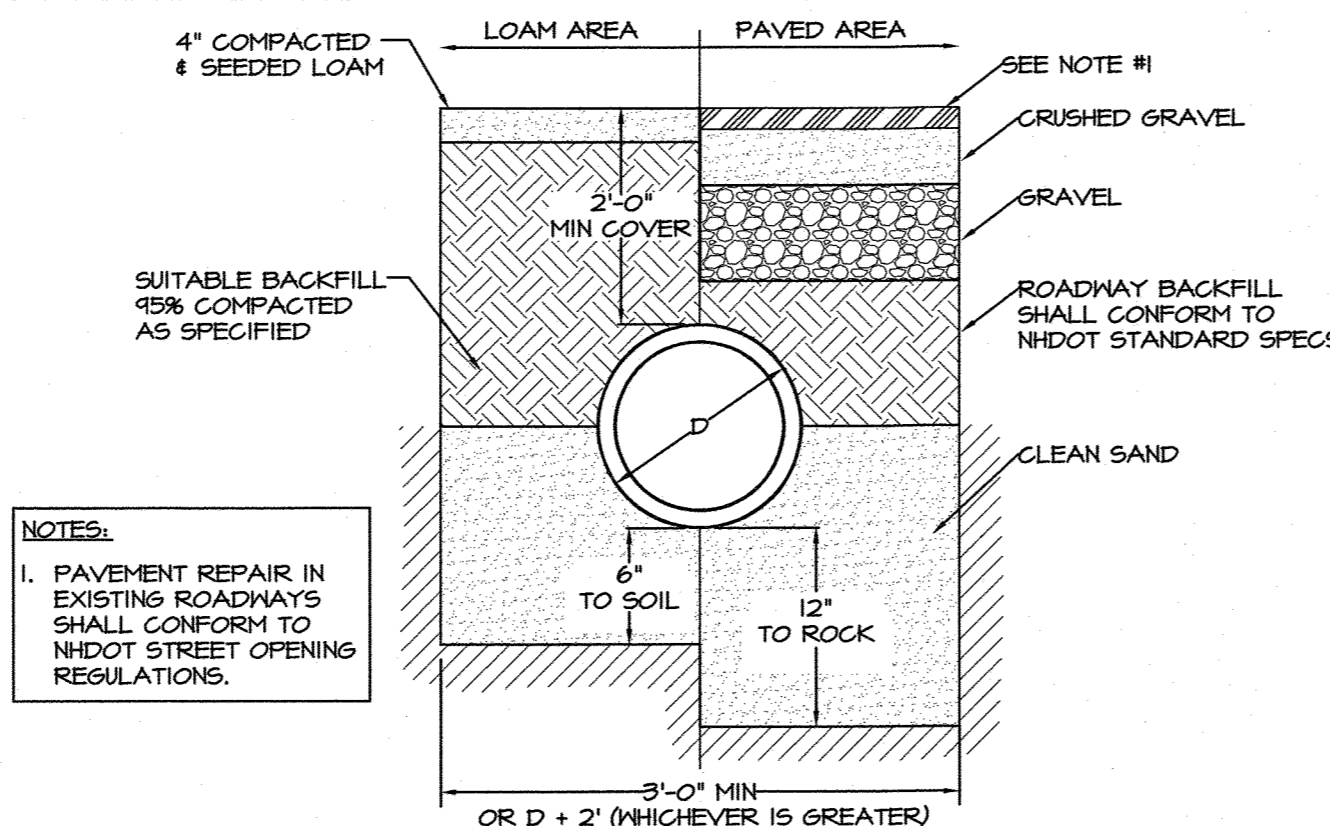


TYPICAL DRYWELL SECTION
N.T.S.



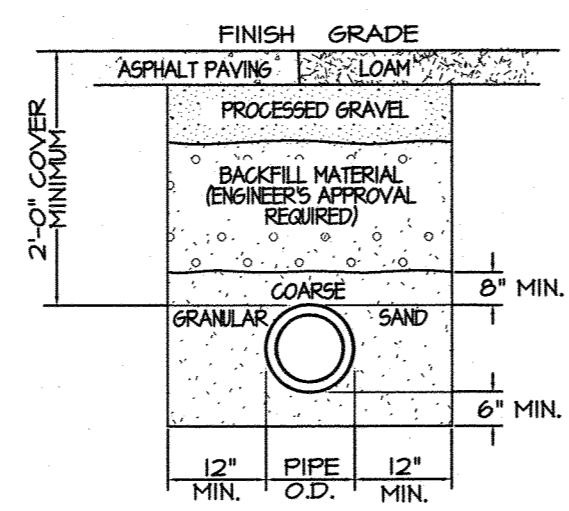
NOTES:
VERIFY NUMBER OF CONDUIT RUNS AND TYPES OF CONDUITS REQUIRED WITH ELECTRICAL AND MECHANICAL DESIGNERS BEFORE INSTALLATION
1. ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.
2. SERVICE BOX CONNECTIONS SHALL BE "FLUSH MOUNT" TO GREATEST EXTENT POSSIBLE AND LOCATED AT PROPERTY LINE CORNERS.
3. PIPE SIZES ARE MINIMUM SIZES TO BE INSTALLED.
4. BACKFILL SHALL BE SELECTED SAND, 100% SHALL PASS THROUGH 1/4" SCREEN, UP TO 1% MAY BE ROUNDED PEBBLES UP TO 3/8" IN SIZE.
5. TRENCH WIDTH IS TO BE 12" MINIMUM, DEPENDING ON NUMBER OF UTILITIES IN TRENCH, UNLESS CALL IS FLOWED IN.
6. UTILITIES ARE TO BE LOCATED IN ROAD SHOULDERS AND ROWS AS DETERMINED BY PLANS. ALL WORK TO BE COORDINATED WITH UTILITY COMPANIES.
7. THERE MAY BE MORE OR LESS SERVICES TO BE INSTALLED IN TRENCH VERIFY WITH UTILITIES PLAN.
8. VERIFY & REFER TO PROJECT ELECTRICAL DRAWINGS AND DETAILS FOR SPECIFICS.

TYPICAL UTILITY TRENCH DETAIL
N.T.S.



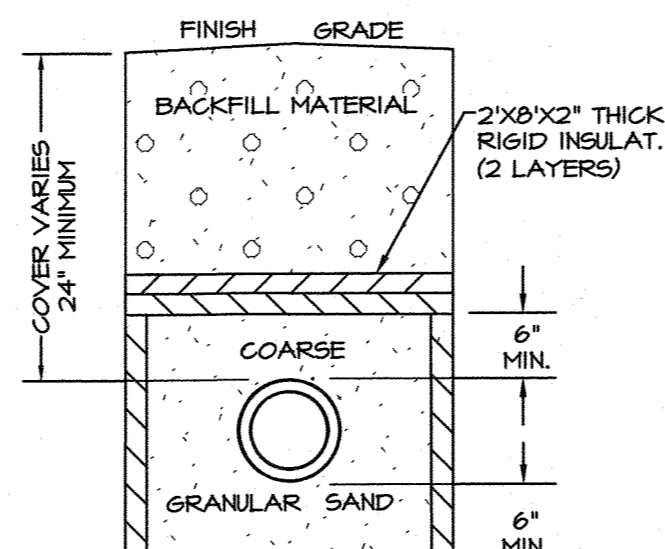
NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO NHDOT STREET OPENING REGULATIONS.

DRIVEWAY & PARKING LOT TYPICAL PIPE-RUN SECTION
N.T.S.



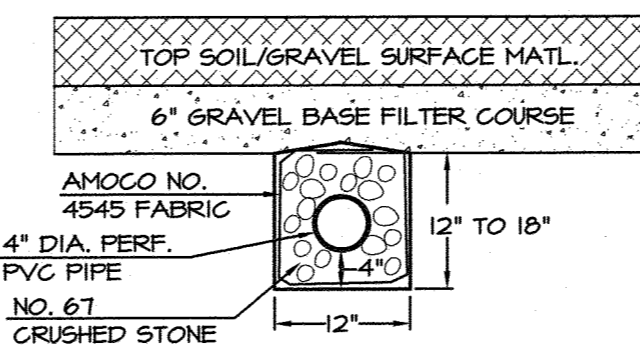
NOTES:
1. ALL CONSTRUCTION AND CONNECTIONS TO BE IN ACCORDANCE WITH LOCAL STANDARDS.
2. SEE MECHANICAL DRAWINGS FOR PIPE SIZES, SCHEDULES, AND PITCH REQUIREMENTS.

SEWER LINE INSTALLATION
N.T.S.



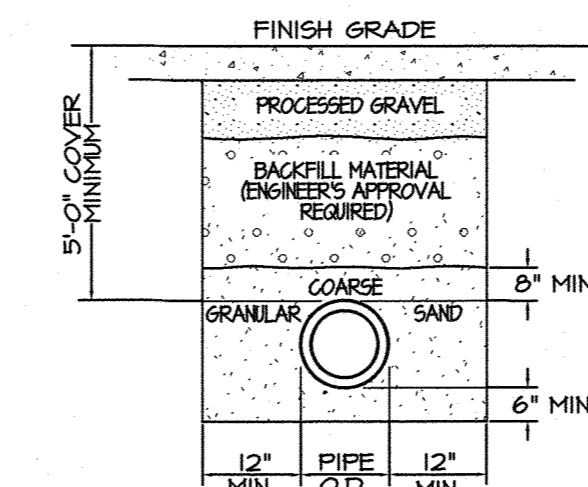
NOTES:
1. INSULATE SEWER OR FORCE MAIN WHERE PIPE WILL BE LESS THAN 6' BELOW FLOWED AREAS OR LESS THAN 4' BELOW AREAS RUNNING CROSS COUNTRY.
2. GAPS BETWEEN SECTIONS OF INSULATION TO BE COVERED WITH 2'x2'x2" PIECE OF INSULATION CENTERED OVER GAP.

PIPE INSTALLATION DETAIL
N.T.S.



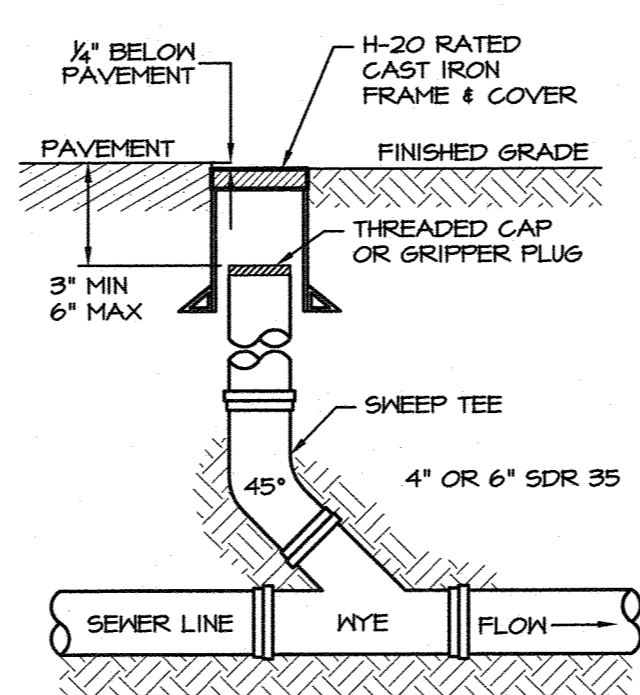
NOTE:
1. SUB DRAINS SHALL DRAIN TO DRAINAGE STRUCTURE OR TO DAYLIGHT.

SUBSOIL DRAIN DETAIL
N.T.S.

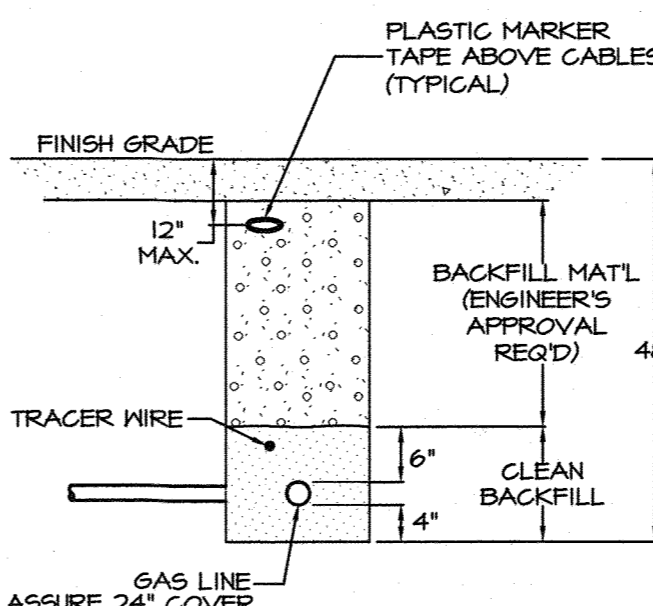


NOTE:
1. SEE SITE PLAN FOR PIPE SIZES AND SERVICES.

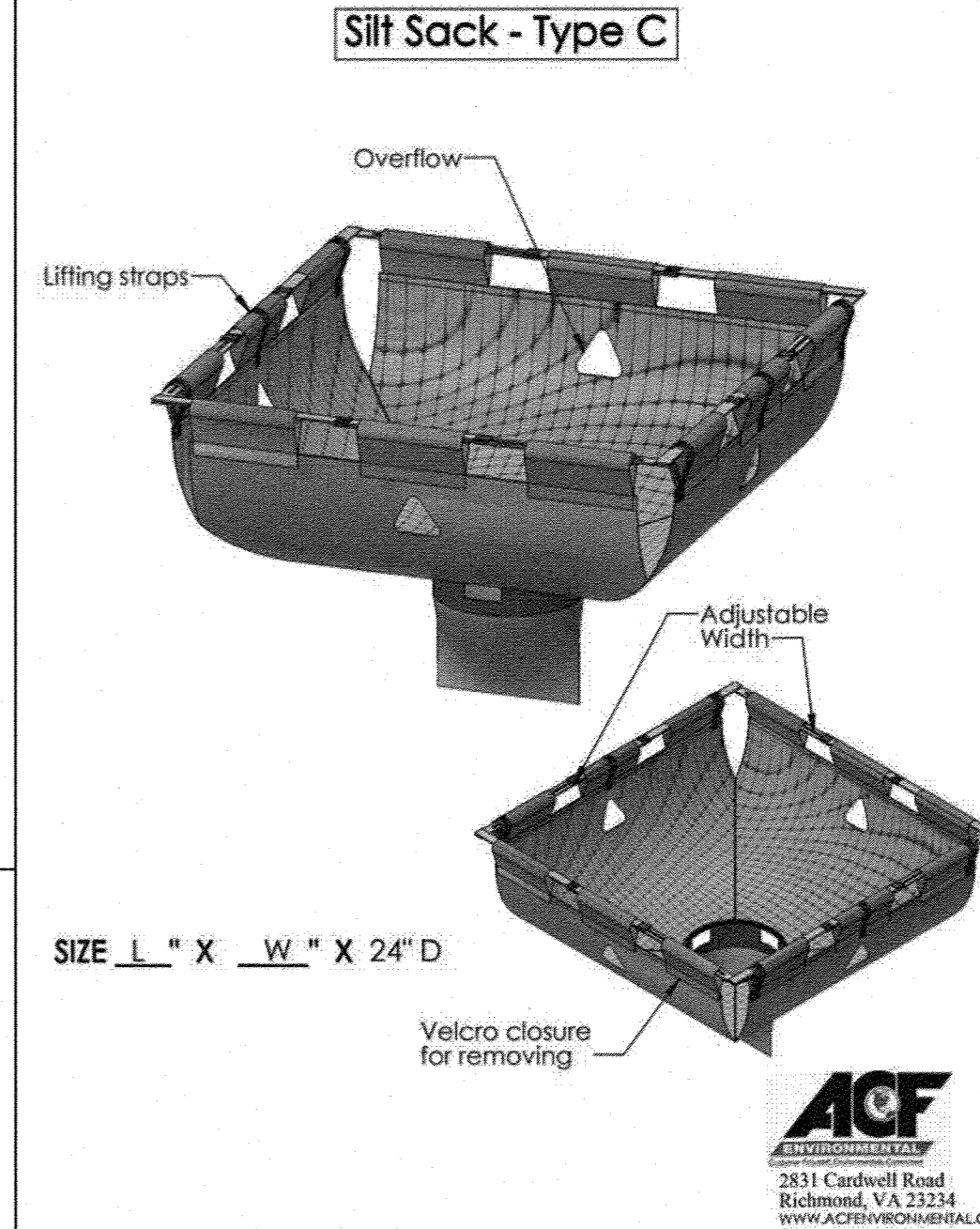
WATERLINE INSTALLATION
N.T.S.



SERVICE CLEANOUT DETAIL
N.T.S.



GAS LINE INSTALLATION
N.T.S.



Silt Sack - Type C

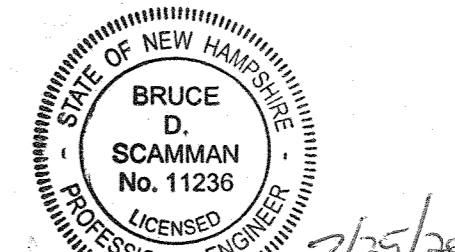
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| 2 | MAR 24, 2020 | FOR APPROVAL | |
| 1 | MAR 11, 2020 | PRELIMINARY | |
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| DRAWN: | MCV | DESIGN: | MCV |
| CHECKED: | BDS | CHECKED: | BDS |

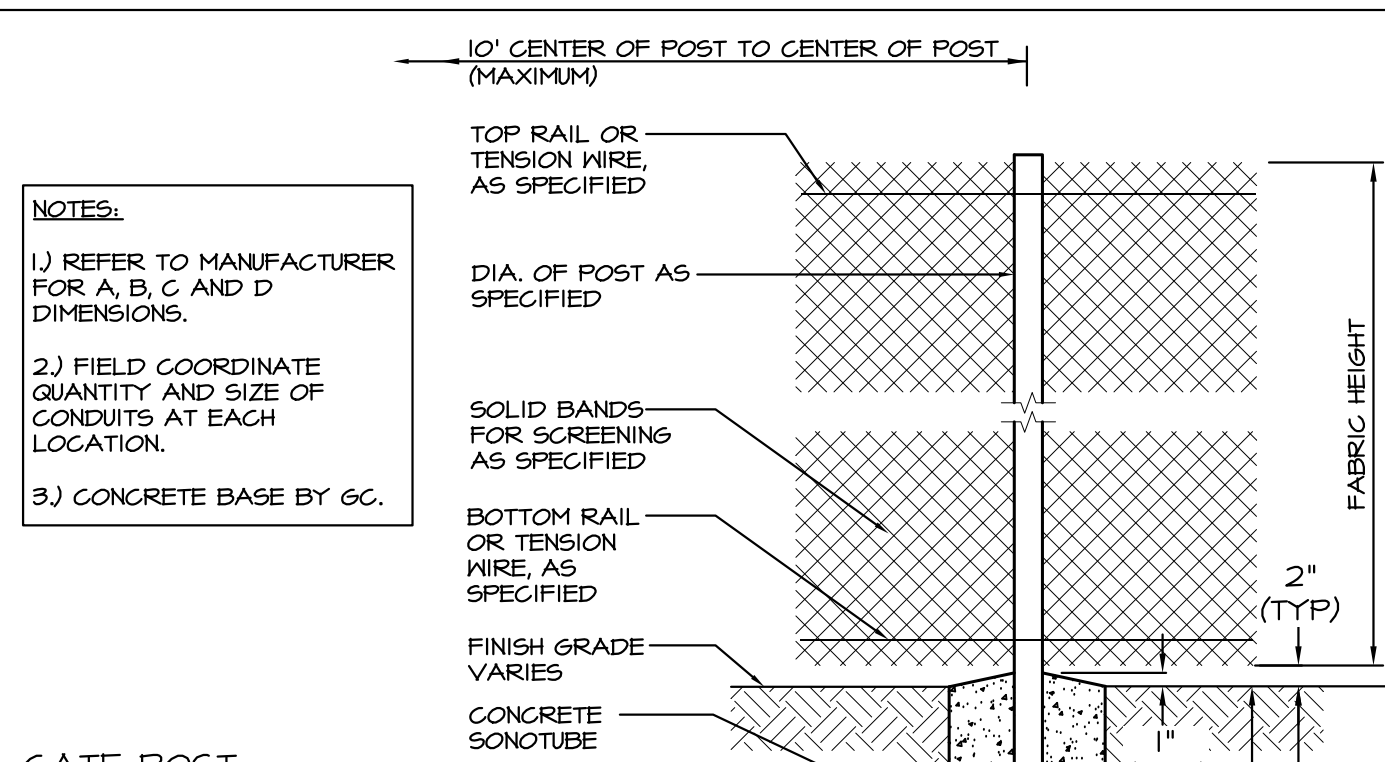


CLIENT:
RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204

TITLE:
DETAILS FOR RICHMOND PROPERTY GROUP
ELIZABETH DEMERITT HOUSE
18 GARRISON AVENUE (SITE)
DURHAM, NH 03824

| | | |
|----------|----------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | AS SHOWN | D3 |





GATE POST

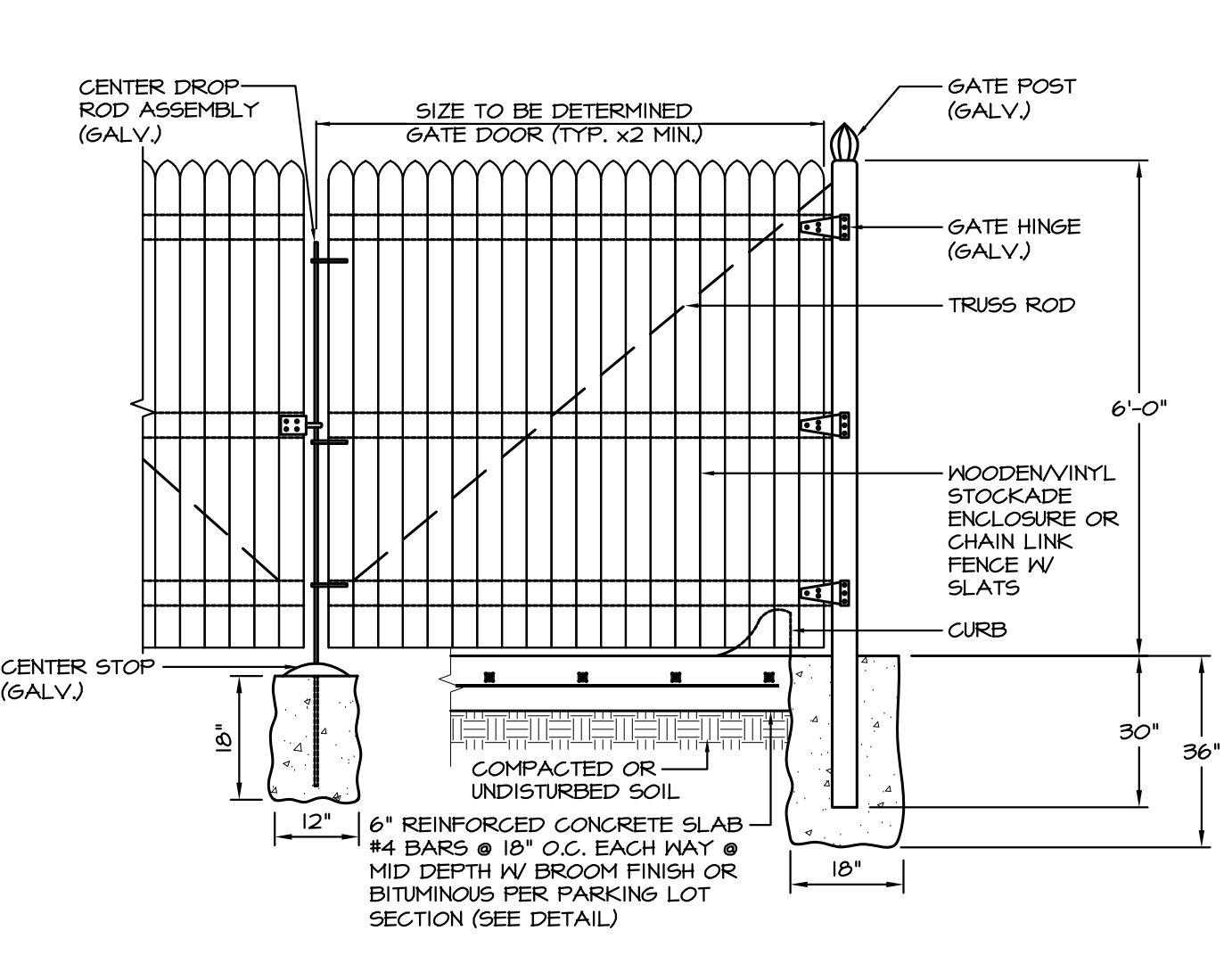
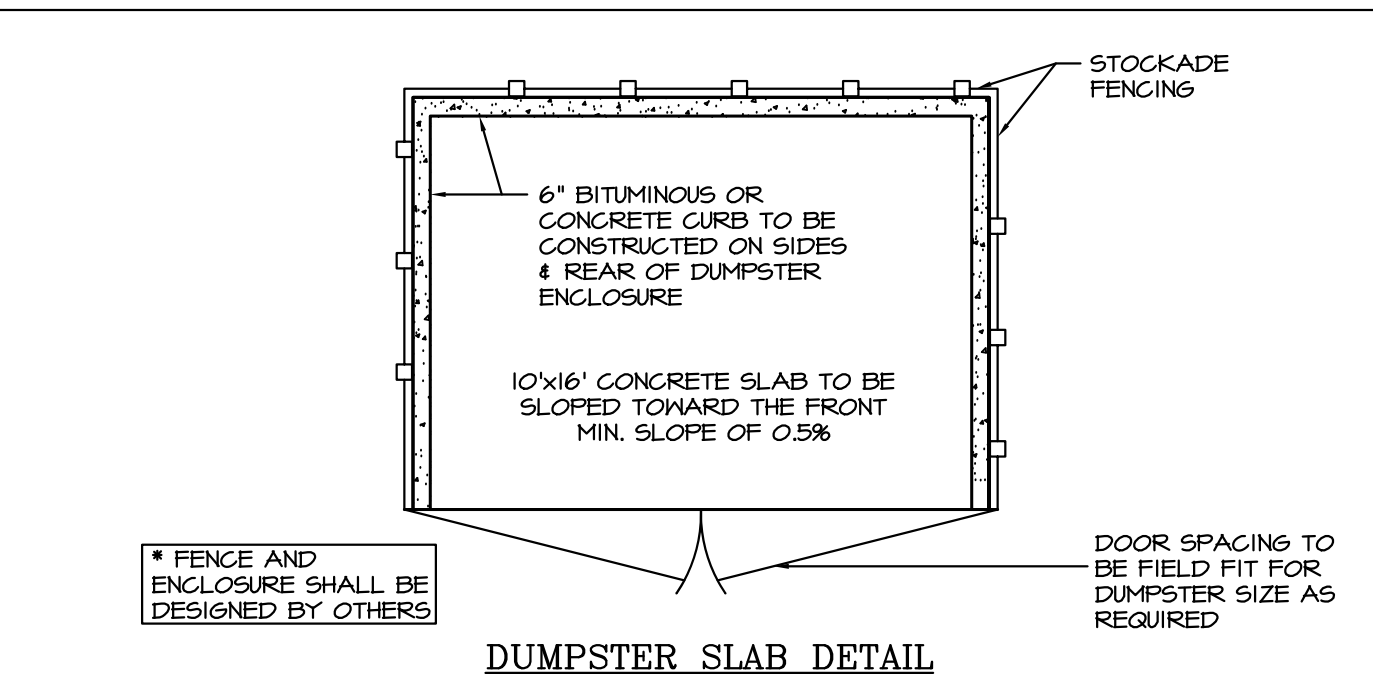
| GATE LEAF WIDTH | GATE POST (OD) | FABRIC HEIGHT | "A" DIA. | "B" DEPTH | "C" POST EMBED. |
|-----------------|----------------|---------------|----------|-----------|-----------------|
| 3' TO 6' | 2.875" | 3' TO 5' | 12" | 38" | 36" |
| | | 6' TO 9' | 14" | 42" | 40" |
| | | 10' TO 12' | 16" | 46" | 44" |
| 7' TO 12' | 4.000" | 3' TO 5' | 14" | 38" | 36" |
| | | 6' TO 9' | 16" | 42" | 40" |
| | | 10' TO 12' | 18" | 46" | 44" |
| 13' | 6.625" | 8'-0" | 16" | 42" | 40" |

LINE AND TERMINAL POSTS

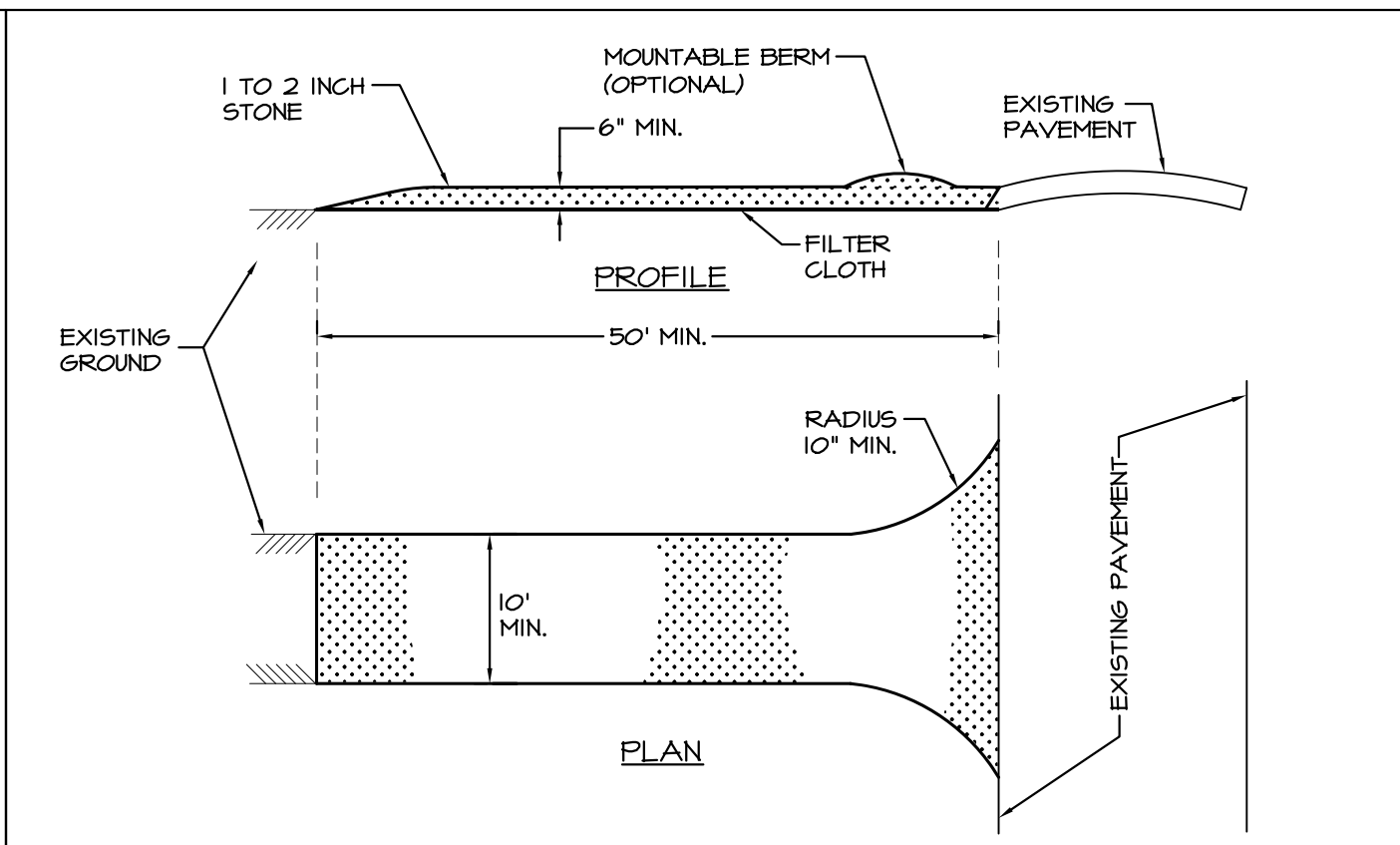
| FABRIC HEIGHT | TYPE POST | "A" DIA. | "B" DEPTH | "C" POST EMBEDMENT |
|------------------|-----------|----------|-----------|--------------------|
| 3'-0" TO 4'-0" | LINE | 6" | 26" | 24" |
| | TERMINAL | 10" | 32" | 30" |
| 5'-0" | LINE | 8" | 32" | 30" |
| | TERMINAL | 10" | 32" | 30" |
| 6'-0" TO 9'-0" | LINE | 12" | 38" | 36" |
| | TERMINAL | 12" | 38" | 36" |
| 10'-0" TO 12'-0" | LINE | 18" | 38" | 36" |
| | TERMINAL | 18" | 38" | 36" |
| 13'-0" TO 18'-0" | LINE | 24" | 42" | 40" |
| | TERMINAL | 24" | 42" | 40" |

NOTE: TERMINAL POSTS INCLUDE END, CORNER, AND FULL POSTS

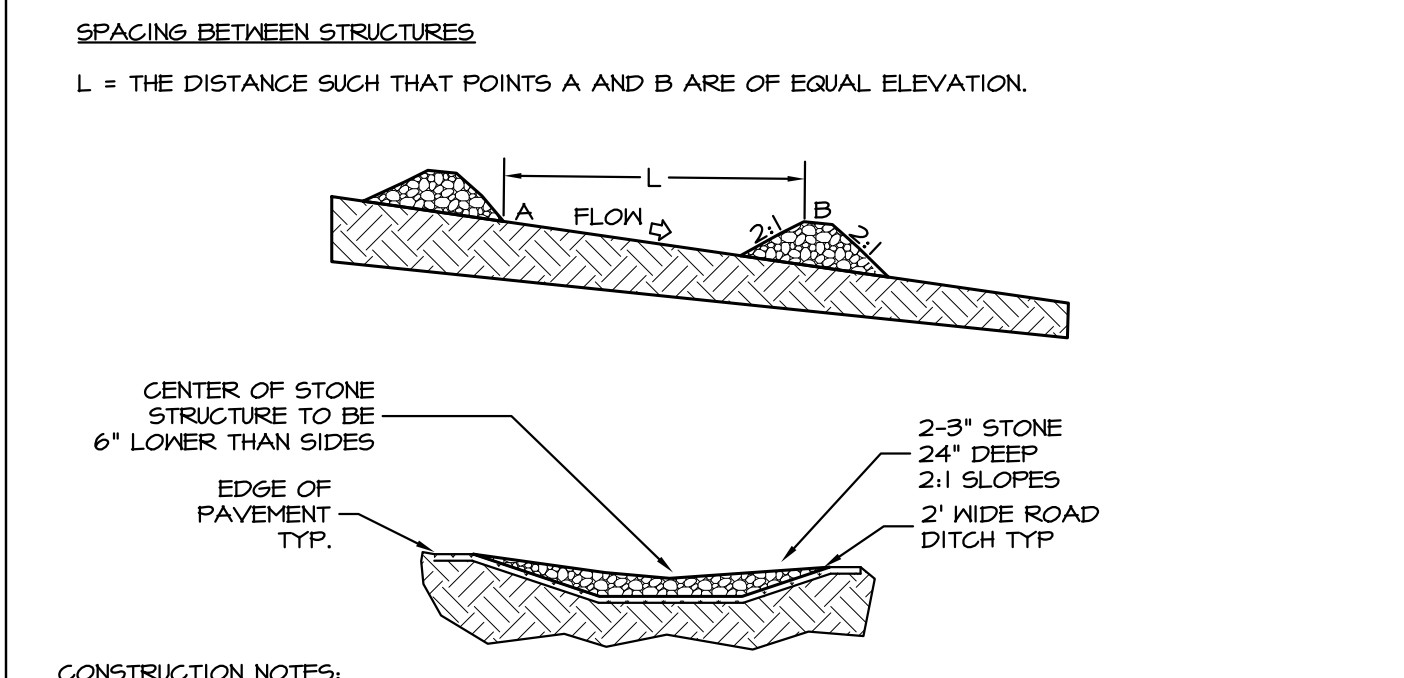
CHAIN LINK FENCE FOUNDATION
N.T.S.



STOCKADE DUMPSTER ENCLOSURE DETAIL
N.T.S.

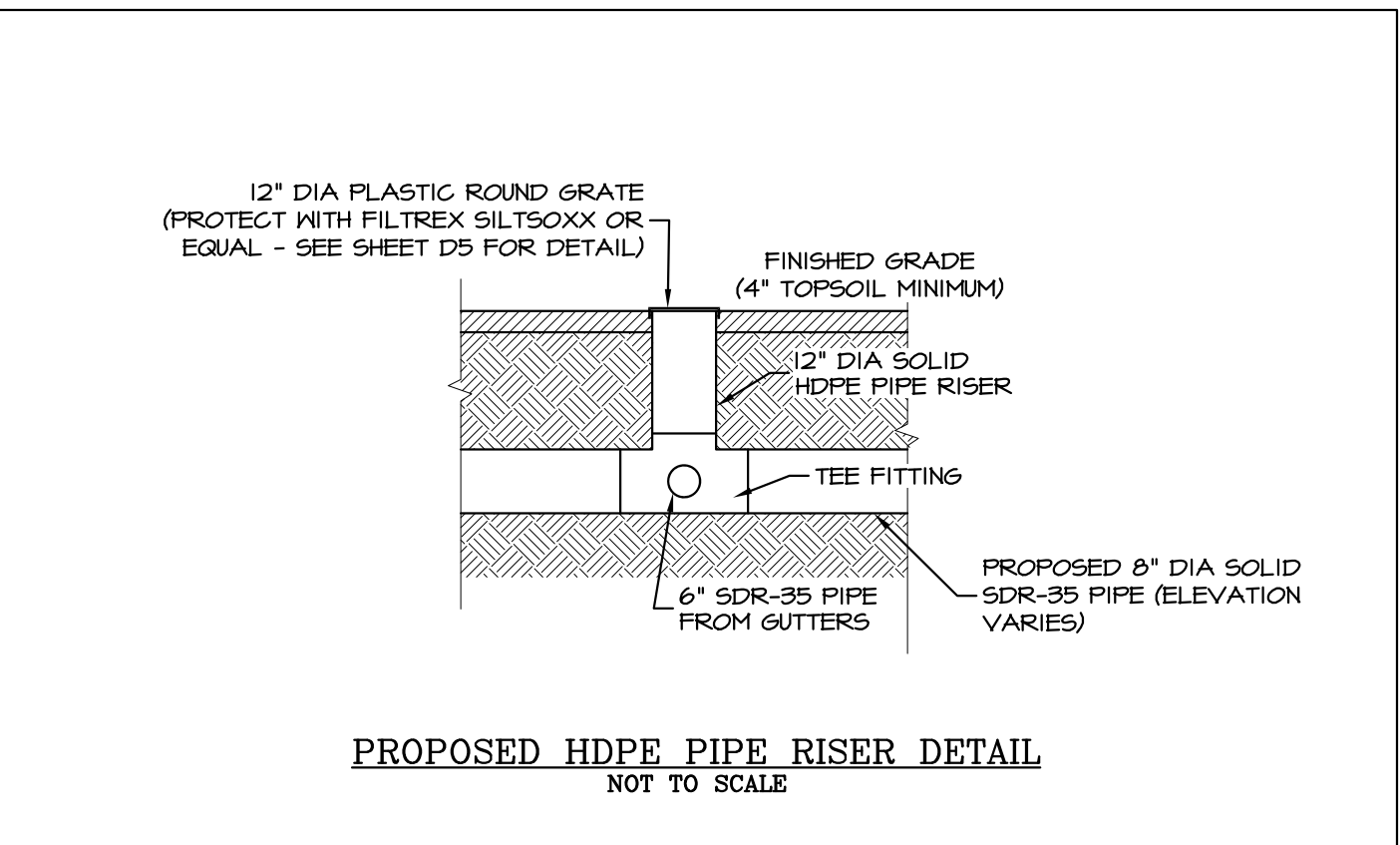


STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

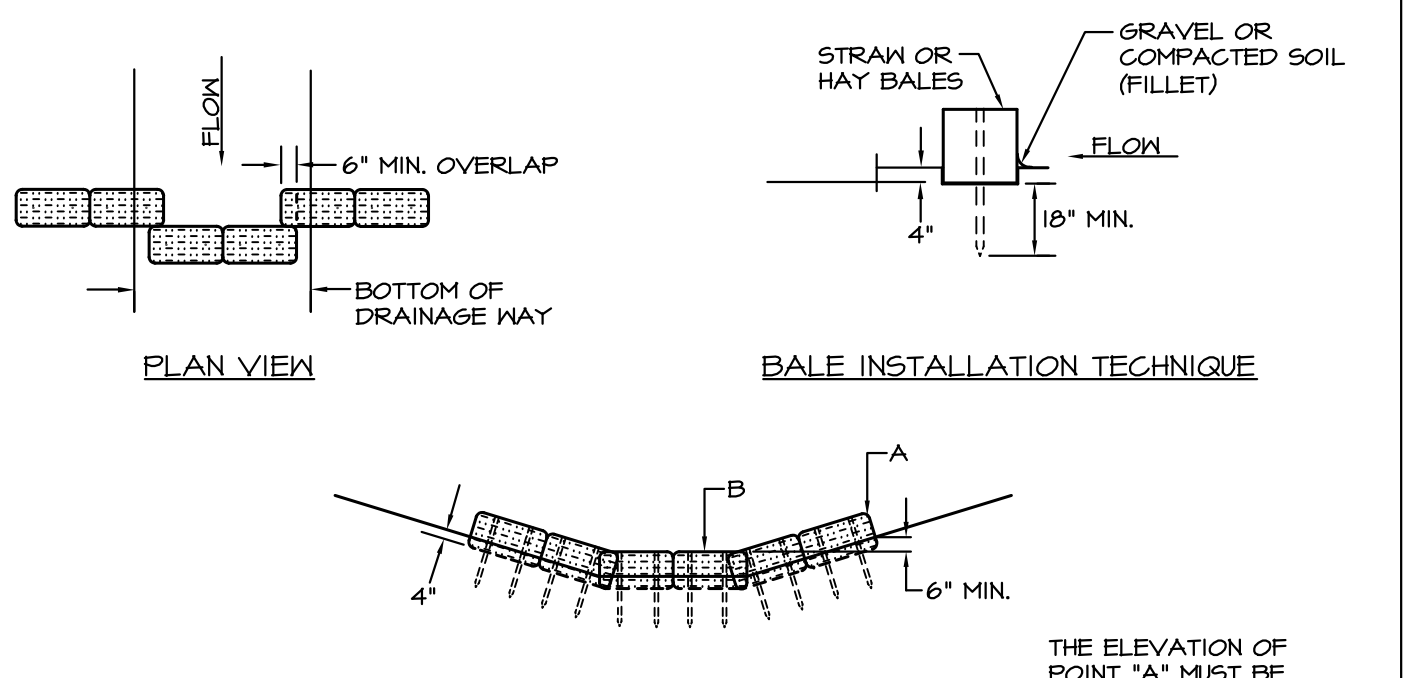


CONSTRUCTION NOTES:
 STONE STRUCTURES SHOULD BE CONSTRUCTED OF 2-3" STONE. THE STONE SHOULD BE PLACED ACCORDING TO ABOVE DETAIL. CAREFUL PLACEMENT WILL BE NECESSARY TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO INSURE THAT THE CENTER OF THE STRUCTURE IS LOWER THAN THE EDGES.

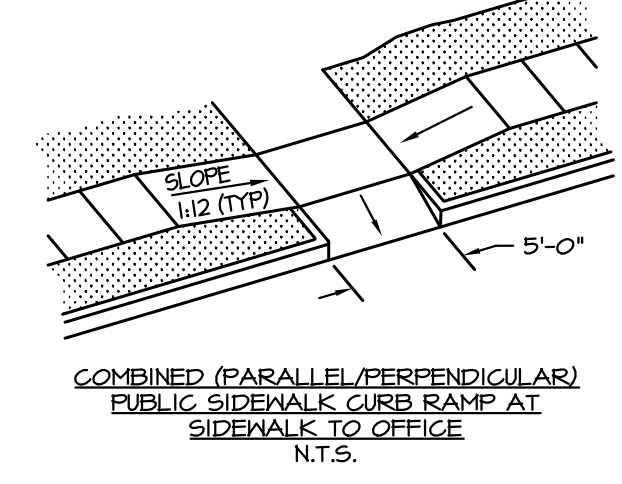
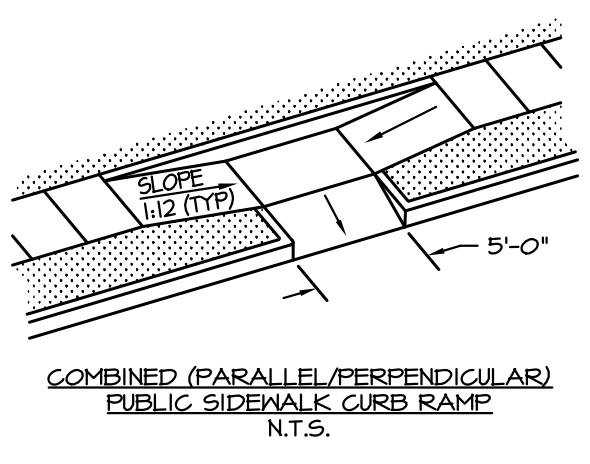
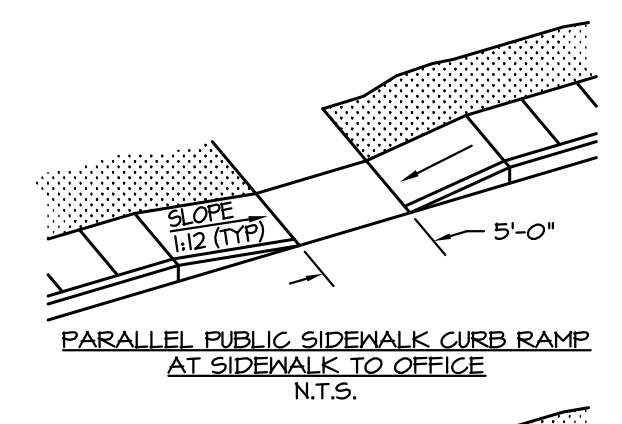
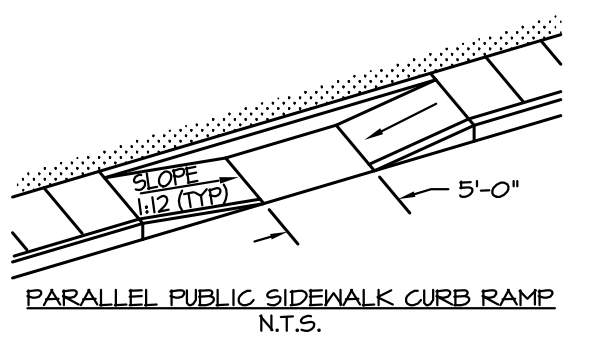
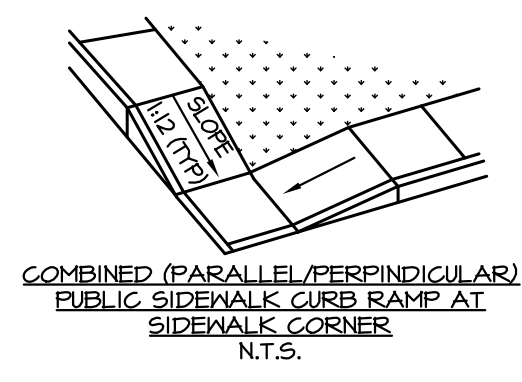
TEMPORARY GRADE STABILIZATION STRUCTURE
N.T.S.



PROPOSED HDPE PIPE RISER DETAIL
NOT TO SCALE



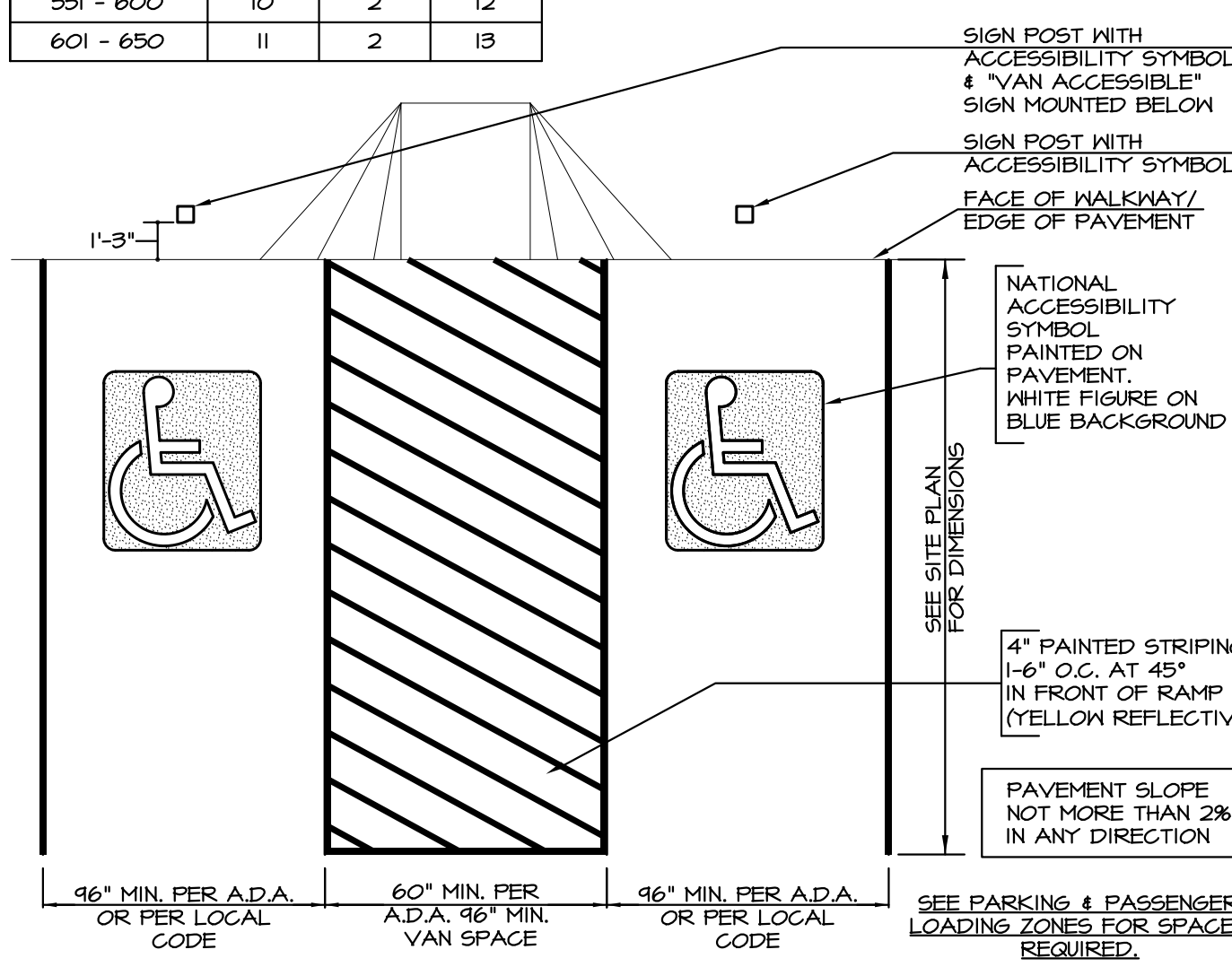
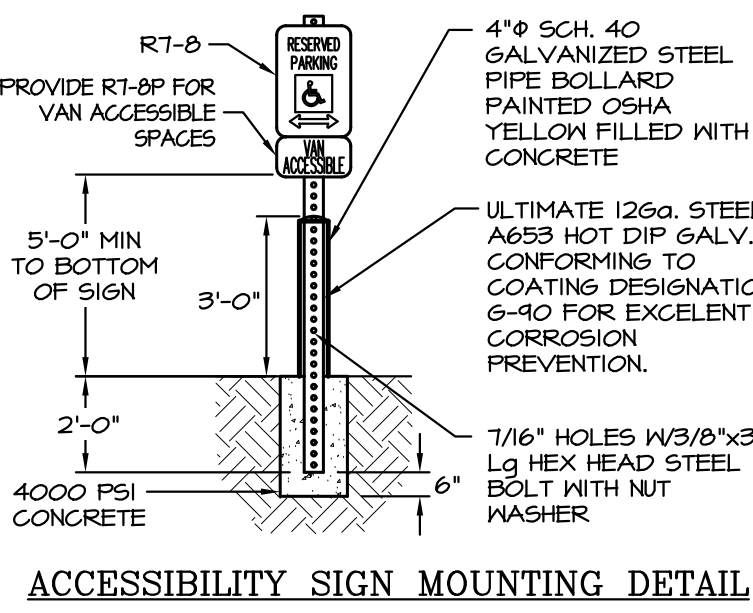
STRAW OR HAY BALE GRADE STABILIZATION STRUCTURE
N.T.S.



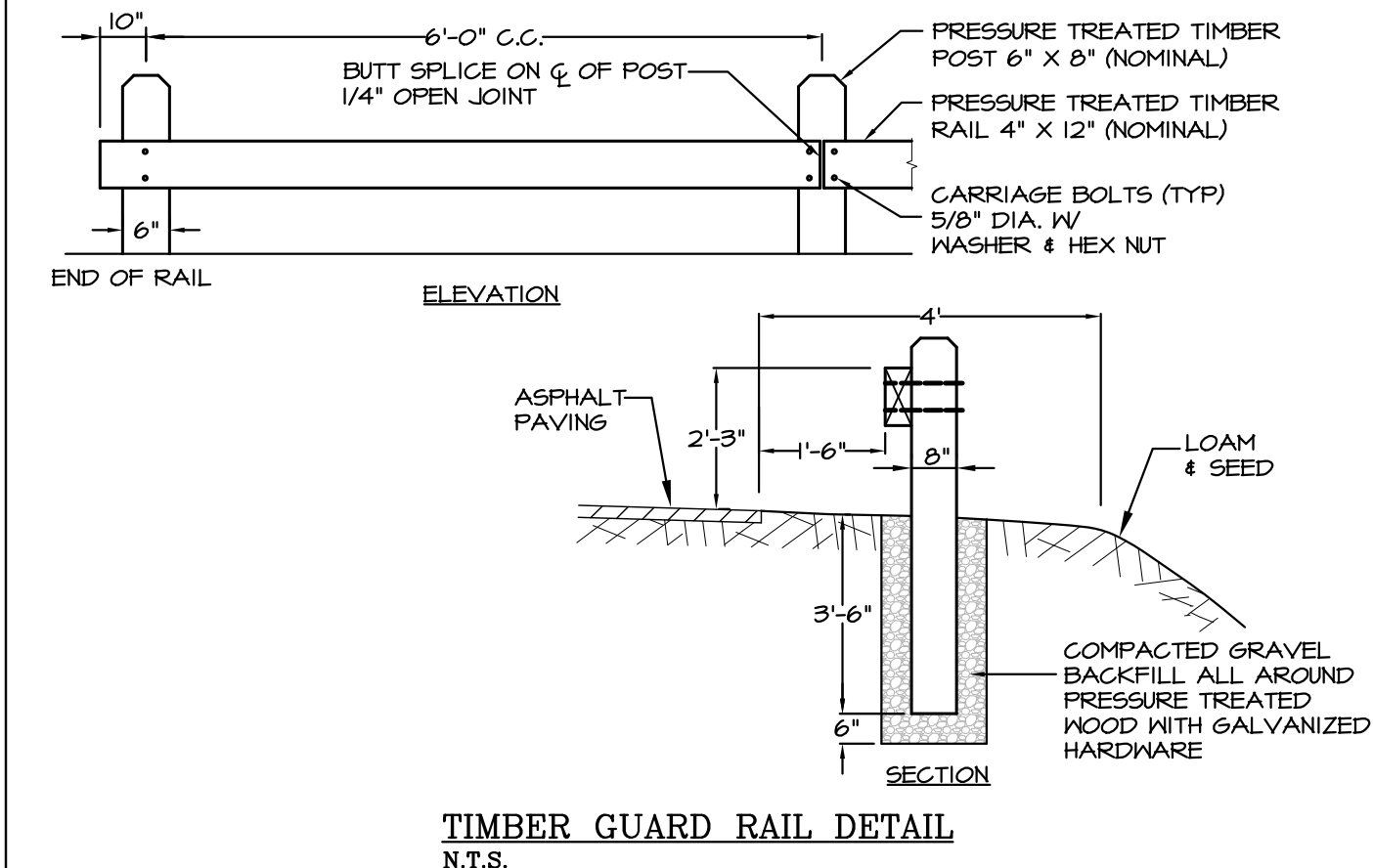
ACCESSIBILITY RAMP DETAILS
N.T.S.

PARKING & PASSENGER LOADING ZONES

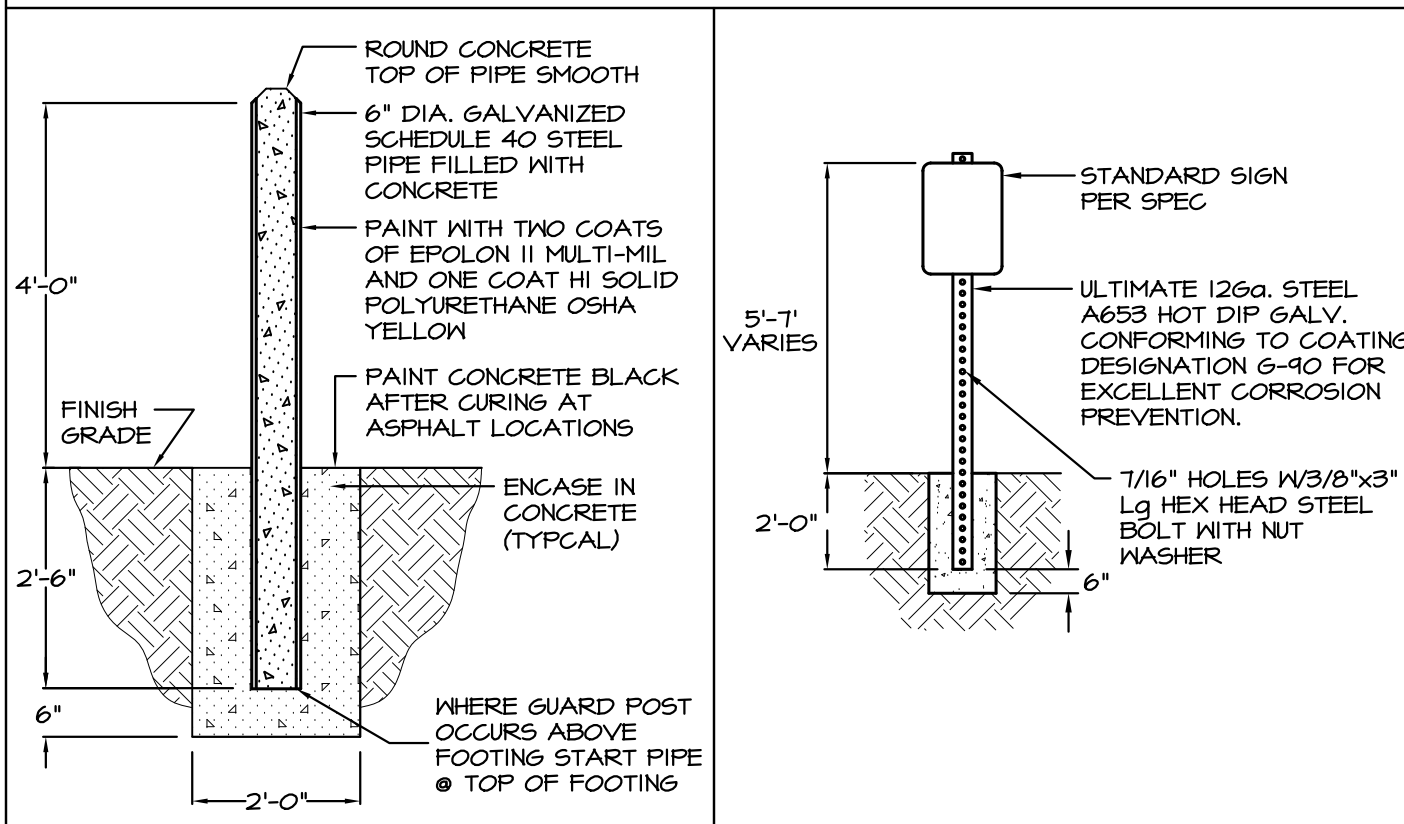
| TOTAL # PARKING SPACES | MINIMUM ACCESSIBLE SPACES | | |
|------------------------|---------------------------|-----|-------|
| | STAND. | VAN | TOTAL |
| 1 - 25 | 0 | 1 | 1 |
| 26 - 50 | 1 | 1 | 2 |
| 51 - 75 | 2 | 1 | 3 |
| 76 - 100 | 3 | 1 | 4 |
| 101 - 150 | 4 | 1 | 5 |
| 151 - 200 | 5 | 1 | 6 |
| 201 - 300 | 6 | 1 | 7 |
| 301 - 400 | 7 | 1 | 8 |
| 401 - 500 | 8 | 2 | 10 |
| 501 - 550 | 9 | 2 | 11 |
| 551 - 600 | 10 | 2 | 12 |
| 601 - 650 | 11 | 2 | 13 |



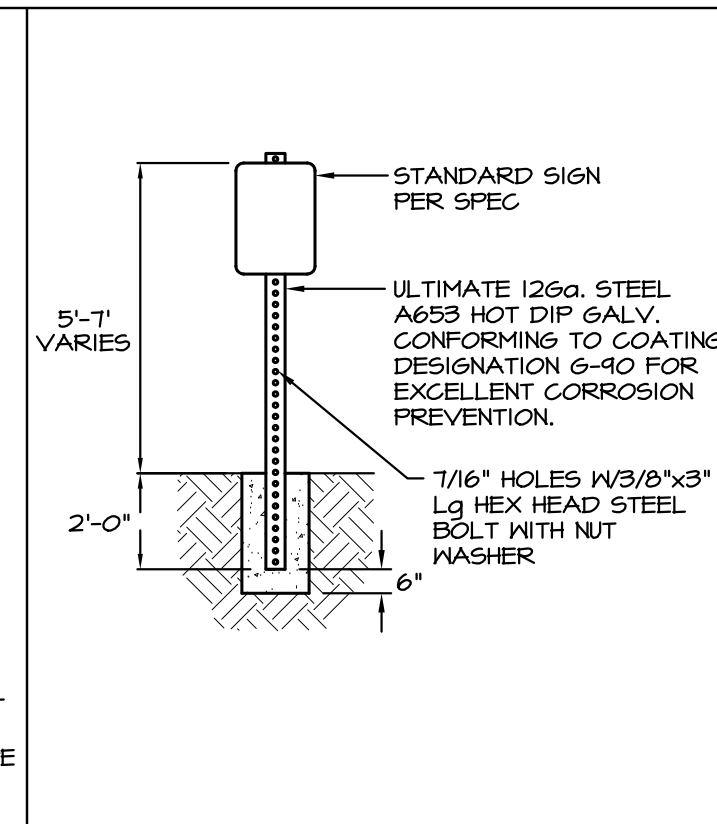
PARKING STALL FOR THE PHYSICALLY CHALLENGED
N.T.S.



TIMBER GUARD RAIL DETAIL
N.T.S.



BOLLARD DETAIL
N.T.S.



| | | | |
|------------|-----------------------|--------------|------|
| 3 | SEPT 2, 2020 | FOR APPROVAL | |
| 2 | MAR 24, 2020 | FOR APPROVAL | |
| 1 | MAR 11, 2020 | PRELIMINARY | |
| ISS. DATE: | DESCRIPTION OF ISSUE: | | CHK. |
| DRAWN: | MCV | DESIGN: | MCV |
| CHECKED: | BDS | CHECKED: | BDS |

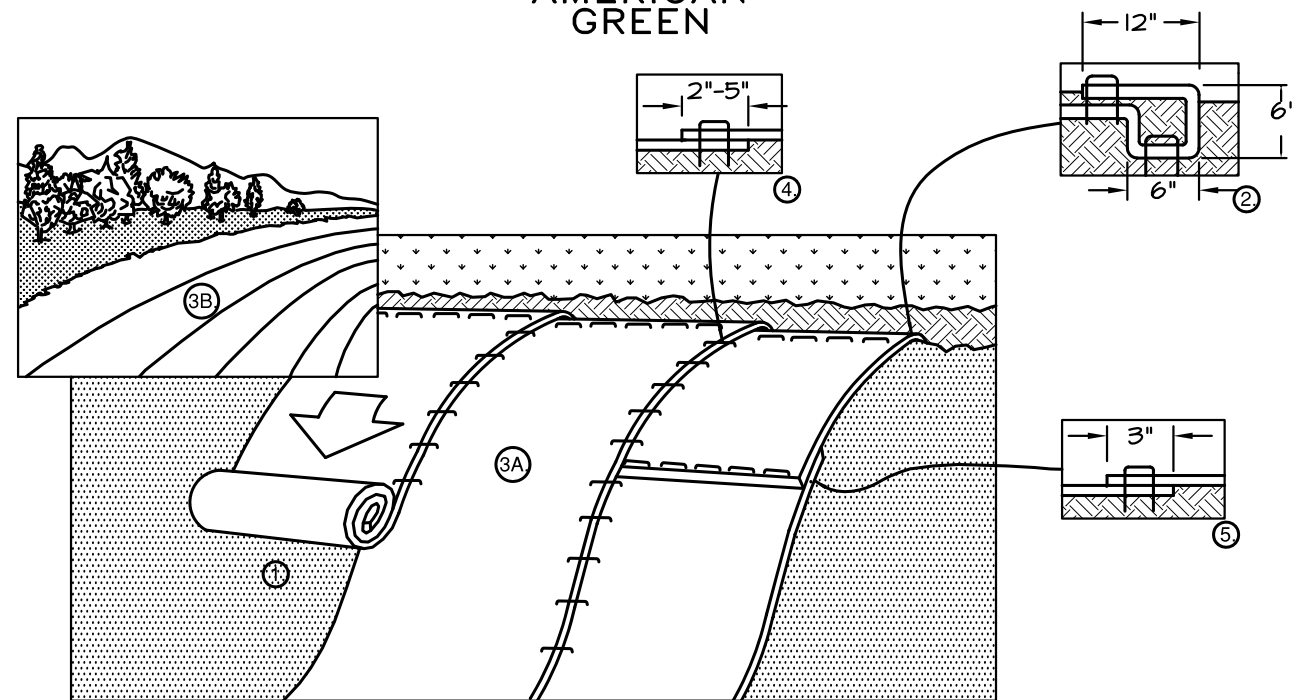


CLIENT:
RICHMOND PROPERTY GROUP
 333 N. ALABAMA ST.
 INDIANAPOLIS, IN 46204

TITLE:
DETAILS
 FOR
RICHMOND PROPERTY GROUP
 ELIZABETH DEMERITT HOUSE
 18 GARRISON AVENUE (SITE)
 DURHAM, NH 03824

| | | |
|----------|----------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | AS SHOWN | D4 |

SLOPE INSTALLATION



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LINE, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

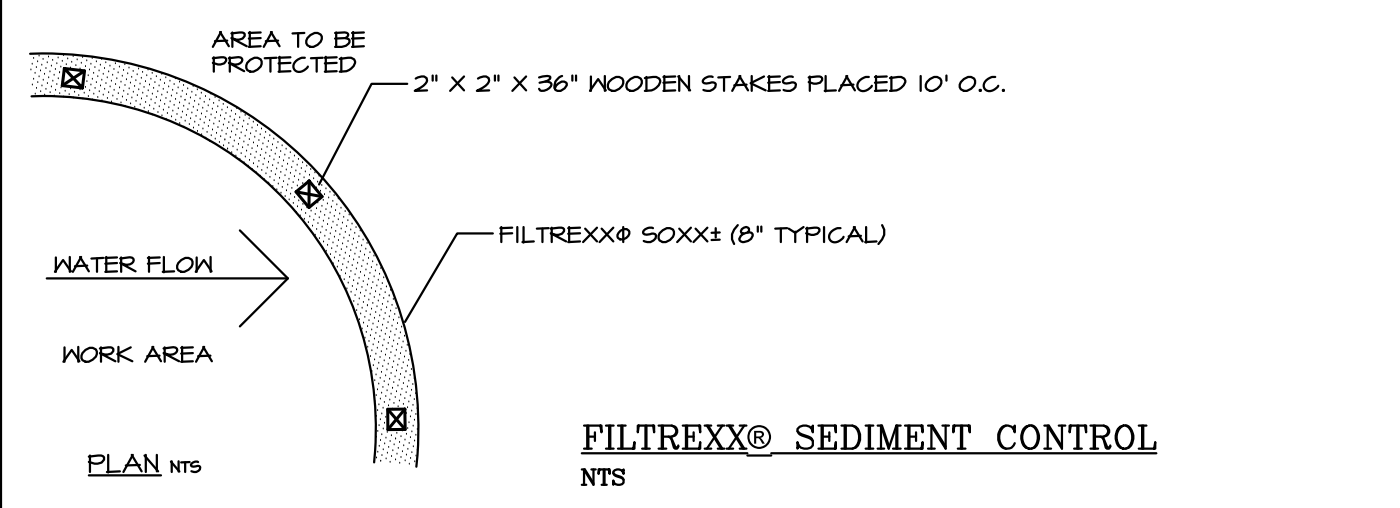
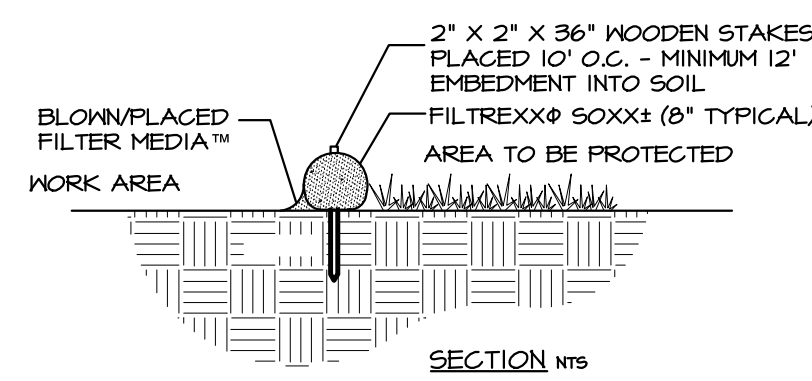
NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

CRITICAL POINTS
A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

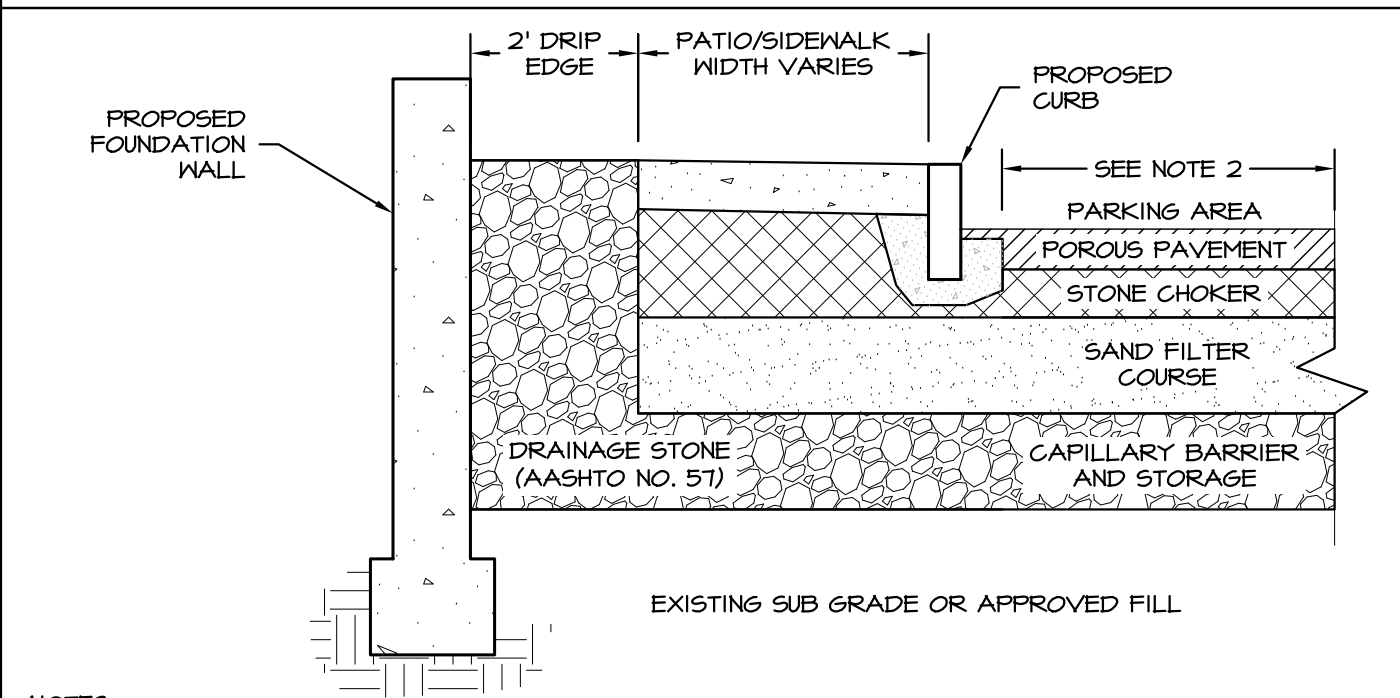
* HORIZONTAL STAPLE SPACINGS SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS IN EXCESS OF 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

14644 HIGHWAY 41 NORTH EVANSVILLE, INDIANA 47125
USA 1-800-TI2-2040 CANADA 1-800-448-2040
www.nagreen.com

- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.
1. ADDITIONAL INFO AVAILABLE AT [HTTP://WWW.FILTREXX.COM](http://www.filtrexx.com)

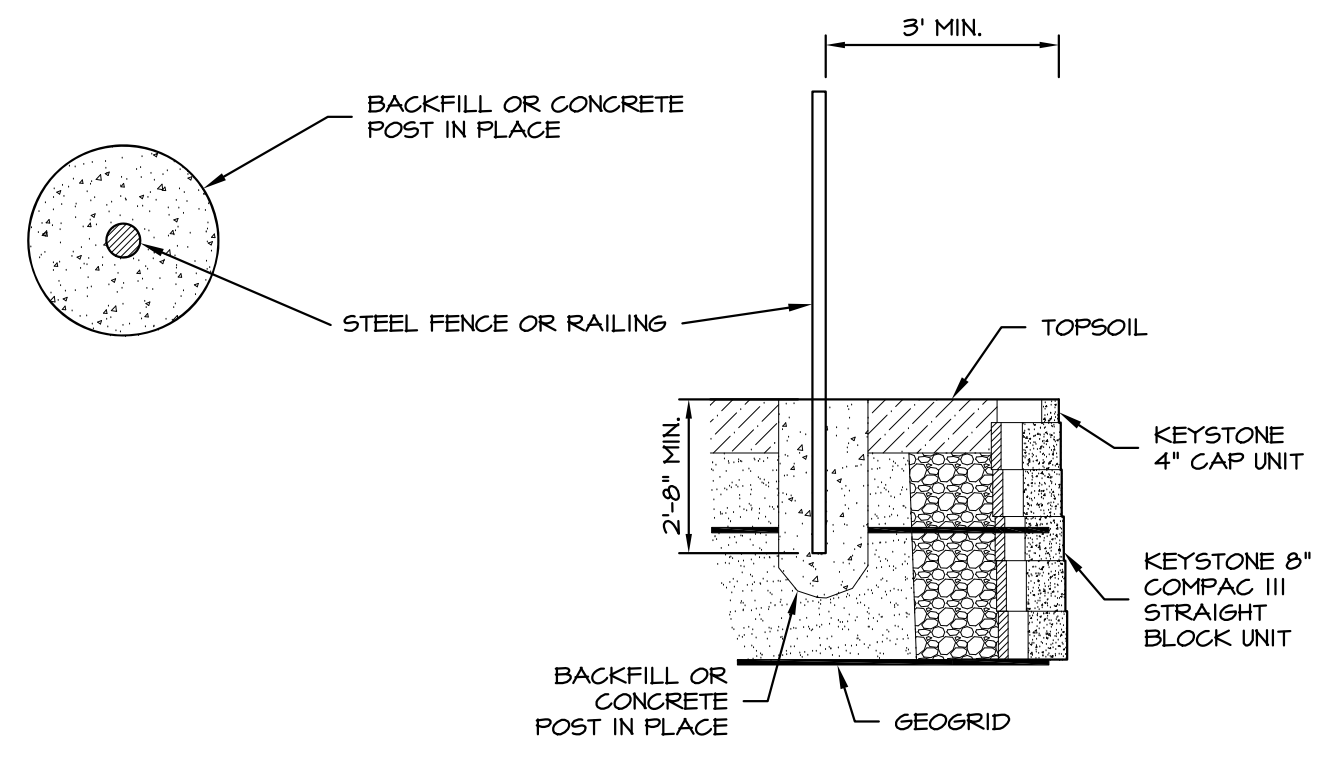


FILTREXX® SEDIMENT CONTROL
N.T.S.

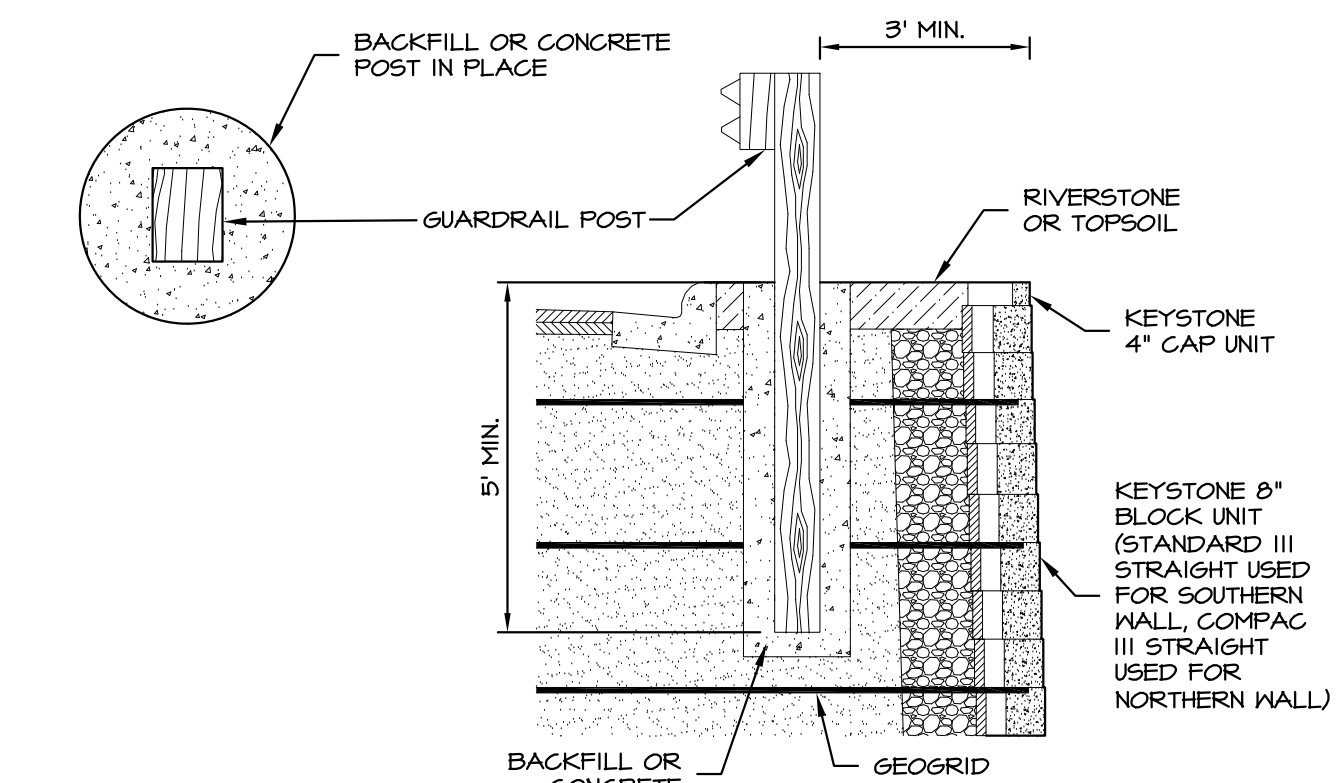


- NOTES:
1. SEE "REINFORCED RETAINING WALL SCHEMATIC" ON SHEET D5 FOR MORE DETAILS.
 2. SEE POROUS PAVEMENT DETAILS ON SHEET D3 FOR MORE INFO.

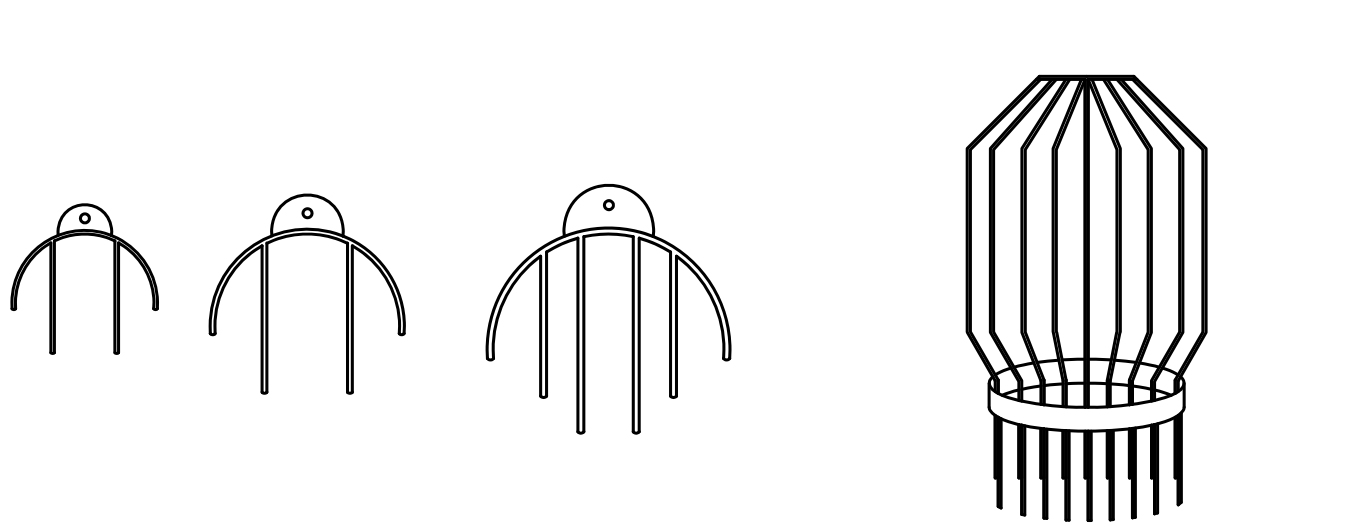
DRIP EDGE DETAIL
N.T.S.



TYPICAL FENCE POST OFFSET
N.T.S.

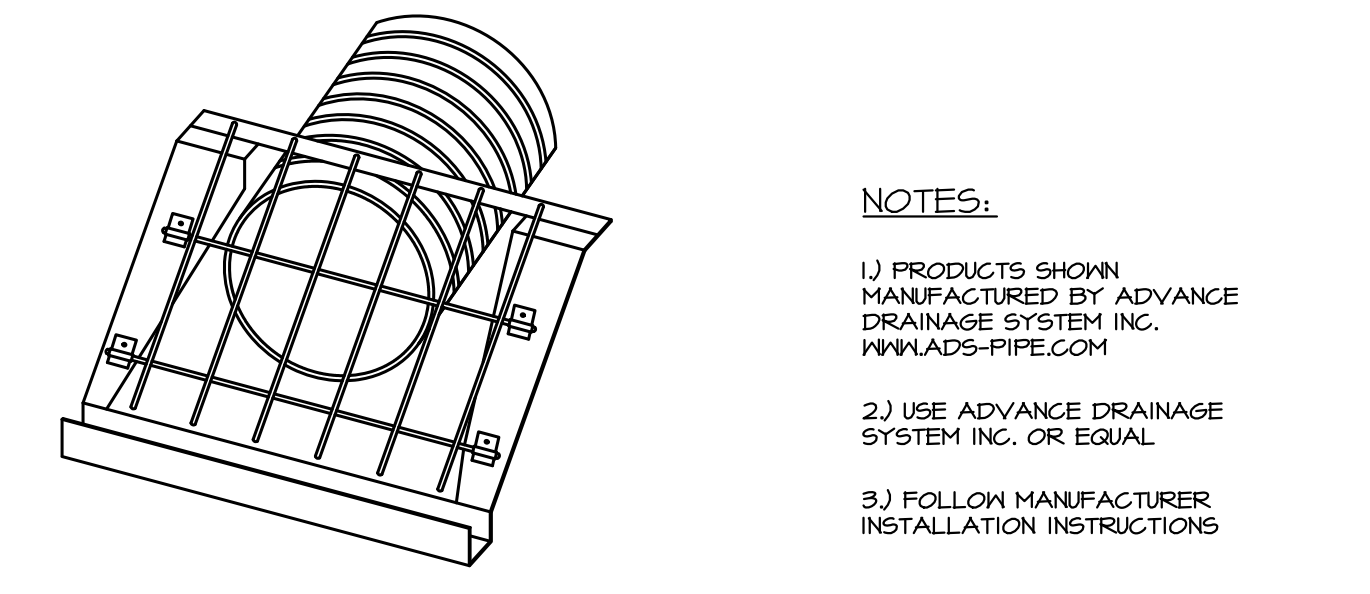


TYPICAL GUARD RAIL @ RETAINING WALL CROSS-SECTION
N.T.S.



ANIMAL GUARD GRATE (FINGER STYLE)
STANDARD SIZES:
4", 6", 8", 10", 12", 15", 18", 24", 30", 36" & 42"

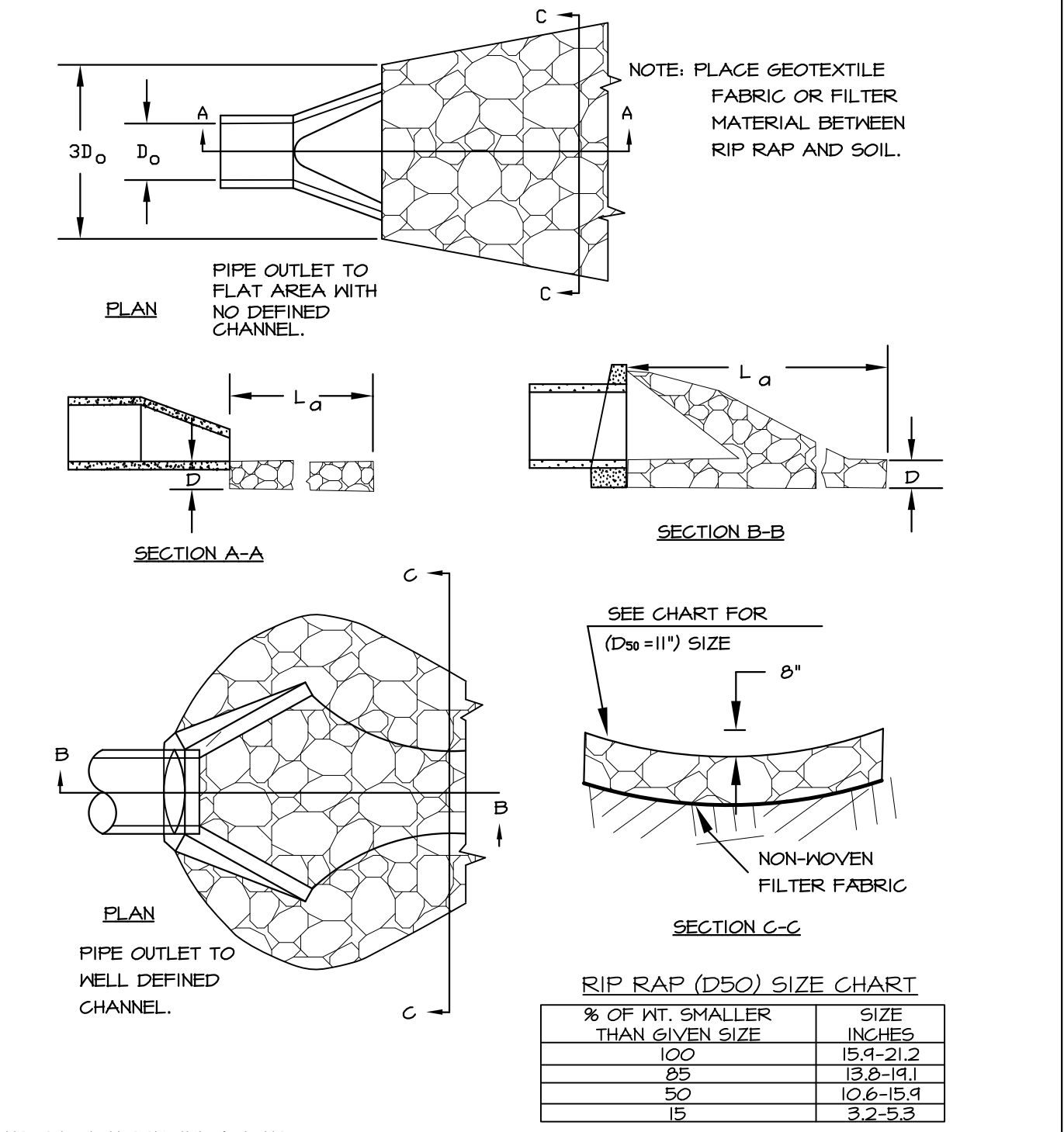
INLET BAR GUARD/GRATE
STANDARD SIZES:
4", 6", 8", 10", 12", 15", 18", 24", 30" & 36"



END SECTION TRASH GUARD/GRATE
STANDARD SIZES:
12", 15", 18", 24", 30", & 36"

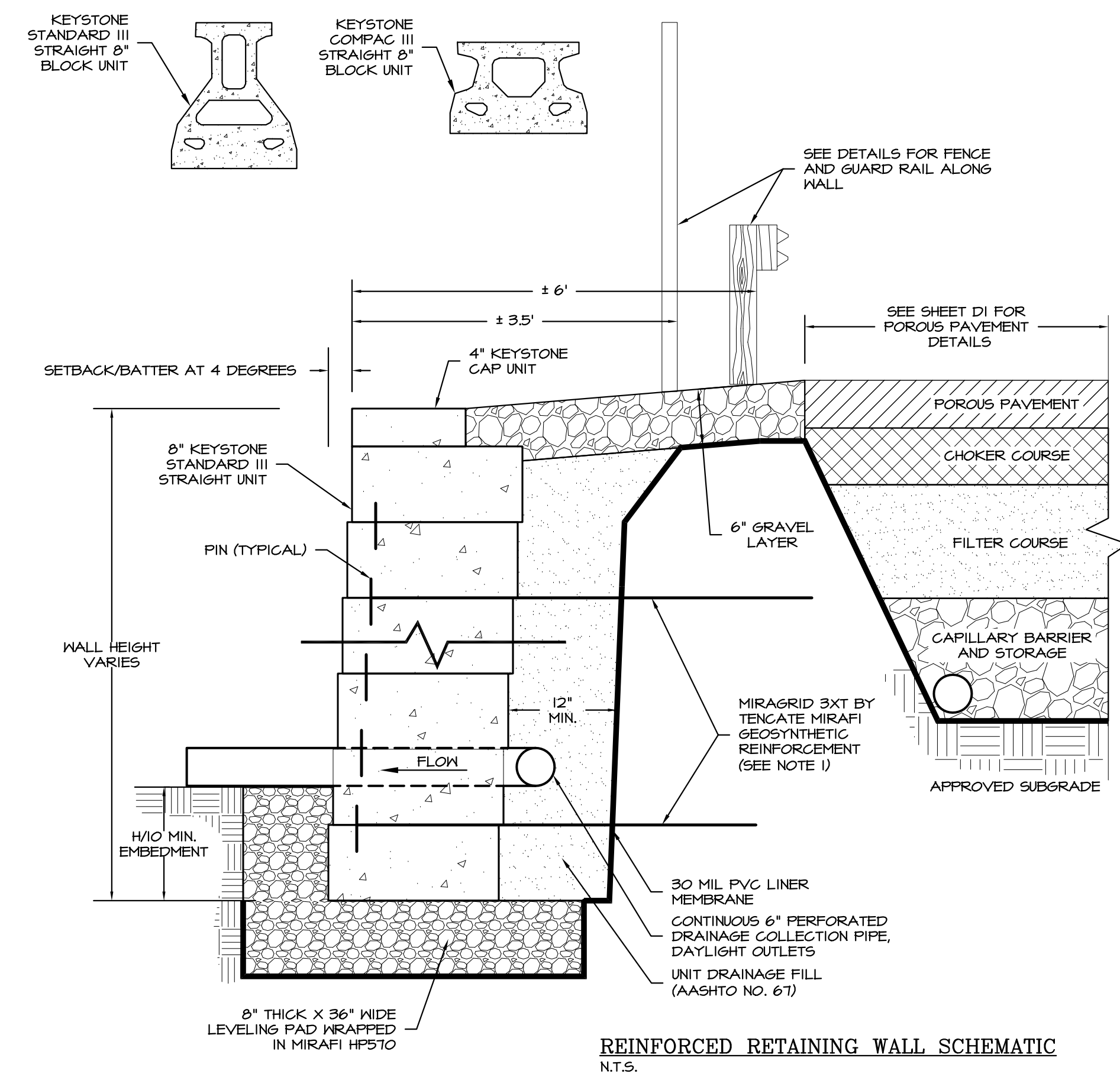
- NOTES:
- 1) PRODUCTS SHOWN MANUFACTURED BY ADVANCE DRAINAGE SYSTEM INC. WWW.ADS-PIPE.COM
 - 2) USE ADVANCE DRAINAGE SYSTEM INC. OR EQUAL
 - 3) FOLLOW MANUFACTURER INSTALLATION INSTRUCTIONS

PIPE GRATE PROTECTION DETAIL
N.T.S.



- CONSTRUCTION SPECIFICATIONS:
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OF GRAVEL USED FOR FILTER OR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

PIPE OUTLET PROTECTION
N.T.S.

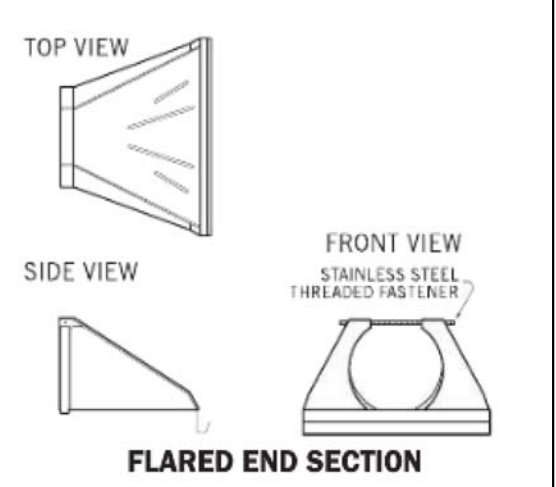


REINFORCED RETAINING WALL SCHEMATIC
N.T.S.

- NOTES:
1. RETAINING WALL DESIGN BY OTHER. COORDINATE WITH MANUFACTURER ON USE AND LOCATION OF REINFORCEMENT.
 2. WALL HEIGHT (H) IS THE TOTAL HEIGHT FROM TOP OF LEVELING PAD TO TOP OF WALL.
 3. MINIMUM WALL EMBEDMENT IS 12 INCHES FROM TOP OF LEVELING PAD.
 4. SUBSURFACE SOILS MUST BE CAPABLE OF SUPPORTING WALL SYSTEM.
 5. UNIT DRAINAGE FILL IS 3/4 INCH CLEAN WASHED CRUSHED STONE. FILL ALL OPEN SPACES BETWEEN UNITS AND OPEN CAVITIES/CORES WITH SAME UNIT DRAINAGE MATERIALS EXCEPT WHERE FENCE POSTS ARE PRESENT. VOIDS IN BLOCKS HOLDING FENCE POSTS SHALL BE FILLED WITH NON-SHRINK GROUT, AND LOCATIONS SHALL BE VERIFIED WITH THE FENCE COMPANY.
 6. LEVELING PAD IS CRUSHED STONE BASE MATERIAL.
 7. ALL BACKFILL MATERIALS ARE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
 8. GEOGRIDS MUST BE OF APPROPRIATE TYPE AND LENGTH PER DESIGN.
 9. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.
 10. STEP THE LEVELING PAD IN 8" INCREMENTS AT THE APPROPRIATE ELEVATION CHANGE IN THE FOUNDATION.
 11. REFER TO MANUFACTURER'S INSTALLATION MANUAL FOR ADDITIONAL DETAILS INCLUDING CORNERS AND CURVES.
 12. REFER TO TENGATE MIRAFI INSTALLATION GUIDELINES FOR ORIENTATION OF GEOGRID AND CONNECTION OF PANELS.

FLARED END SECTIONS

| SIZE | PRODUCT CODE |
|---------------------------|--------------|
| 10" (250mm) | 1015NP |
| 12" (300mm) / 15" (375mm) | 1215NP |
| 18" (450mm) | 1810NP |
| 24" (600mm) | 2410NP |
| 30" (750mm) | 3015NP |
| 36" (900mm) | 3615NP |



| | | | |
|------------|-----------------------|--------------|------|
| 4 | SEPT 2, 2020 | FOR APPROVAL | |
| 3 | MAY 07, 2020 | FOR APPROVAL | |
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| ISS. DATE: | DESCRIPTION OF ISSUE: | | CHK. |
| DRAWN: | MCV | DESIGN: | MCV |
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CLIENT:
RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204

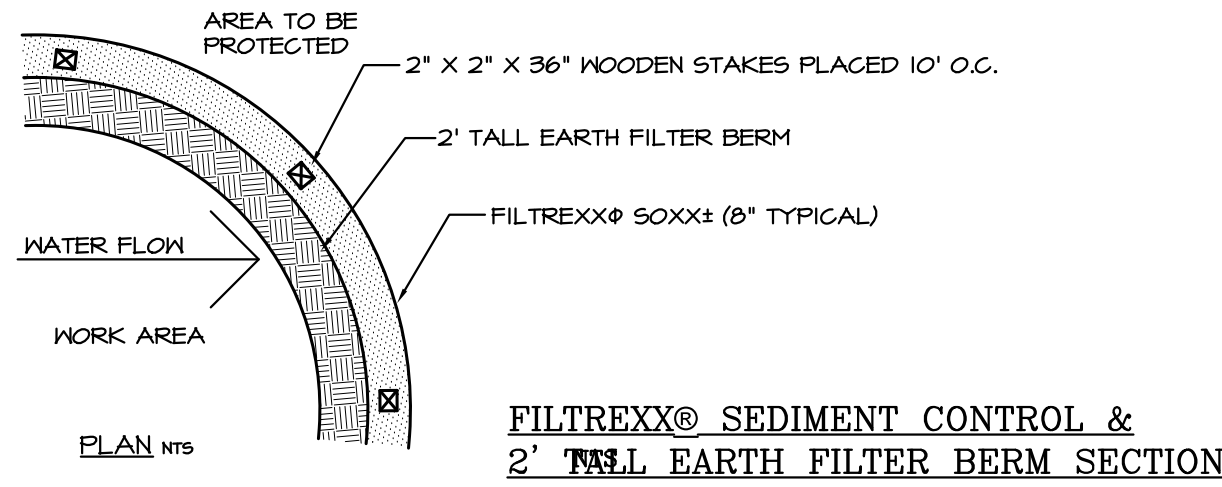
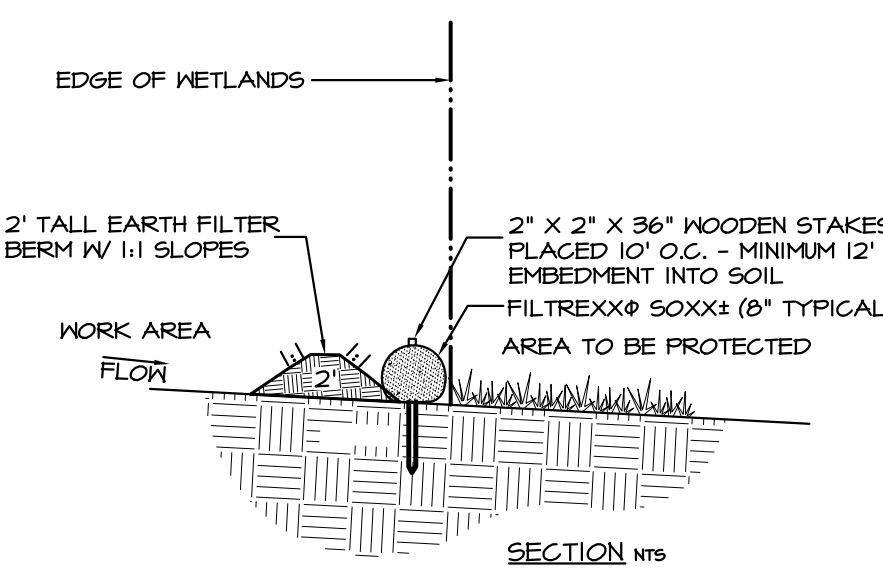
TITLE:
DETAILS FOR RICHMOND PROPERTY GROUP
ELIZABETH DEMERITT HOUSE
18 GARRISON AVENUE (SITE)
DURHAM, NH 03824

| | | |
|----------|----------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | AS SHOWN | D5 |

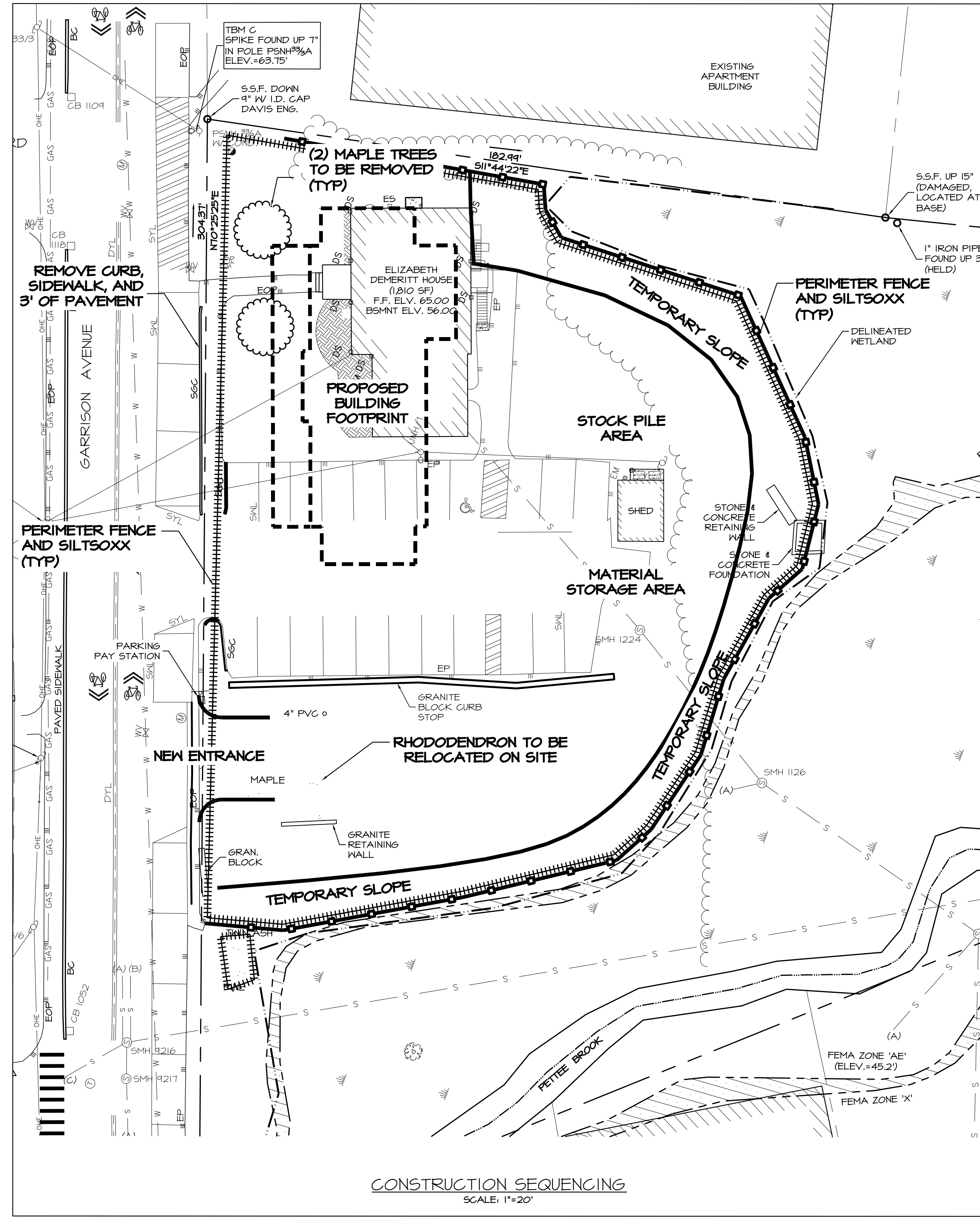
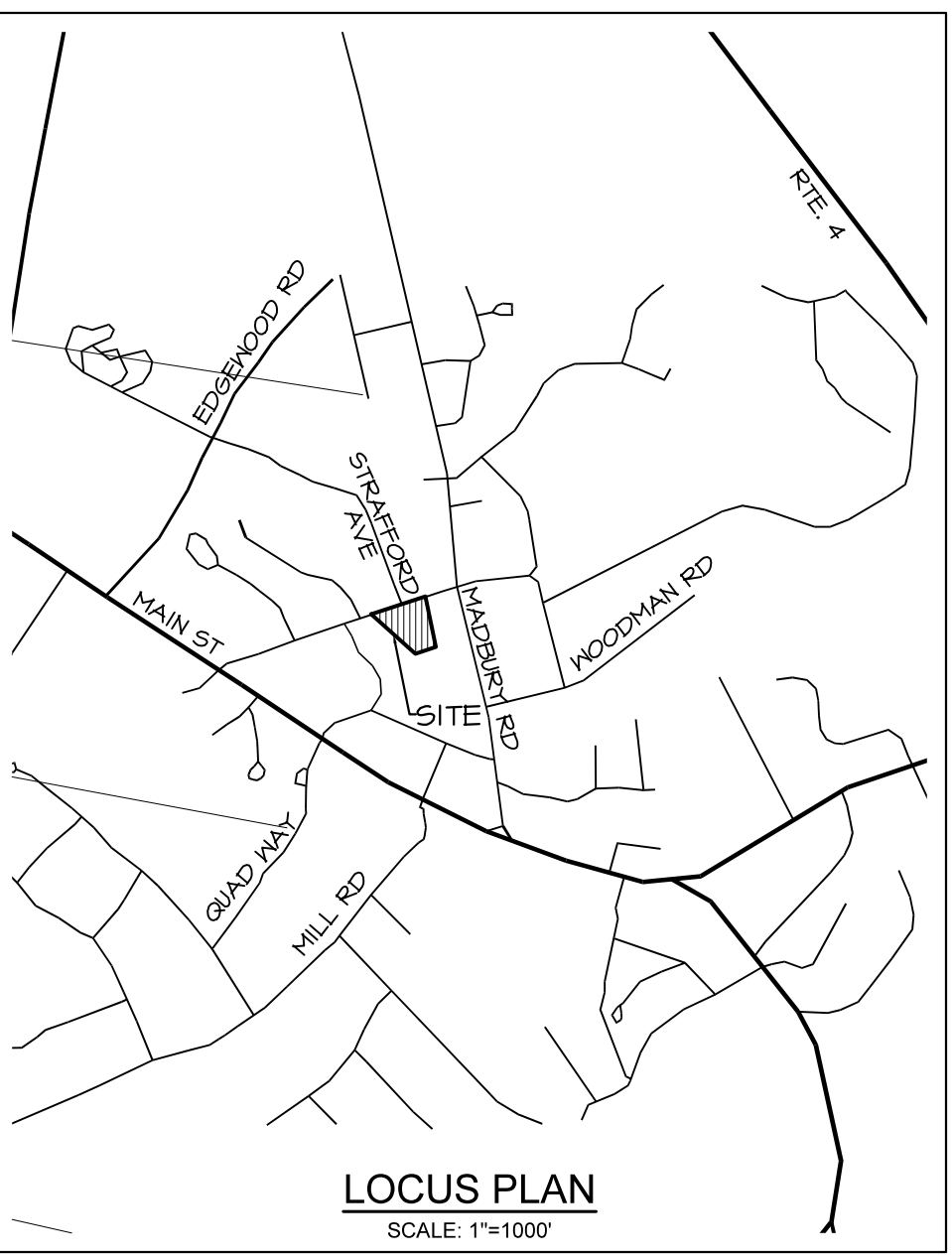
LEGEND

- BOUND FOUND
- IRON PIPE FOUND
- (TYP) TYPICAL
- PPP PROPOSED POROUS PAVEMENT
- PTP PROPOSED TRAD. PAVEMENT
- VGC VERTICAL GRANITE CURB
- SGC SLOPED GRANITE CURB
- BC BITUMINOUS CURB
- PROPERTY LINE
- |— EDGE OF PAVEMENT (EOP)
- |— EOP WITH CURB
- |— UNDERGROUND UTILITIES
- O— OVERHEAD UTILITIES
- W— WATER LINE
- S— SEWER LINE
- G— GAS LINE
- |— IRON FENCE
- |— GUARD RAIL
- |— EDGE OF WETLANDS
- |— UTILITY POLE
- |— LIGHT POLE
- |— WETLANDS
- |— BOLLARD
- |— ELECTRICAL METER
- |— SEWER MANHOLE
- |— CATCH BASIN
- |— SEWER CLEANOUT
- |— WATER VALVE
- |— TREE
- |— PARKING SPACES IN ROW
- |— COMPACT PARKING SPOT
- |— LANDSCAPING
- |— FEMA FLOOD ZONE X

- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 7. ADDITIONAL INFO AVAILABLE AT [HTTP://WWW.FILTREXX.COM](http://WWW.FILTREXX.COM)



FILTREXX® SEDIMENT CONTROL & 2' TALL EARTH FILTER BERM SECTION



CONSTRUCTION SEQUENCE:

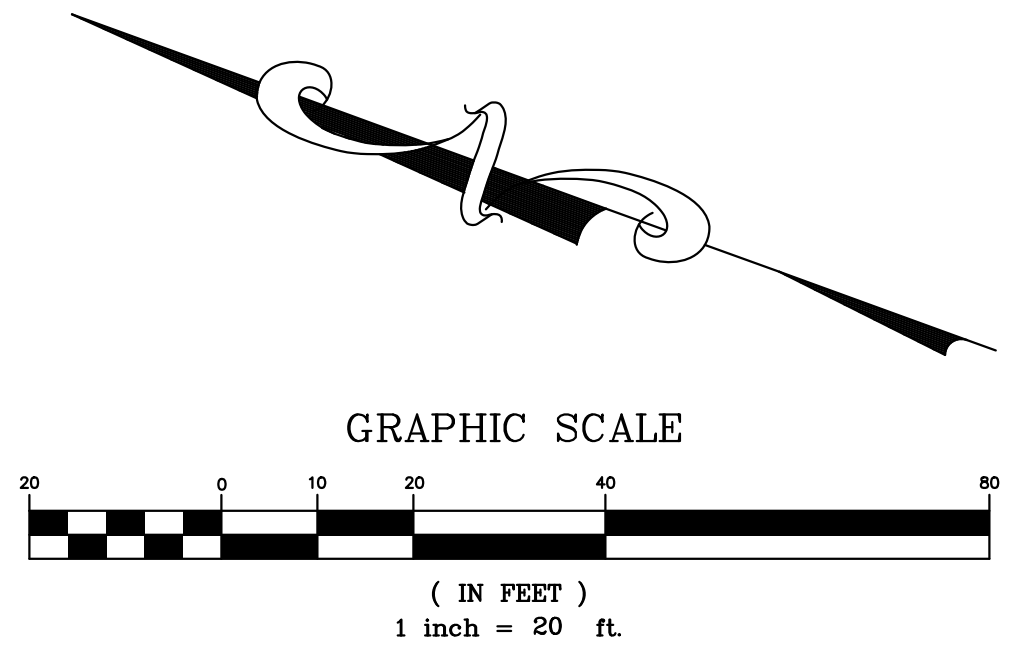
1. PRE-CONSTRUCTION WALK THROUGH IS REQUIRED WITH LANDSCAPE ARCHITECT, TOWN OFFICIALS, AND DESIGN ENGINEER. INVASIVE SPECIES TO BE IDENTIFIED AND REMOVED PER BMP STANDARDS.
2. INSTALL PROTECTIVE FENCING AROUND EXISTING TREES TO REMAIN, PER LANDSCAPING PLAN.
3. REMOVE VEGETATION TO INSTALL FENCING AND SILT/SOXXS AROUND SITE PERIMETER.
4. REMOVE REMAINING VEGETATION IN AREAS TO BE DISTURBED AND PER LANDSCAPING PLAN.
5. REMOVE SHED, AND CONCRETE FOUNDATION & WALL ABUTTING EDGE OF WETLANDS.
6. REMOVE PAVEMENT.
7. LEVEL SITE TO CREATE LAY-DOWN AREA.
8. CONSTRUCT NEW SITE ENTRANCE TO LATER BE NEW POROUS PAVEMENT DRIVEWAY.
9. EXCAVATE NEW FOUNDATION FOOTPRINT.
10. BUILD NEW STRUCTURE.
11. DO NOT CONSTRUCT PARKING AREA UNTIL SITE IS STABILIZED AND EXTERIOR OF NEW STRUCTURE IS COMPLETE (NO SILTING OF BASE MATERIALS OR PAVEMENT.)
12. PAVEMENT CONSTRUCTION TO BE REVIEWED/MONITORED BY DR. ROBERT ROSEEN OR EQUAL. CONTACT: 603-686-2488
13. CONTRACTOR IS RESPONSIBLE FOR CLEANING POROUS PAVEMENT WHEN CONSTRUCTION IS FINISHED.

NOTES:

1. OWNER OF RECORD: TAX MAP 2, LOT 12-12 RICHMOND PROPERTY GROUP 333 N. ALABAMA ST. INDIANAPOLIS, IN 46204 SGRD BK 4626 PG 647
2. THE INTENT OF THIS PLAN IS TO SHOW CONSTRUCTION SEQUENCING NOTES AND LOCATION OF SAID NOTES WITHIN THE SITE.
3. PARCEL IS ZONED CENTRAL BUSINESS (CB) PER THE 2006 DURHAM ZONING DISTRICT MAP.
4. A PORTION OF THE PARCEL IS IN A FLOOD HAZARD ZONE, REFERENCE FLOOD INSURANCE RATE MAP 3301TC0318E, DATED SEPTEMBER 30, 2015.
5. SURVEY FIELDWORK CONDUCTED BY DOUCET SURVEY, LLC IN AUGUST, 2014.
6. SOILS AND WETLANDS WERE DELINEATED BY GZA GEOTECHNICAL, INC. DURING AUGUST, 2014.
7. PROPERTY TO BE SERVICED BY TOWN WATER AND SEWER.
8. ALL CONSTRUCTION SHOULD COMPLY WITH FEDERAL, STATE, AND LOCAL STANDARDS AND REGULATIONS.
9. THIS PLAN WAS PREPARED WITH ON-SITE FIELD SURVEY AND EXISTING PLANS. THE CONTRACTOR SHOULD NOTIFY EMANUEL ENGINEERING, INC. DURING CONSTRUCTION IF ANY DISCREPANCY TO THE PLAN IS FOUND ON SITE.
10. BEFORE ANY EXCAVATION, DIG SAFE AND ALL UTILITY COMPANIES SHOULD BE CONTACTED 72 HOURS BEFORE COMMENCING BY THE CONTRACTOR. CALL DIG SAFE @ 811 OR 1-888-DIG-SAFE.
11. ALL UTILITIES SHALL BE LOCATED UNDERGROUND EXCEPT AS NOTED ON PLAN APPROVED BY THE PLANNING BOARD.

REFERENCE PLANS:

1. "PLAN OF LAND, LAND OF THE UNIVERSITY OF NEW HAMPSHIRE FOR GAMMA THETA CORPORATION, GARRISON AVENUE, (NO TAX MAP/LOT NUMBER ASSIGNED) DURHAM, NEW HAMPSHIRE" DATED JULY 11, 2014 BY DOUCET SURVEY, INC. S.G.R.D. PLAN 108-020.
2. "EXISTING CONDITIONS PLAN OF IT & 21 MADBURY ROAD FOR AG ARCHITECTS, PC" DATED MAY 11, 2006 BY DOUCET SURVEY, INC.
3. "TOWN OF DURHAM SEWER EASEMENTS, PETTEE BROOK INTERCEPTOR" DATED NOVEMBER 1964 BY G.L. DAVIS & ASSOCIATES S.G.R.D. POCKET 4 FOLDER 4 PLAN 26.
4. "RE-SUBDIVISION OF LAND IN DURHAM, NH PREPARED FOR THETA GAMMA OF DELTA ZETA HOUSE CORP." DATED AUGUST 4, 1980 BY JOHN W. DURGIN ASSOCIATES, INC. S.G.R.D. DRAWER 21, PLAN 06.
5. "PLAN OF LAND FOR ERNEST CUTLER" DATED OCTOBER 1971 BY JOHN W. DURGIN ASSOCIATES, INC.
6. "UNIVERSITY OF NEW HAMPSHIRE GARRISON AVENUE AREA" DATED SEPTEMBER 16, 1957 BY G.L. DAVIS & ASSOCIATES.



| | | | |
|------------|-----------------------|--------------|------|
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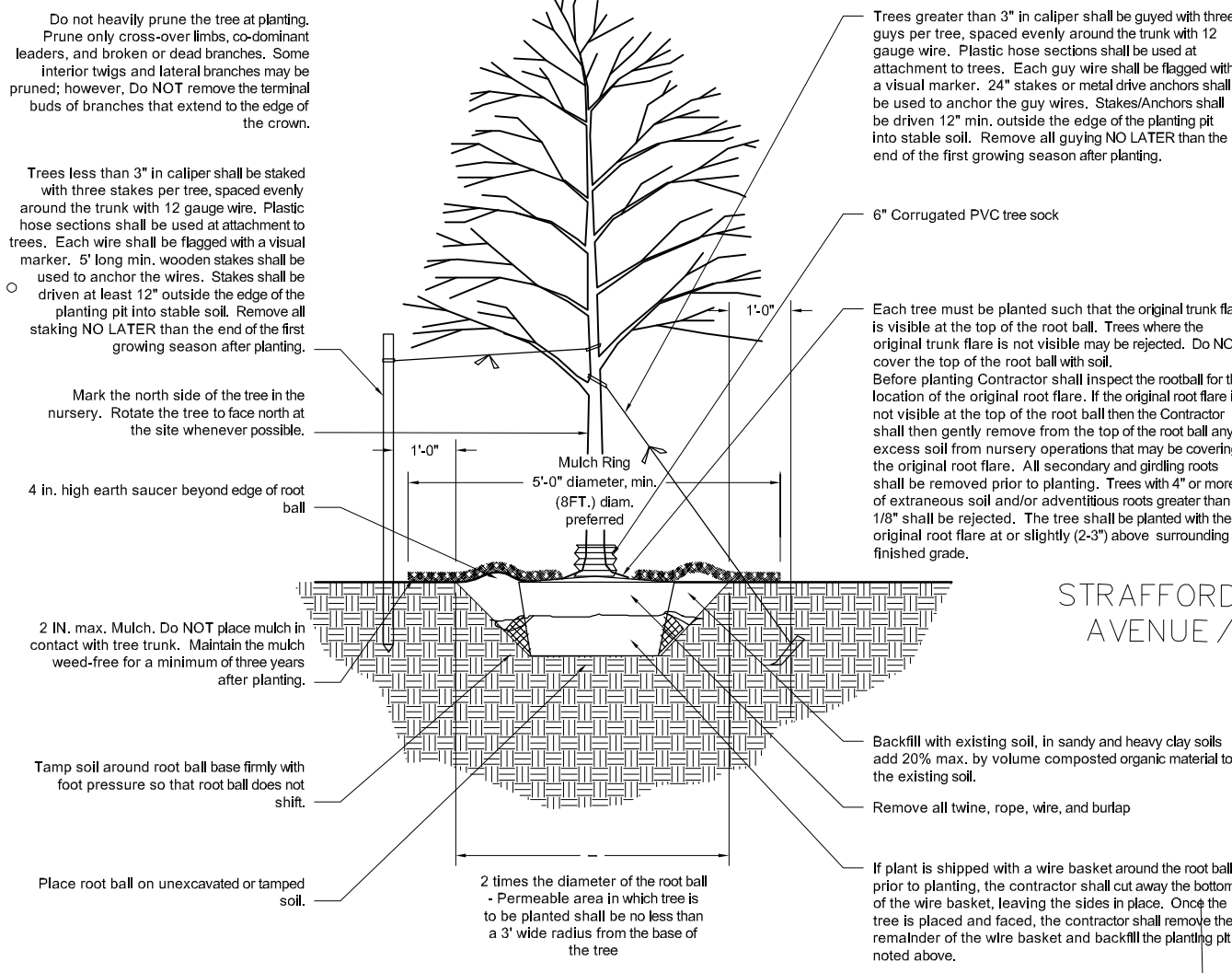
CLIENT:
RICHMOND PROPERTY GROUP
 333 N. ALABAMA ST.
 INDIANAPOLIS, IN 46204

TITLE:
CONSTRUCTION SEQUENCING PLAN FOR RICHMOND PROPERTY GROUP ELIZABETH DEMERRIT HOUSE 18 GARRISON AVENUE (SITE) DURHAM, NH 03824

| | | |
|----------|----------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | AS SHOWN | CS1 |

SEAL:

Tree Planting Detail

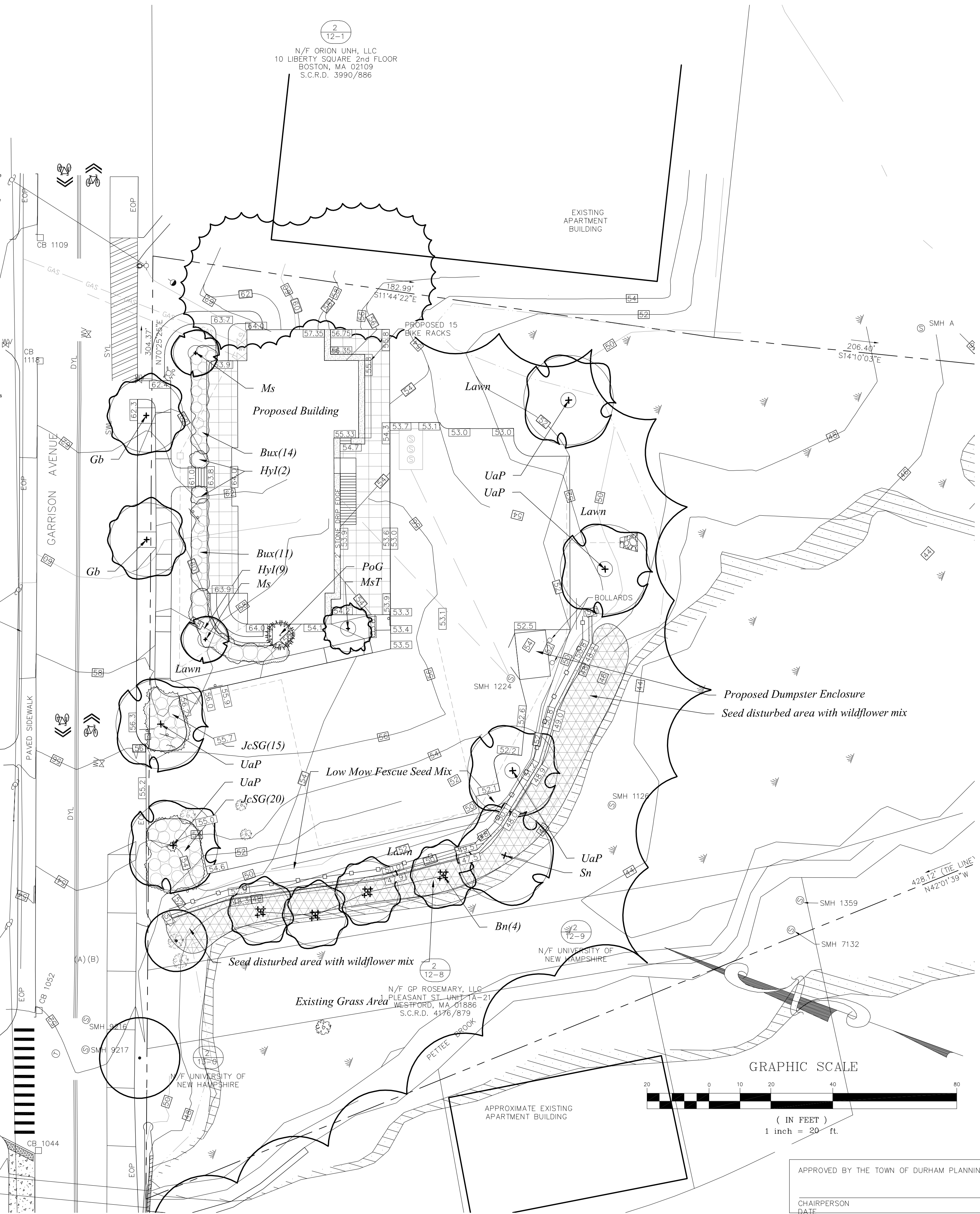
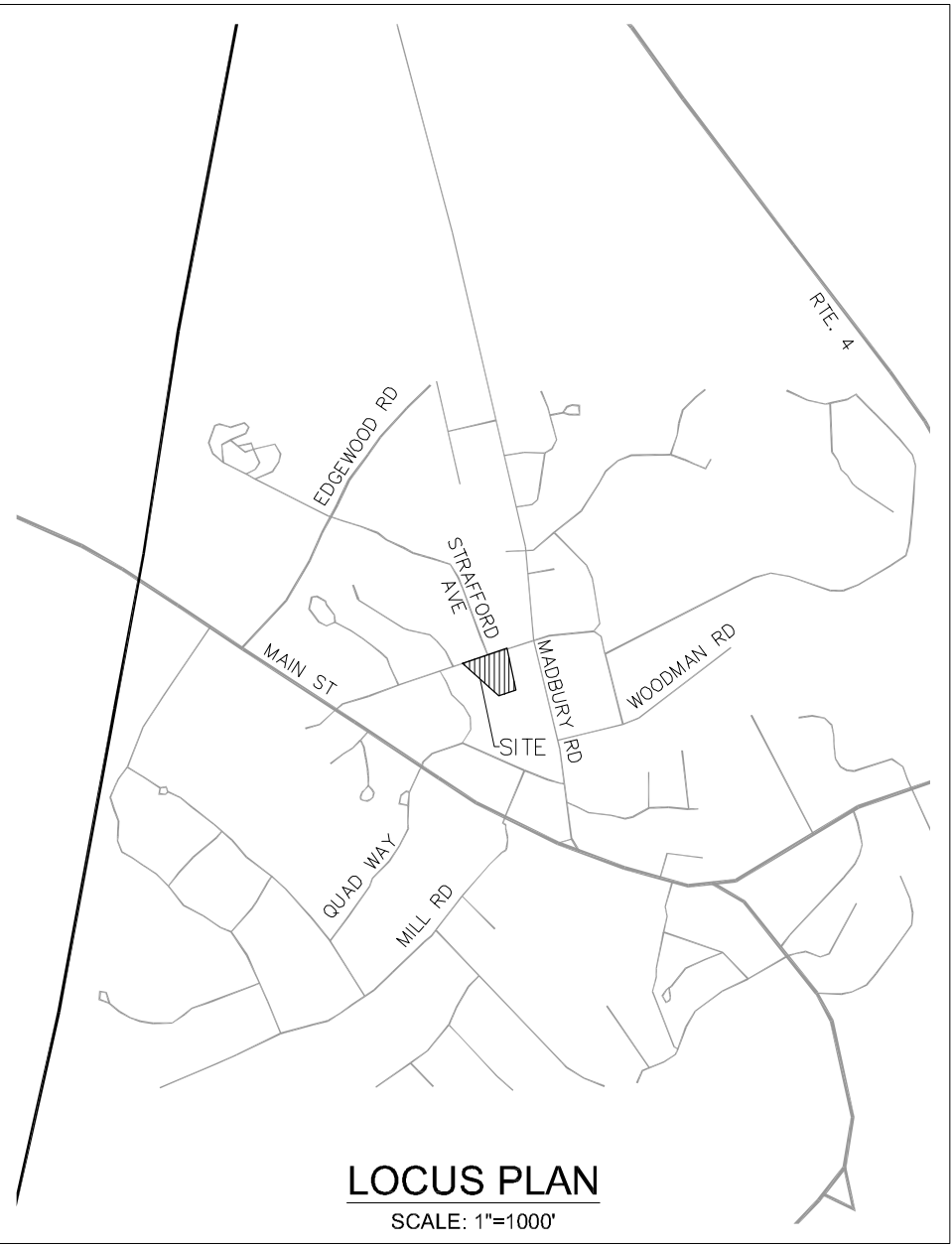


Plant List

| Symbol | Botanical Name | Common Name | Quantity | Size |
|--------|------------------------------------|------------------------|----------|-------------|
| Gb | <i>Ginkgo biloba 'Autumn Gold'</i> | Autumn Gold Ginkgo | 2 | 3-3.5" cal. |
| Ms | <i>Magnolia loebneri 'Merrill'</i> | Merrill Magnolia | 2 | 10-12' ht. |
| MST | <i>Malus sargentii 'Tina'</i> | Tina Crabapple | 1 | 2.5-3" cal. |
| PoG | <i>Picea orientalis 'Covody'</i> | Covody Oriental Spruce | 1 | 8-10' ht. |
| Sn | <i>Salix nigra</i> | Black Willow | 3 | 3-3.5" cal. |
| UaP | <i>Ulmus americana 'Princeton'</i> | Princeton American Elm | 5 | 3-3.5" cal. |

SHRUBS

| Symbol | Botanical Name | Common Name | Quantity | Size |
|--------|--|-----------------------|----------|---------|
| Hyl | <i>Hydrangea arborescens 'Incrediball'</i> | Incrediball Hydrangea | 9 | 7 gal |
| Bux | <i>Buxus microphylla 'Winter Gem'</i> | Winter Gem Boxwood | 25 | 2.5-3" |
| JeSG | <i>Juniperus chinensis 'Seagreen'</i> | Seagreen Juniper | 35 | 7-8" ht |



Landscape Notes

- Design is based on drawings by Emanuel Engineering, Inc. dated August 31, 2020 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- This plan is for review purposes only, NOT for Construction. Construction Documents will be provided upon request.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
 - Outside hose attachments spaced a maximum of 150 feet apart, and
 - An underground irrigation system, or
 - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

Seeding Specifications

Lawn Areas: Pennington Smart Seed Tri-Fescue Mix or approved equal. Seed at specified rates.
Wildflower mix: New England Wetland Plants - New England Showy Wildflower Mix. Seed at 30 lbs/acre.

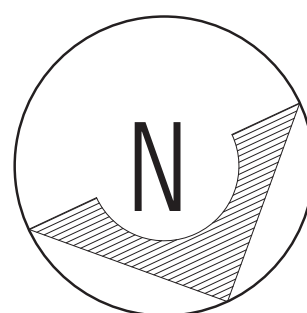
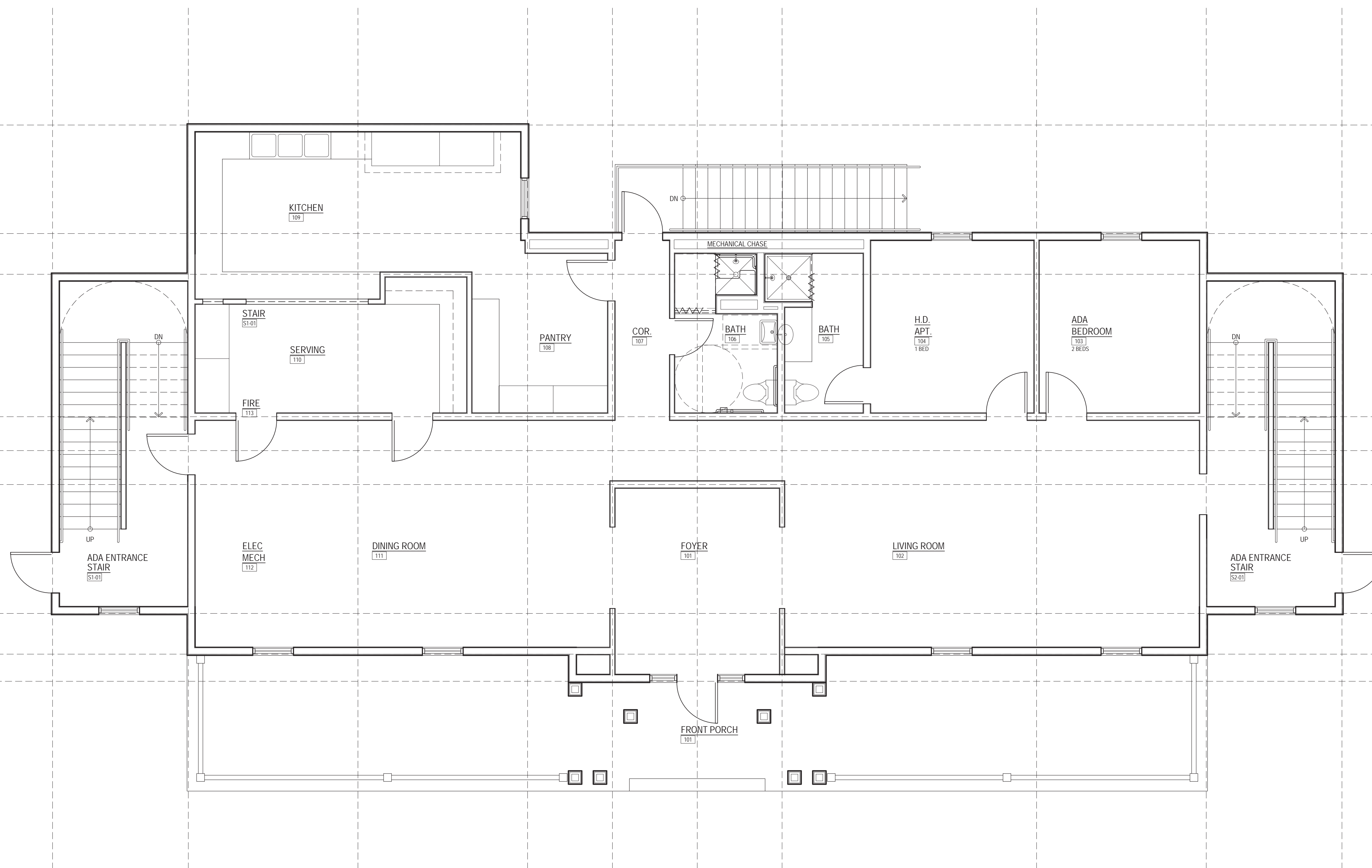
woodburn & company
LANDSCAPE ARCHITECTURE
103 Kent Place, Newmarket, New Hampshire Phone: 603.659.5949

| | | | |
|------------|-------------|-----------------------|------|
| 1 | SEP 1, 2020 | FOR APPROVAL | |
| ISS. DATE: | | DESCRIPTION OF ISSUE: | CHK. |
| DRAWN: | LF | DESIGN: | RW |
| CHECKED: | RW | CHECKED: | RW |

CLIENT:
RICHMOND PROPERTY GROUP
333 N. ALABAMA ST.
INDIANAPOLIS, IN 46204

TITLE:
LANDSCAPE PLAN
FOR
RICHMOND PROPERTY GROUP
ELIZABETH DEMERITT HOUSE
18 GARRISON AVENUE (SITE)
DURHAM, NH 03824

| | | |
|----------|--------|--------|
| PROJECT: | SCALE: | SHEET: |
| 19-083 | 1"=20' | C3 |



First Floor Plan

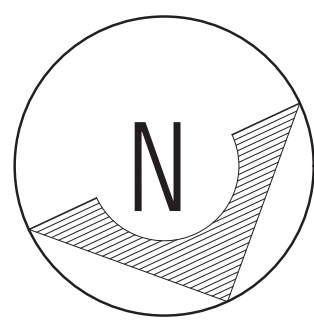
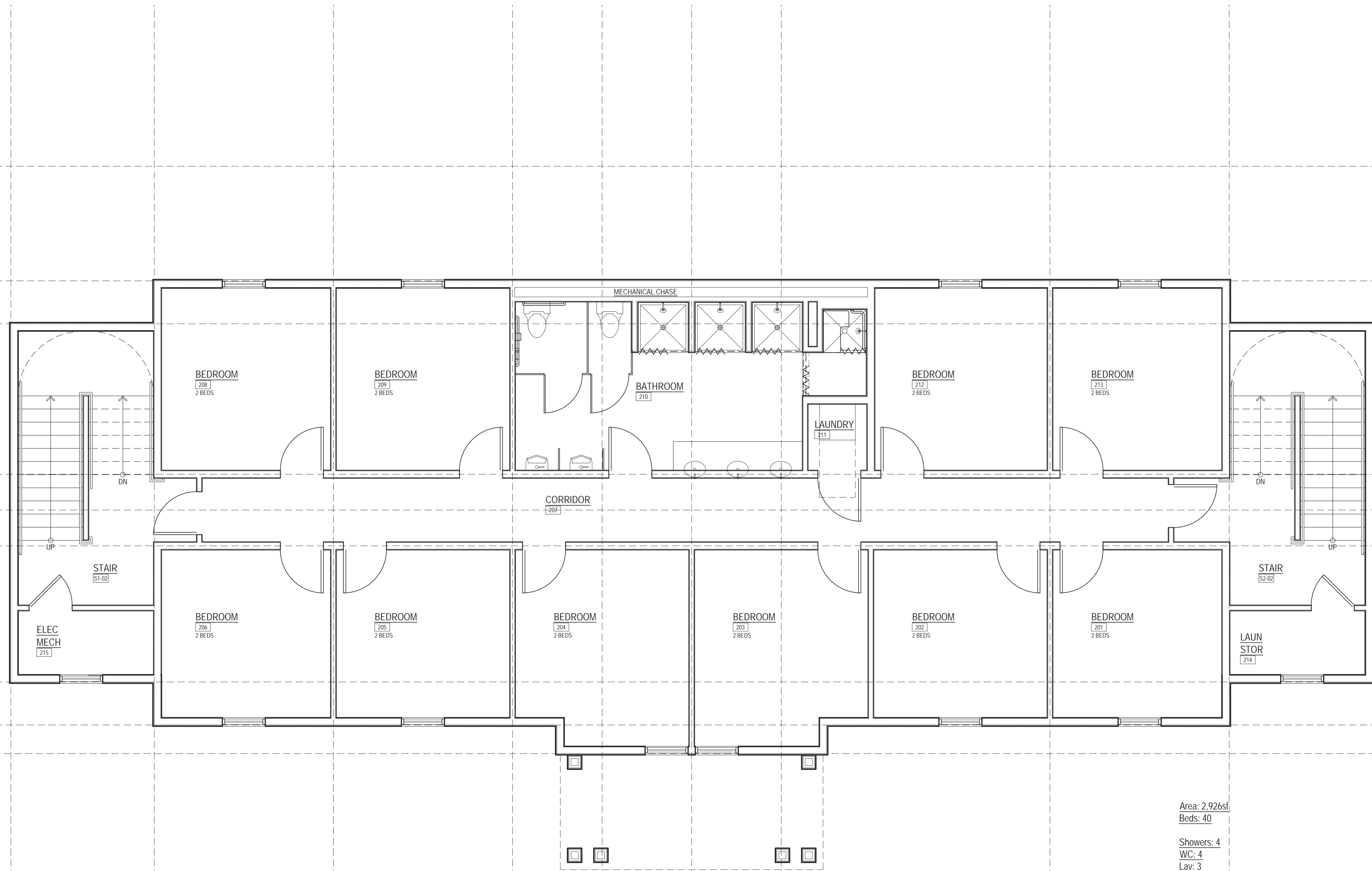
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Alpha Tau Omega- University of New Hampshire
 Durham, New Hampshire

09.02.2020



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 Architecture LLC



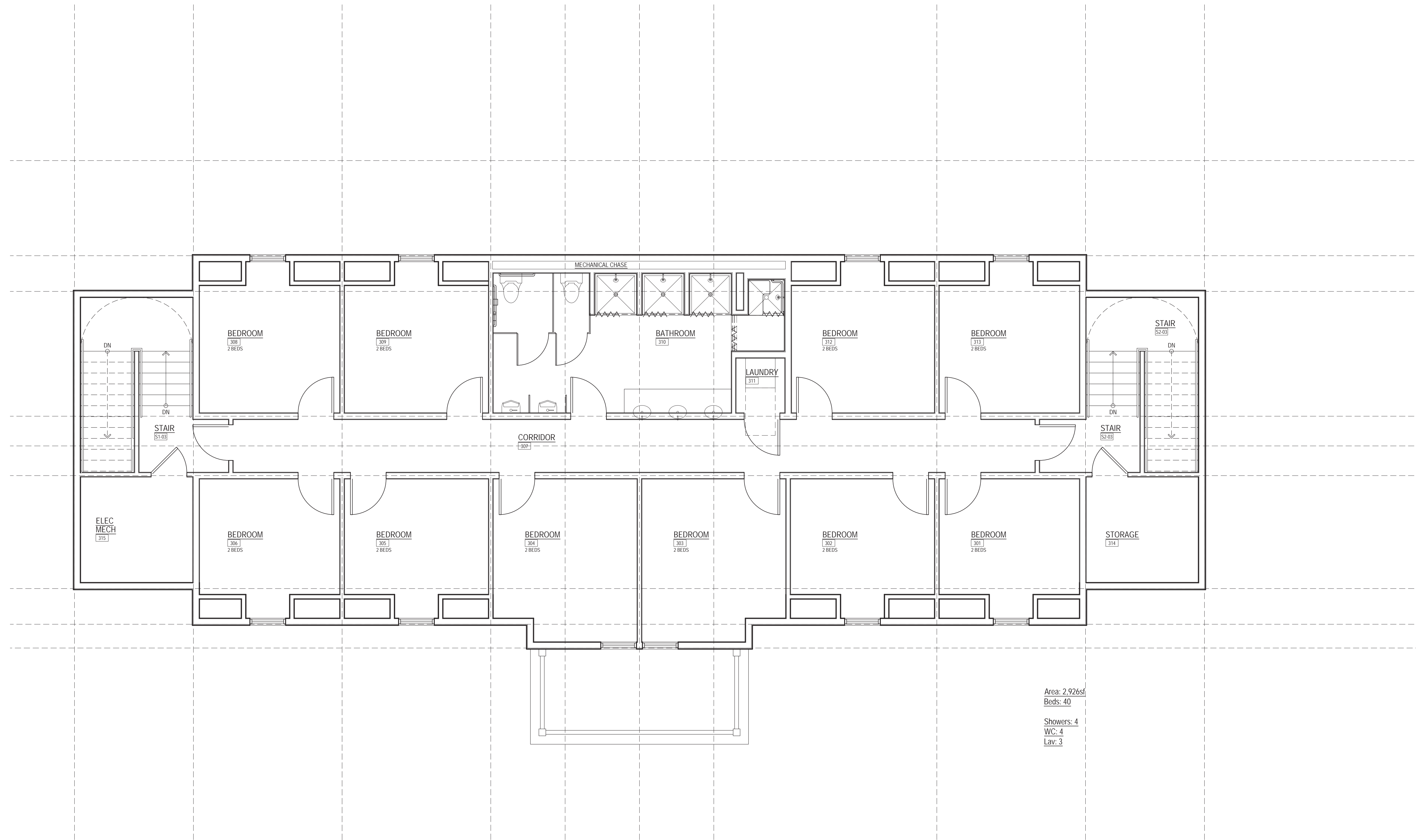
Second Floor Plan

Scale: 1/8" = 1'-0"

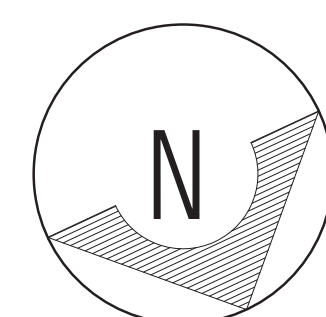
Alpha Tau Omega- University of New Hampshire
Durham, New Hampshire

09.02.2020





Area: 2,926sf
 Beds: 40
 Showers: 4
 WC: 4
 Lav: 3



Third Floor Plan

Scale: 1/8" = 1'-0"

Alpha Tau Omega- University of New Hampshire
 Durham, New Hampshire

09.02.2020





Front Elevation

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Durham, New Hampshire

08.20.2020



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Architecture LLC



Front Perspective

Alpha Tau Omega- University of New Hampshire
Durham, New Hampshire

08.20.2020

