

CLARK PROPERTIES LLC

74 MAIN STREET

DURHAM NEW HAMPSHIRE

JUNE 2022

OWNER:

CLARK PROPERTIES LLC
28 CEDAR POINT ROAD
DURHAM, NH 03824

ENGINEER

horizons
Engineering

5 RAILROAD STREET
NEWMARKET, NH 03857
(603)659-4979



LOCATION PLAN

NOT TO SCALE

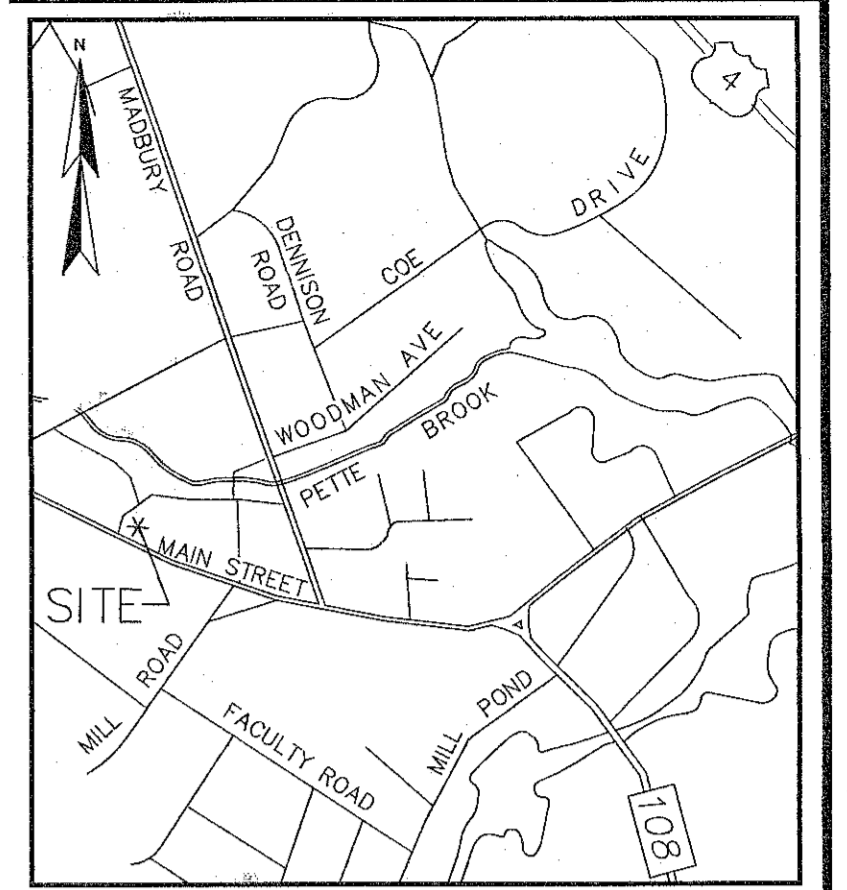
0 10 20 30 40
SCALE: 1" = 10'

EASEMENT NOTES:

- TAX MAP 2, LOT 14-1 IS EITHER SUBJECT TO, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
- A) RIGHTS GRANTED TO NET&T FROM TOWN & CAMPUS, INC. TO ABANDON UNDERGROUND CABLES ON THE PREMISES. SAID RIGHTS DO NOT ALLOW GRANTEE TO PLACE ADDITIONAL CABLE ON THE PREMISES. EASEMENT RECORDED IN S.C.R.D. BOOK 1061, PAGE 652.
 - B) NO RECORDED EASEMENT WAS FOUND FOR THE EXISTING POLES AND ANCHORS ON THE PREMISES.
 - C) EXISTING PARKING SPACES ARE SHOWN ON THIS PLAN BOTH AT THE FRONT OF THE NEW NORTHERLY LOT AND IN THE TOWN'S PROPERTY NEAR MAIN STREET. IT IS UNDERSTOOD THAT NO EASEMENT TO PROVIDE ACCESS TO THESE SPACES IS BEING ESTABLISHED AS PART OF THIS SUBDIVISION.
 - D) EASEMENTS ARE TO BE RECORDED HERewith TO DEFINE ITEMS INCLUDING BUT NOT LIMITED TO PARKING, ACCESS, UTILITIES AND MAINTENANCE.

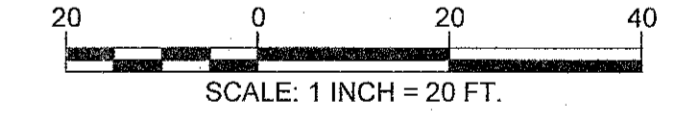
REFERENCE PLANS:

1. "BOUNDARY LINE ADJUSTMENT MAIN ST. & PETTEE BROOK RD. DURHAM, STRAFFORD COUNTY, NEW HAMPSHIRE, BETWEEN TOWN & CAMPUS, INC. & TOWN OF DURHAM" DATED APRIL 16, 1987 BY THOMAS F. MORAN INC. S.C.R.D. PLAN 28A-118.
2. "BOUNDARY LINE ADJUSTMENT PLAN GAMMA THETA CORP., MAIN STREET DURHAM, N.H." DATED 12-15-03 WITH A REVISION DATE OF 1-9-04 BY CAMMETT ENGINEERING. S.C.R.D. PLAN 74-56.



NOTES:

1. REFERENCE: TAX MAP 2, LOT 14-1
 2. TOTAL PARCEL AREA: 18,879 SQ. FT. OR 0.433 AC.
 3. OWNER OF RECORD: TOWN & CAMPUS, INC.
105 PERKINS ROAD
MADURY, NH 03823
S.C.R.D. BOOK 838, PAGE 056
 4. ZONE: CB
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA N/A
MIN. FRONTAGE 50 FT.
MIN. FRONT SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
MIN. SIDE/REAR SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
- ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE DATED 4/16/18 AS AVAILABLE ON THE TOWN WEBSITE ON 5/25/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
5. FIELD SURVEY PERFORMED BY J.P.E. & P.J.M. DURING MAY 2018 USING A TRIMBLE S7 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 6. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 7. VERTICAL DATUM IS BASED ON NAVD88 PER DISK "UNH 13".
 8. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 9. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- THE INTENT OF THIS PLAN IS ALSO TO SUBDIVIDE THE EXISTING TAX MAP 2, LOT 14-1 INTO TWO PARCELS OF APPROXIMATELY EQUAL SQUARE FOOTAGE. THE NEW LOT NUMBERS SHALL BE 14-1 AND 14-1-1. THE NEW STREET ADDRESSES SHALL BE 72 MAIN STREET AND 74 MAIN STREET AS SHOWN ON THE PLAN.
10. ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
 11. THE BUILDINGS ON THE PARCEL ARE SERVICED BY MUNICIPAL WATER AND SEWER. THE SEWER IS BELIEVED TO BE SERVICED FROM PETTEE BROOK LANE AS INDICATED HEREON. THE WATER IS BELIEVED TO BE SERVICED FROM MAIN STREET. THE EXACT LOCATIONS OF THE SERVICES WAS NOT OBSERVED DURING THE SURVEY. FURTHERMORE THE TOWN ENGINEERING DEPARTMENT DID NOT HAVE THIS INFORMATION AVAILABLE.
 12. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM, NH. (603) 868-8064.

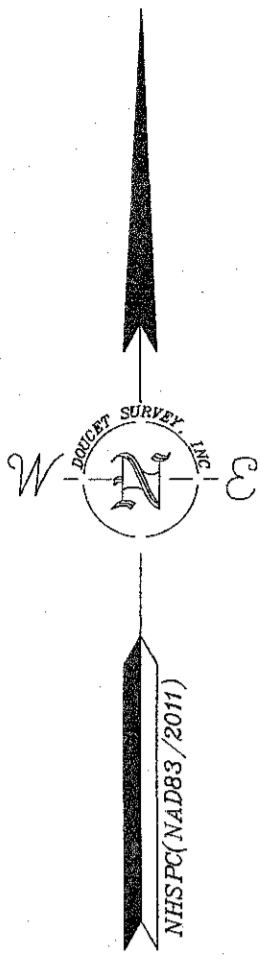


SUBDIVISION PLAN
 FOR
 TOWN & CAMPUS, INC.
 OF
 TAX MAP 2, LOT 14-1
 72 MAIN STREET
 DURHAM, NEW HAMPSHIRE

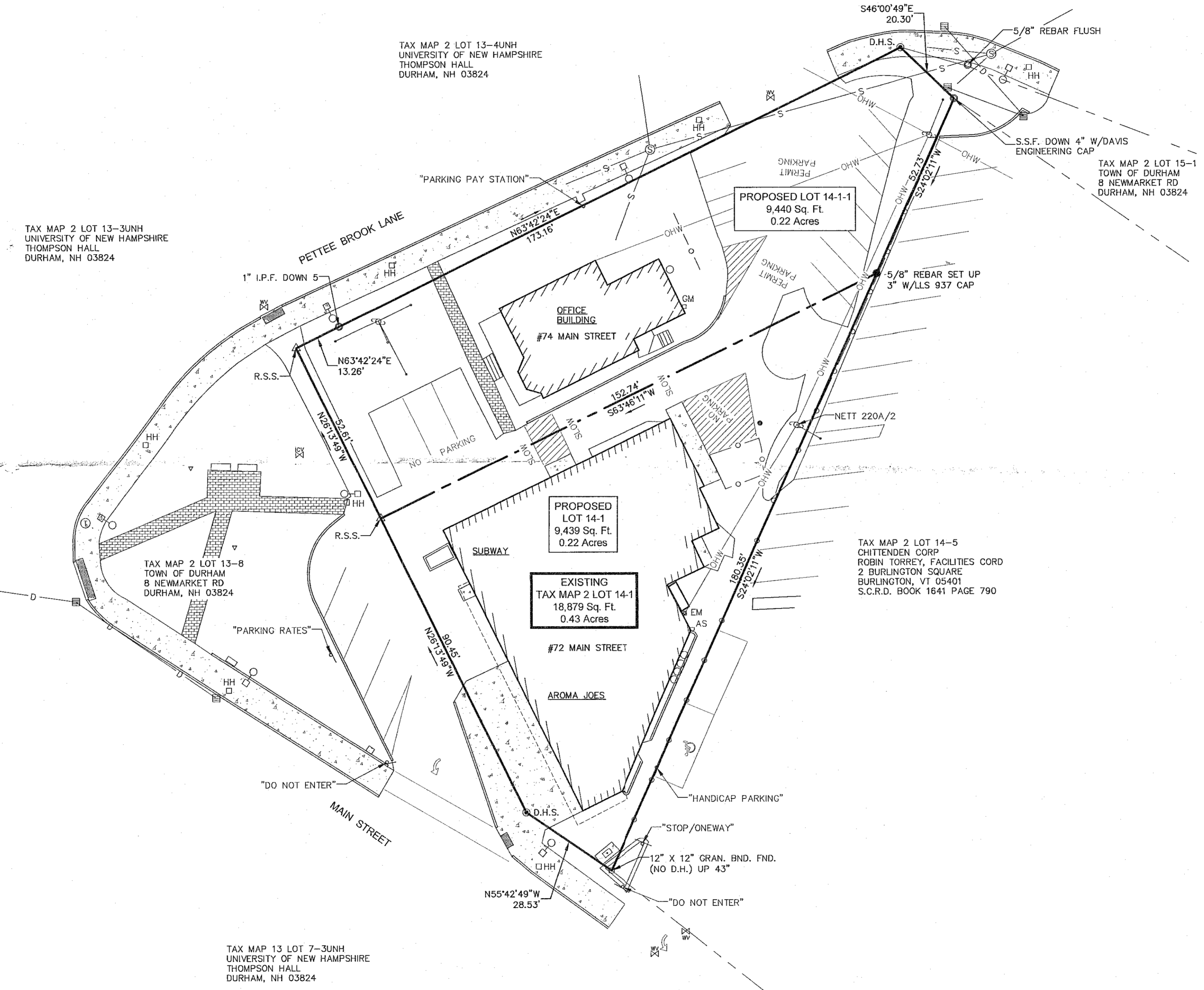
NO.	DATE	REVISIONS PER TOWN CONDITIONS	DESCRIPTION	BY
1	09/06/18		REVISIONS PER TOWN CONDITIONS	J.F.K.

DRAWN BY:	E.J.S.	DATE:	JULY 11, 2018
CHECKED BY:	J.F.K.	DRAWING NO.:	5549A
JOB NO.:	5549	SHEET	1 OF 1

DOUCET SURVEY
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 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>



- LEGEND**
- EXISTING LOT LINE
 - PROPOSED LOT LINE
 - CHAIN LINK FENCE
 - OVERHEAD WIRE
 - SEWER LINE
 - DRAIN LINE
 - CONCRETE
 - BRICK
 - UTILITY POLE
 - UTILITY POLE & GUY WIRE
 - SIGN
 - LIGHT POLE W/ARM
 - BOLLARD
 - WATER GATE VALVE
 - HAND HOLE
 - CATCH BASIN
 - IRRIGATION CONTROL VALVE
 - BOUND FOUND
 - IRON ROD/PIPE FOUND
 - IRON PIPE FOUND
 - S.S.F. STEEL STAKE FOUND
 - D.H.S. DRILL HOLE SET (9/6/18)
 - R.S.S. RAILROAD SPIKE SET (9/6/18)
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - SLOPED BITUMINOUS BERM
 - VERTICAL BITUMINOUS BERM
 - SINGLE WHITE LINE
 - AUTO SPRINKLER
 - ELECTRIC METER
 - MAILBOX
 - ACCESSIBLE PARKING SPACE



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

NEW STATE OF NEW HAMPSHIRE
 LAND SURVEYORS
 JOHN F. KAISER
 SIGNATURE

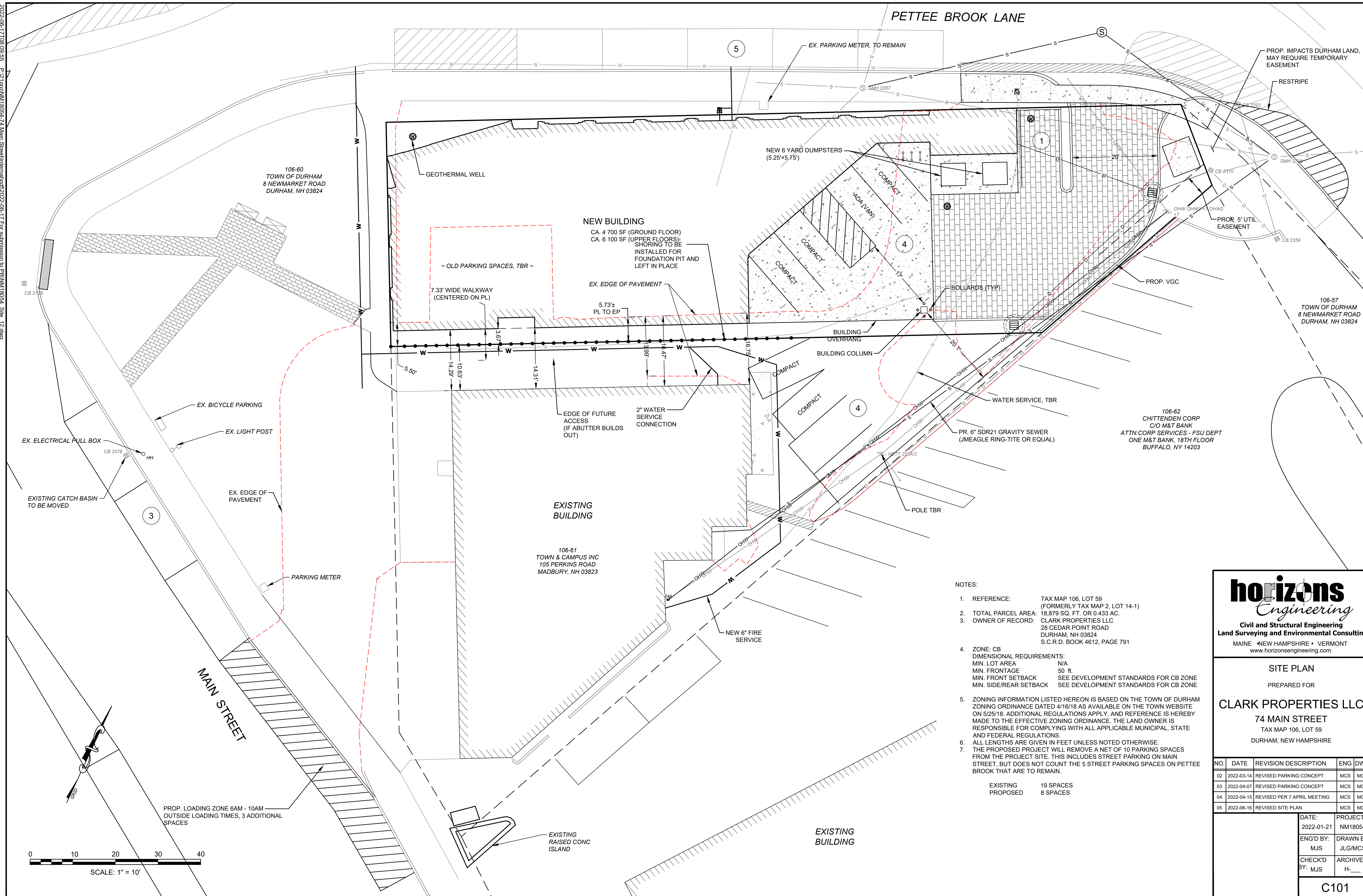
John F. Kaiser L.L.S. #937
 9/7/18 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

FINAL APPROVAL BY DURHAM PLANNING BOARD,
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 DATE 9 OCT 2018

DATE MADE: 09/06/2018 10:54 AM
 USER: JKAISER
 PLOT: 117-005
 SHEET: 1 OF 1
 PROJECT: 117-005

2022-06-17 10:09:55 P:\2\proj\NM 18054-74 Main Street\main\p\2022-06-17 For submission to FR\NM 18054_Site_12.dwg



NOTES:

1. REFERENCE: TAX MAP 106, LOT 59 (FORMERLY TAX MAP 2, LOT 14-1)
2. TOTAL PARCEL AREA: 18,879 SQ. FT. OR 0.433 AC.
3. OWNER OF RECORD: CLARK PROPERTIES LLC
28 CEDAR POINT ROAD
DURHAM, NH 03824
S.C.R.D. BOOK 4612, PAGE 791
4. ZONE: CB
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA N/A
MIN. FRONTAGE 50 ft.
MIN. FRONT SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
MIN. SIDE/REAR SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
5. ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE DATED 4/16/18 AS AVAILABLE ON THE TOWN WEBSITE ON 5/25/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
6. ALL LENGTHS ARE GIVEN IN FEET UNLESS NOTED OTHERWISE.
7. THE PROPOSED PROJECT WILL REMOVE A NET OF 10 PARKING SPACES FROM THE PROJECT SITE. THIS INCLUDES STREET PARKING ON MAIN STREET, BUT DOES NOT COUNT THE 5 STREET PARKING SPACES ON PETTEE BROOK THAT ARE TO REMAIN.

EXISTING	19 SPACES
PROPOSED	8 SPACES

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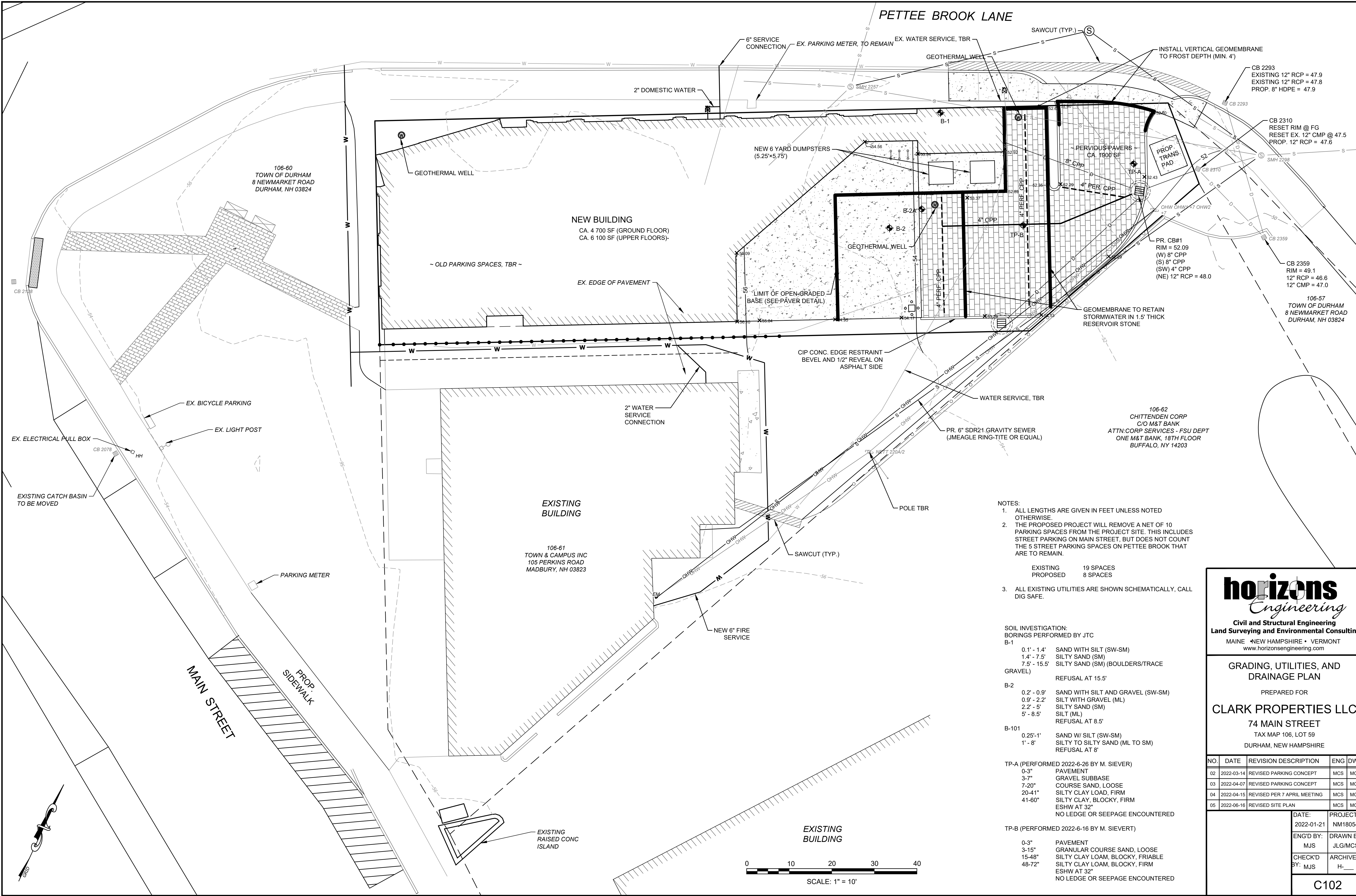
SITE PLAN
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
02	2022-03-14	REVISED PARKING CONCEPT	MCS	MCS
03	2022-04-07	REVISED PARKING CONCEPT	MCS	MCS
04	2022-04-15	REVISED PER 7 APRIL MEETING	MCS	MCS
05	2022-06-16	REVISED SITE PLAN	MCS	MCS

DATE: 2022-01-21	PROJECT #: NM18054
ENG'D BY: MJS	DRAWN BY: JLG/MCS
CHECK'D BY: MJS	ARCHIVE #: H-___

C101

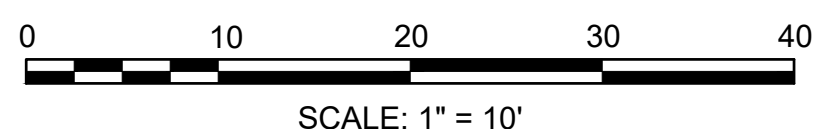
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- NOTES:**
1. ALL LENGTHS ARE GIVEN IN FEET UNLESS NOTED OTHERWISE.
 2. THE PROPOSED PROJECT WILL REMOVE A NET OF 10 PARKING SPACES FROM THE PROJECT SITE. THIS INCLUDES STREET PARKING ON MAIN STREET, BUT DOES NOT COUNT THE 5 STREET PARKING SPACES ON PETTEE BROOK THAT ARE TO REMAIN.
 3. ALL EXISTING UTILITIES ARE SHOWN SCHEMATICALLY, CALL DIG SAFE.

EXISTING	19 SPACES
PROPOSED	8 SPACES

- SOIL INVESTIGATION:**
BORINGS PERFORMED BY JTC
- B-1**
- 0.1' - 1.4' SAND WITH SILT (SW-SM)
 - 1.4' - 7.5' SILTY SAND (SM)
 - 7.5' - 15.5' SILTY SAND (SM) (BOULDERS/TRACE GRAVEL)
- B-2**
- 0.2' - 0.9' SAND WITH SILT AND GRAVEL (SW-SM)
 - 0.9' - 2.2' SILT WITH GRAVEL (ML)
 - 2.2' - 5' SILTY SAND (SM)
 - 5' - 8.5' SILT (ML)
- B-101**
- 0.25'-1' SAND W/ SILT (SW-SM)
 - 1' - 8' SILTY TO SILTY SAND (ML TO SM)
- TP-A (PERFORMED 2022-6-26 BY M. SIEVER)**
- 0-3" PAVEMENT
 - 3-7" GRAVEL SUBBASE
 - 7-20" COURSE SAND, LOOSE
 - 20-41" SILTY CLAY LOAM, FIRM
 - 41-60" SILTY CLAY, BLOCKY, FIRM
- ESHW AT 32"
NO LEDGE OR SEEPAGE ENCOUNTERED
- TP-B (PERFORMED 2022-6-16 BY M. SIEVERT)**
- 0-3" PAVEMENT
 - 3-15" GRANULAR COURSE SAND, LOOSE
 - 15-48" SILTY CLAY LOAM, BLOCKY, FRIABLE
 - 48-72" SILTY CLAY LOAM, BLOCKY, FIRM
- ESHW AT 32"
NO LEDGE OR SEEPAGE ENCOUNTERED



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GRADING, UTILITIES, AND DRAINAGE PLAN

PREPARED FOR

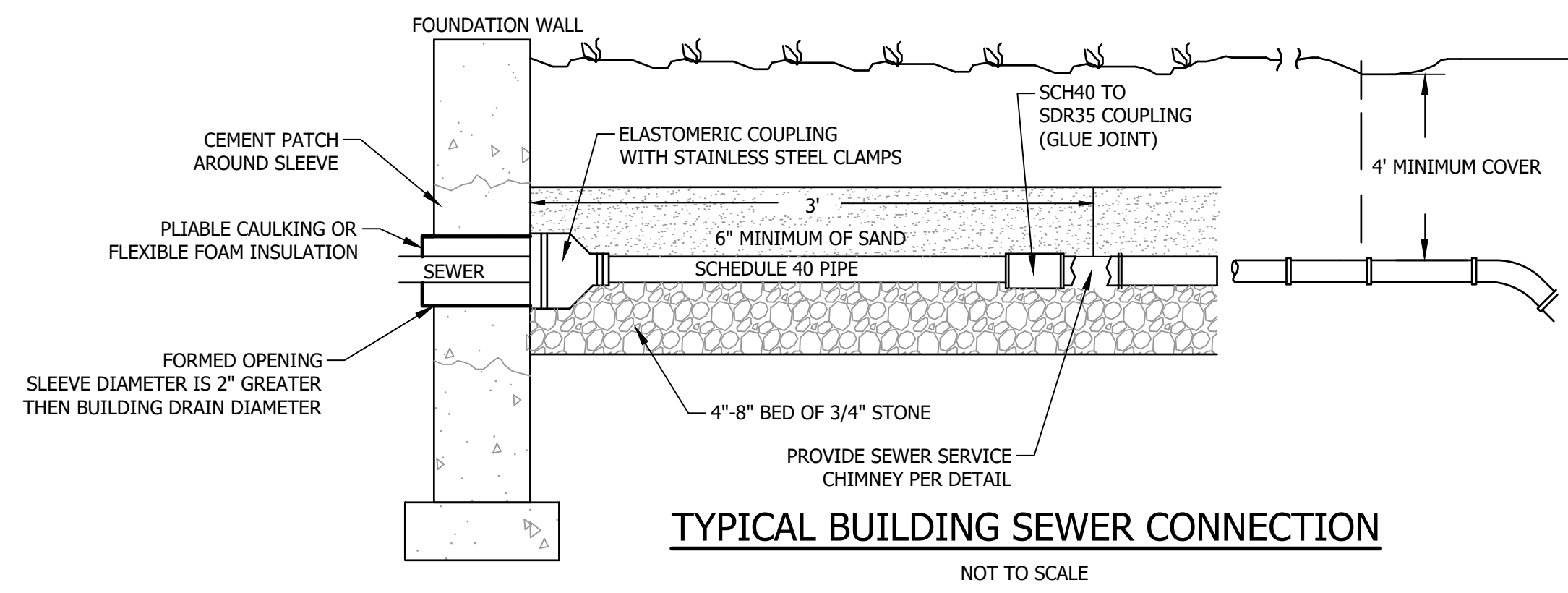
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
02	2022-03-14	REVISED PARKING CONCEPT	MCS	MCS
03	2022-04-07	REVISED PARKING CONCEPT	MCS	MCS
04	2022-04-15	REVISED PER 7 APRIL MEETING	MCS	MCS
05	2022-06-16	REVISED SITE PLAN	MCS	MCS

DATE:	2022-01-21	PROJECT #:	NM18054
ENG'D BY:	MJS	DRAWN BY:	JLG/MCS
CHECK'D BY:	MJS	ARCHIVE #:	H-___

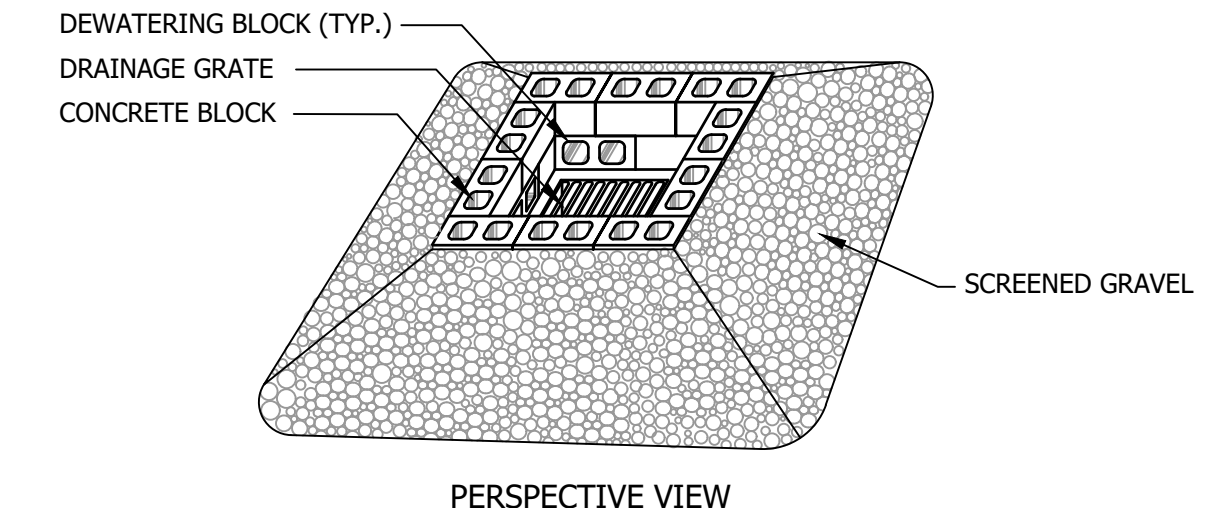
C102

FOR REVIEW
NOT FOR CONSTRUCTION

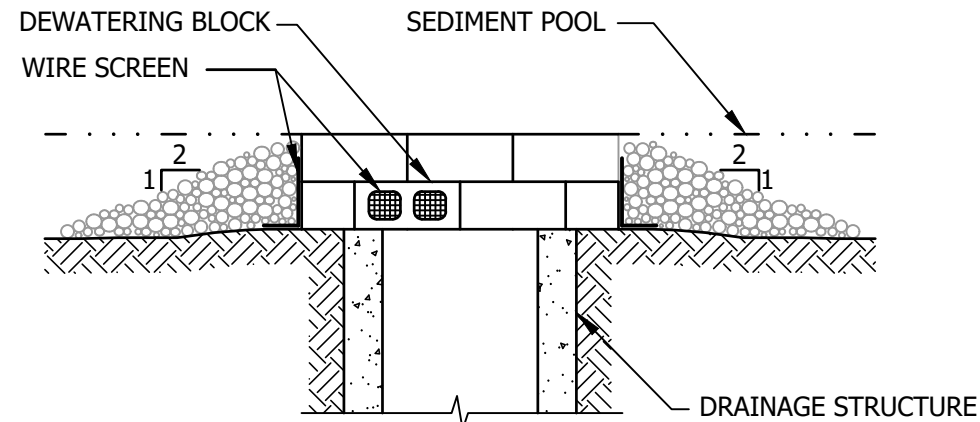


TYPICAL BUILDING SEWER CONNECTION

NOT TO SCALE



PERSPECTIVE VIEW

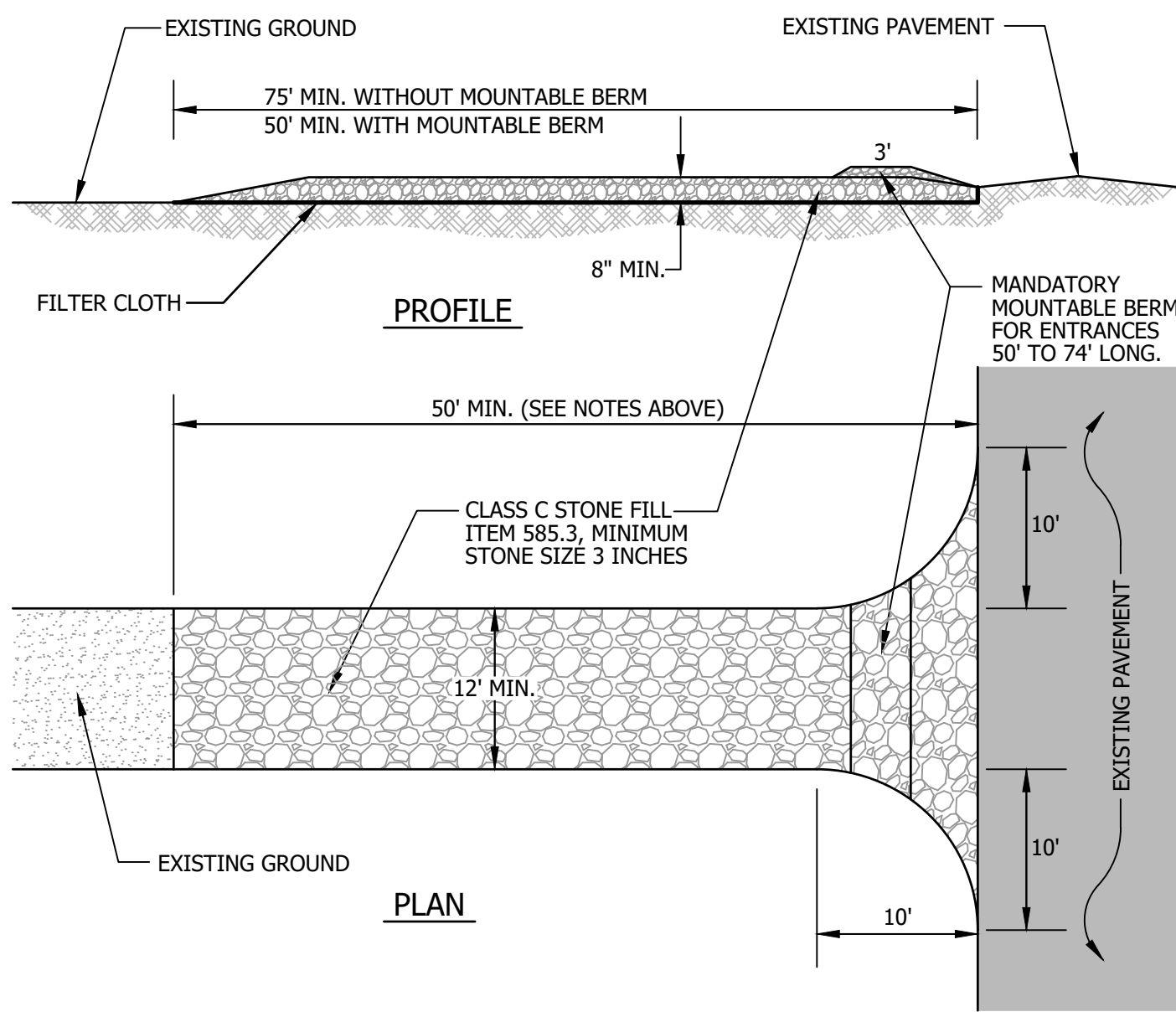


SECTION

- MATERIALS SPECIFICATIONS:**
1. CONCRETE BLOCKS: HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, 8" x 8" x 16" DIMENSION.
 2. WIRE SCREEN: HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS.
 3. SCREENED GRAVEL: UNIFORMLY GRADED 3/8" TO 1-1/2" DIA. STONE.
- CONSTRUCTION SPECIFICATIONS:**
1. INSTALL BLOCK AND GRAVEL INLET PROTECTION WHERE INDICATED OR WARRANTED.
 2. EXCAVATE FOUNDATION 2" BELOW RIM OF STORM DRAIN.
 3. PLACE BOTTOM ROW OF BLOCKS AGAINST EDGE OF STORM DRAIN WITH ONE BLOCK ON EACH SIDE OF THE ROW BEING LAID ON ITS SIDE. PLACE TOP ROW OF BLOCKS.
 4. INSTALL WIRE SCREEN OVER ALL DEWATERING BLOCKS.
 5. PLACE SCREENED GRAVEL AROUND EXTERIOR OF BLOCK BARRIER TO 1" BELOW THE TOP OF THE BLOCKS.

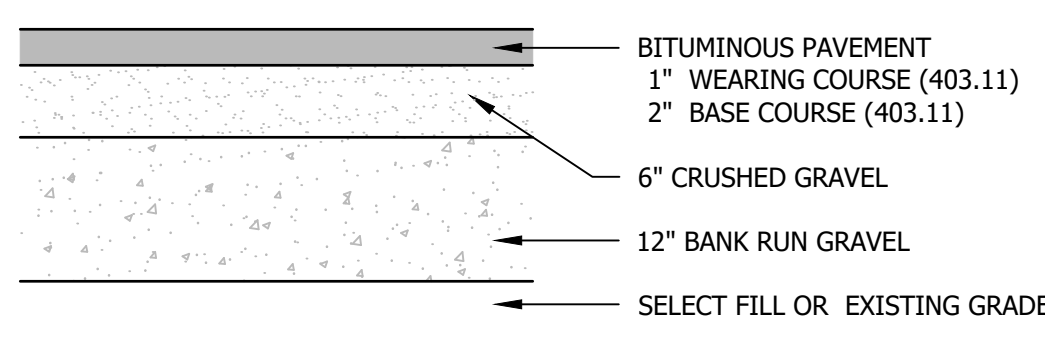
CATCH BASIN INLET PROTECTION DETAIL

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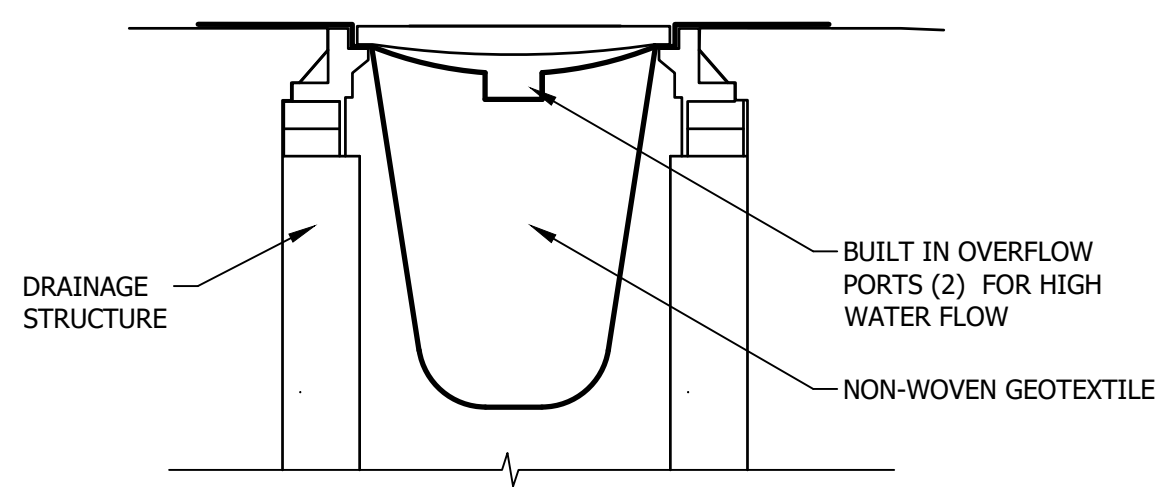
STABILIZED CONSTRUCTION ENTRANCE

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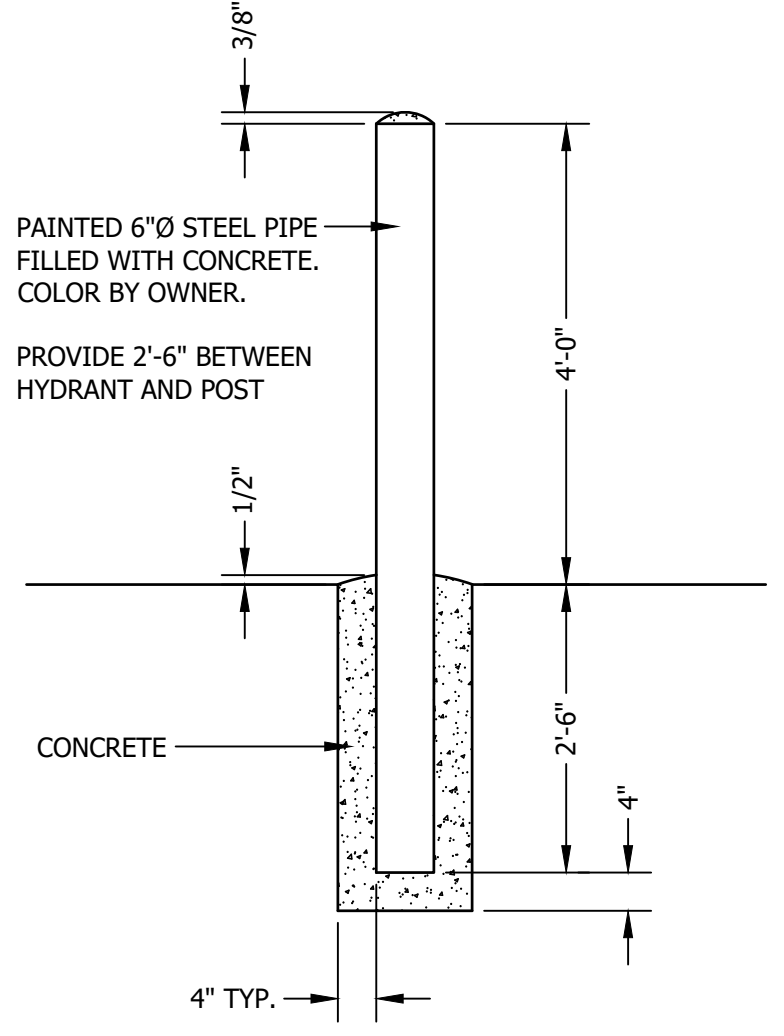
TYPICAL PAVEMENT SECTION

NOT TO SCALE



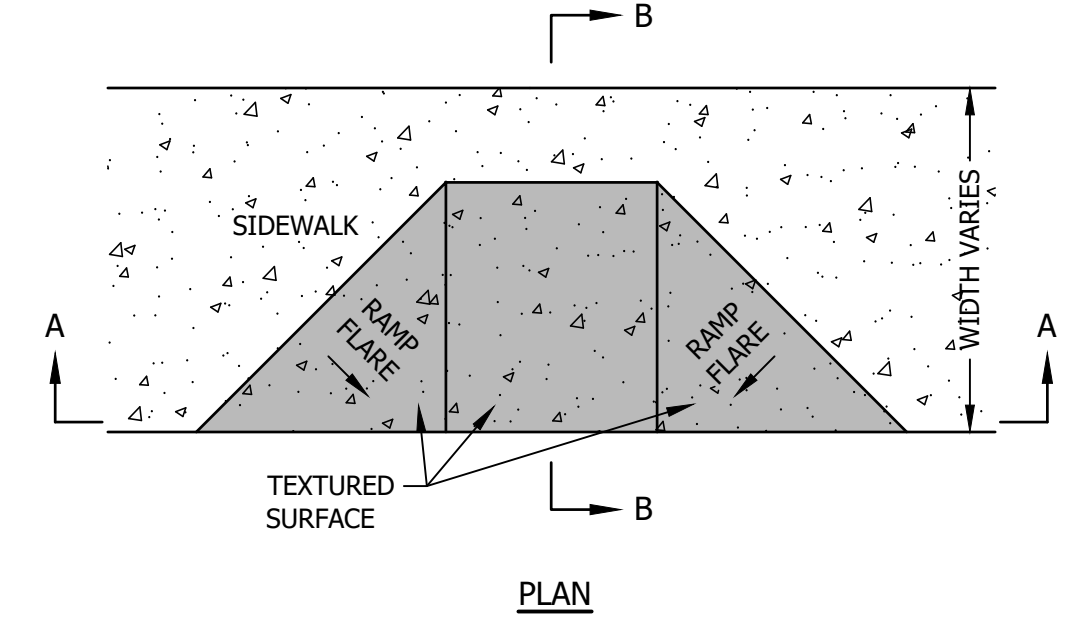
CATCH BASIN PROTECTION INSERT TYPE

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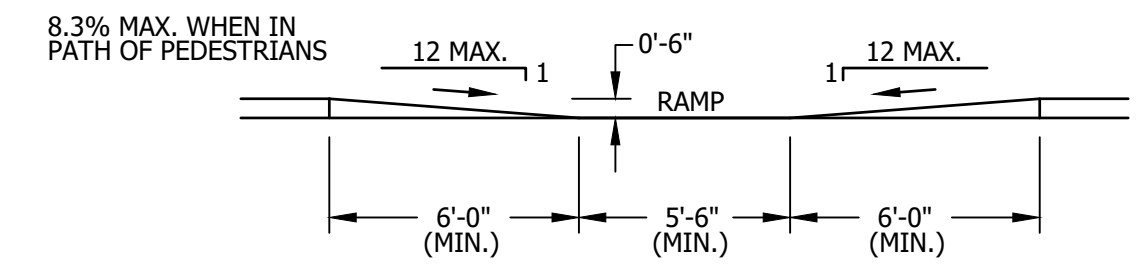


CONCRETE FILLED BOLLARD DETAIL

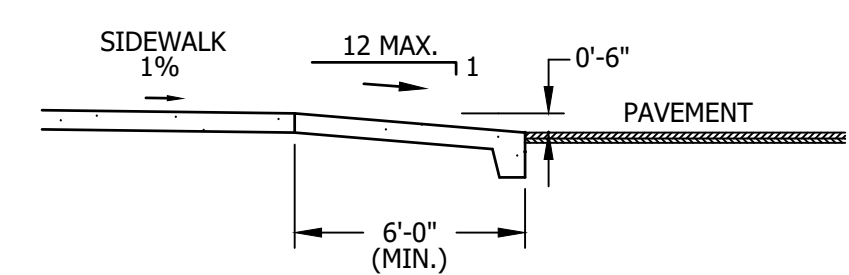
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PLAN



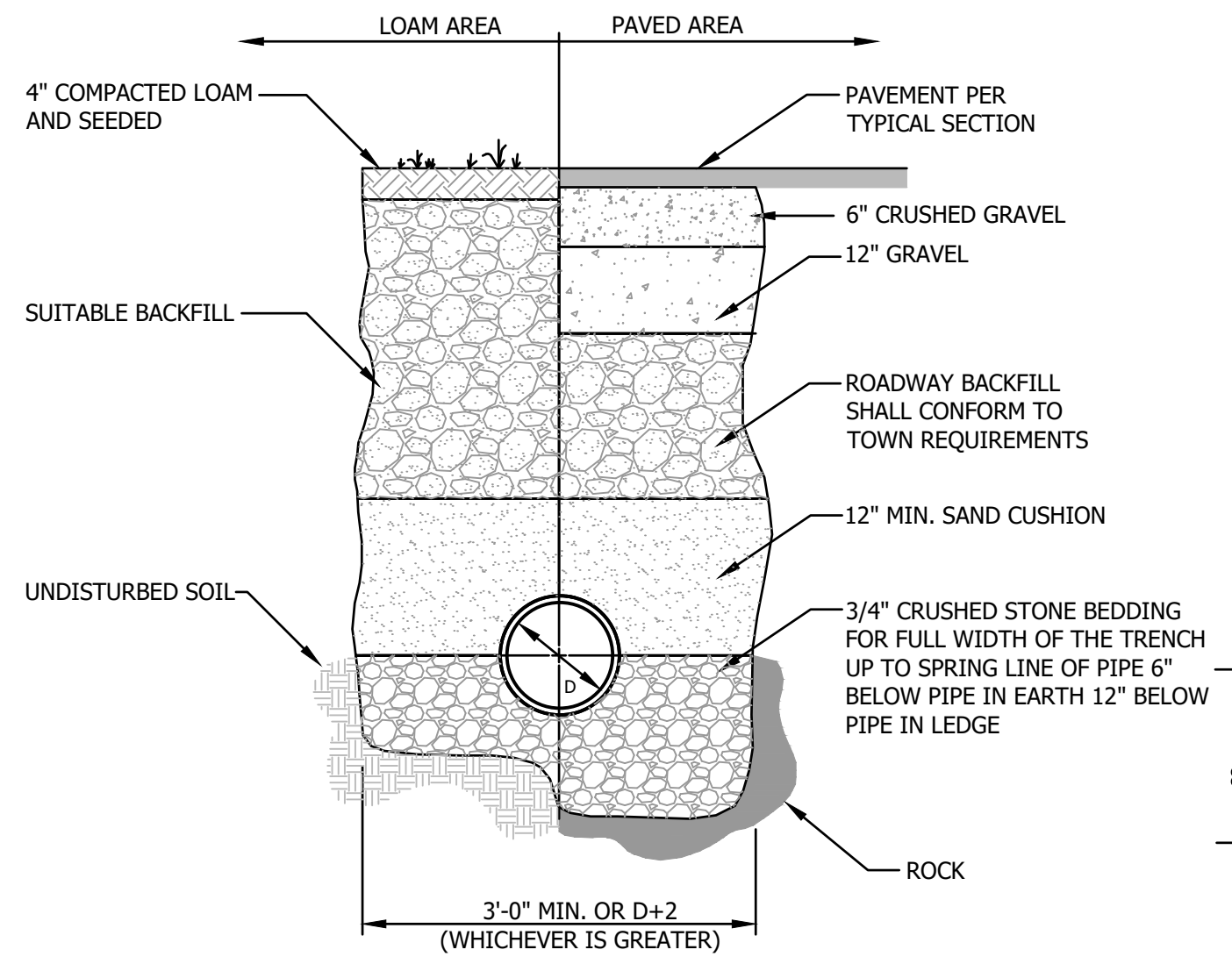
SECTION A - A



SECTION B - B

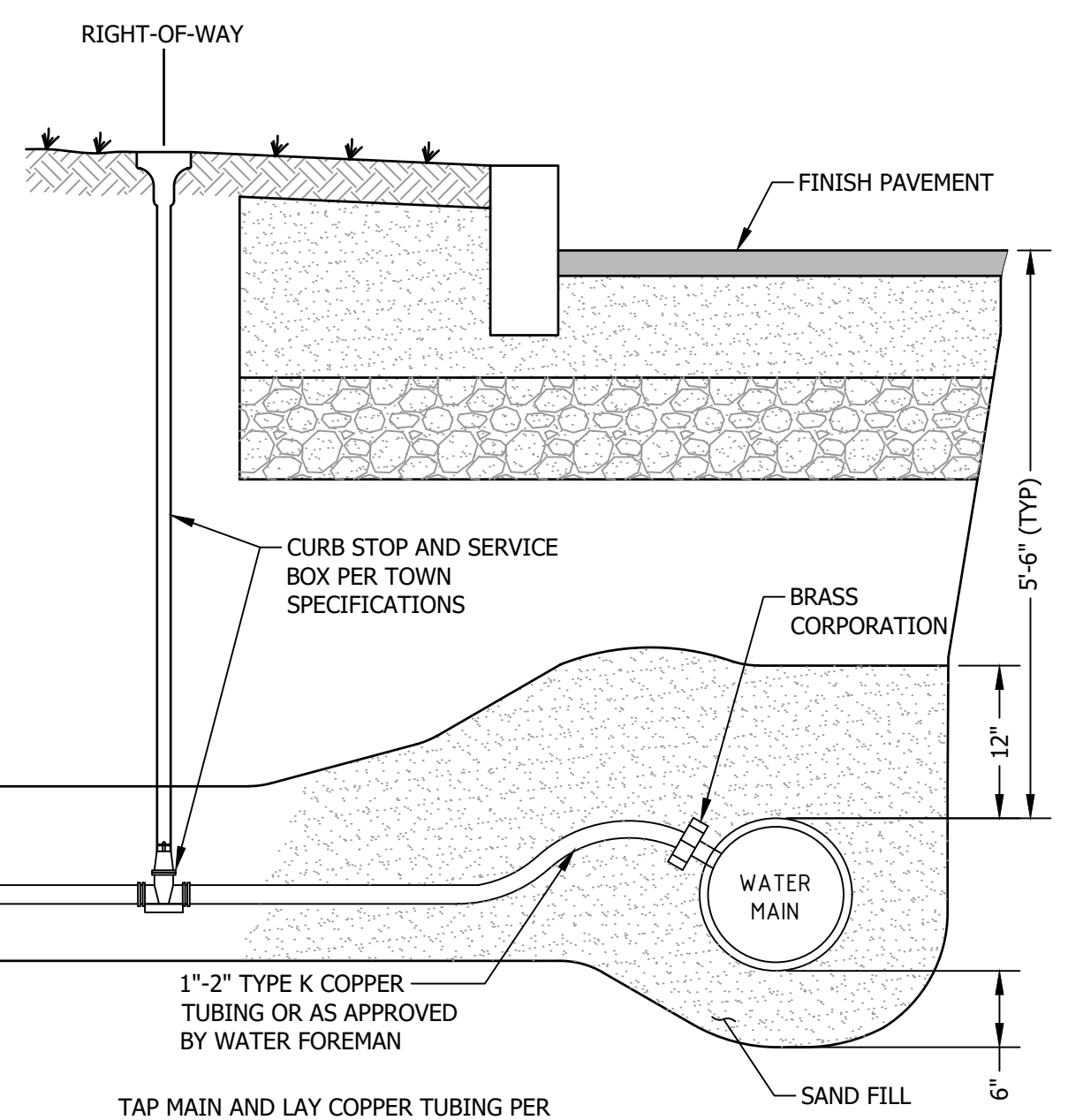
SIDEWALK RAMP DETAIL

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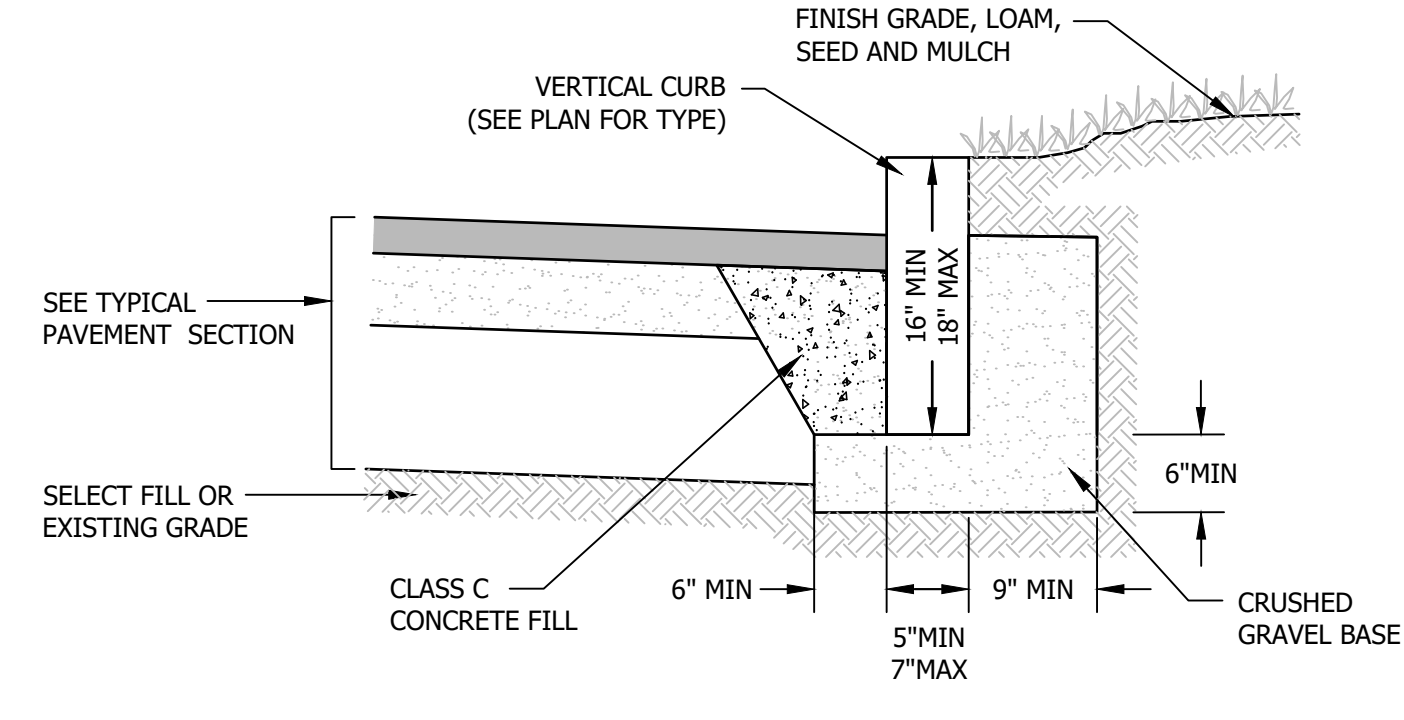
TYPICAL DRAINAGE TRENCH DETAIL

NOT TO SCALE



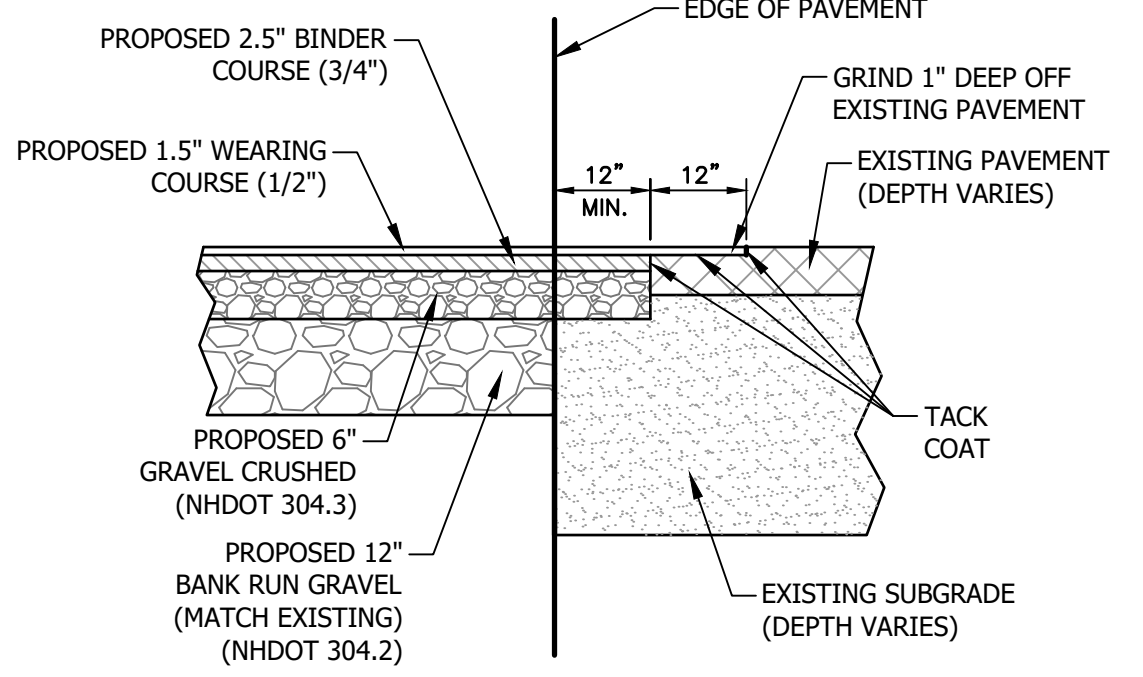
WATER SERVICE INSTALLATION DETAIL

NOT TO SCALE



TYPICAL VERTICAL CURB DETAIL

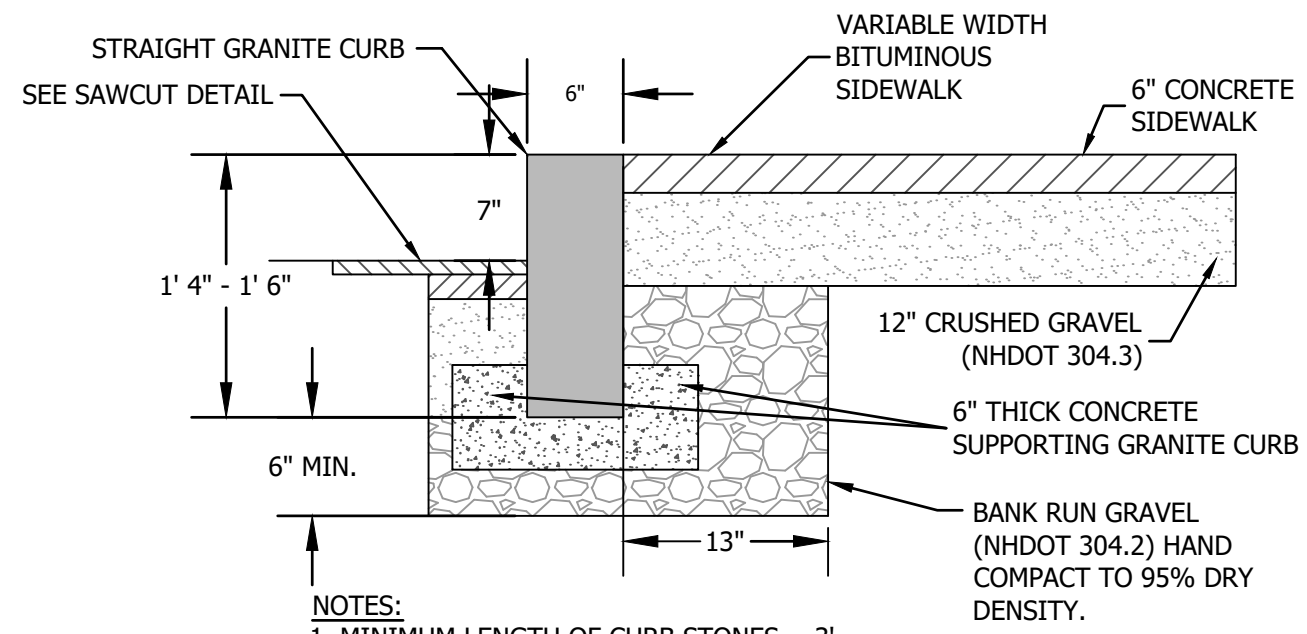
NOT TO SCALE



TYPICAL PAVEMENT SAWCUT DETAIL

NOT TO SCALE

- PAVEMENT SAWCUT NOTES:**
1. SAWCUT THROUGH DEPTH OF PAVEMENT AT LEAST 1 FT. FROM EDGE OR GREATER IF REQUIRED BY NHDOT.
 2. INSTALL AND COMPACT CRUSHED GRAVEL TO GRADE.
 3. PLACE BINDER COURSE.
 4. GRIND EXISTING PAVEMENT 1 FT. WIDE TO A DEPTH NECESSARY TO PROPERLY MATCH NEW WEARING COURSE PAVEMENT.
 5. TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.



TYPICAL CONCRETE SIDEWALK SECTION WITH VERTICAL GRANITE CURB

NOT TO SCALE

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POMFRET VT • KENNEBUNK ME • CONWAY NH

CLARK PROPERTIES, LLC

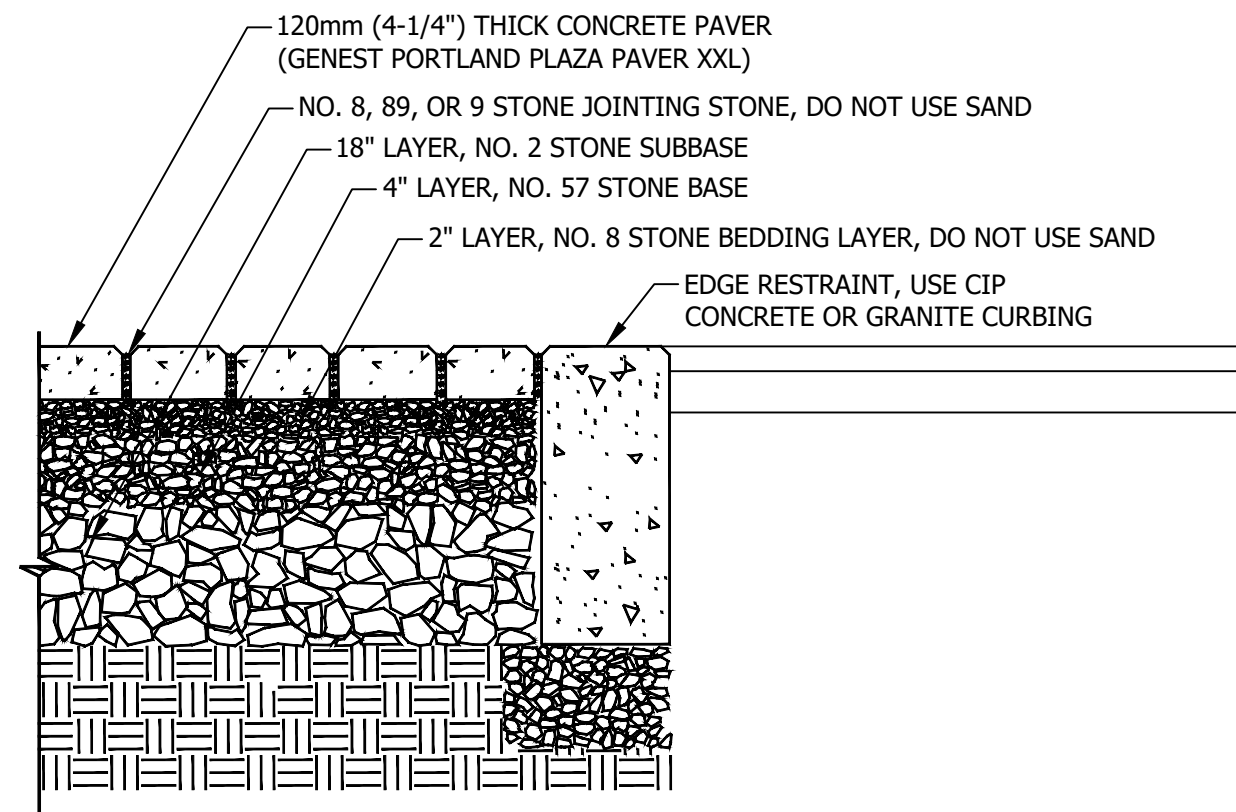
74 MAIN STREET
DURHAM, NH

CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG
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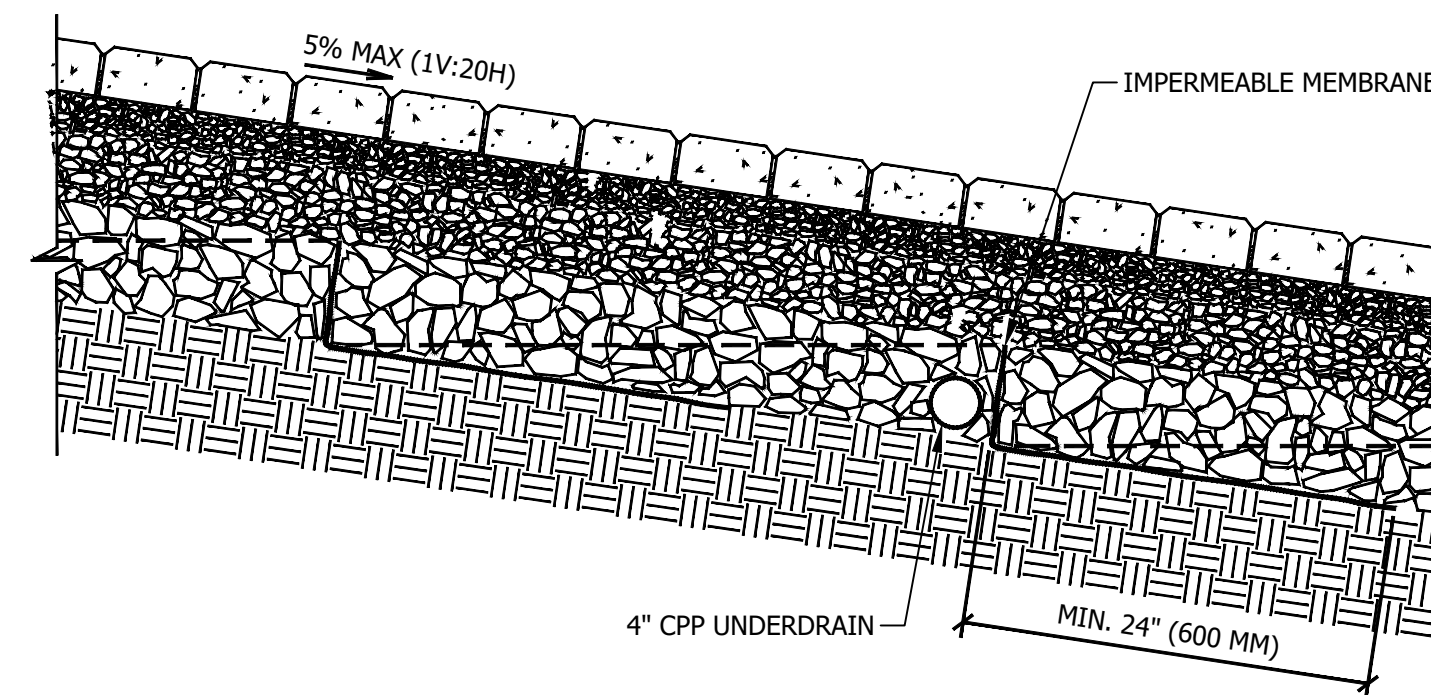
DATE: 2021-03-03	PROJECT #: NM18054
ENGIN'D BY: MJS	DRAWN BY: MCS
CHECK'D BY: MJS	ARCHIVE #: H-___

C501



TYPICAL PERVIOUS PAVER CROSS-SECTION

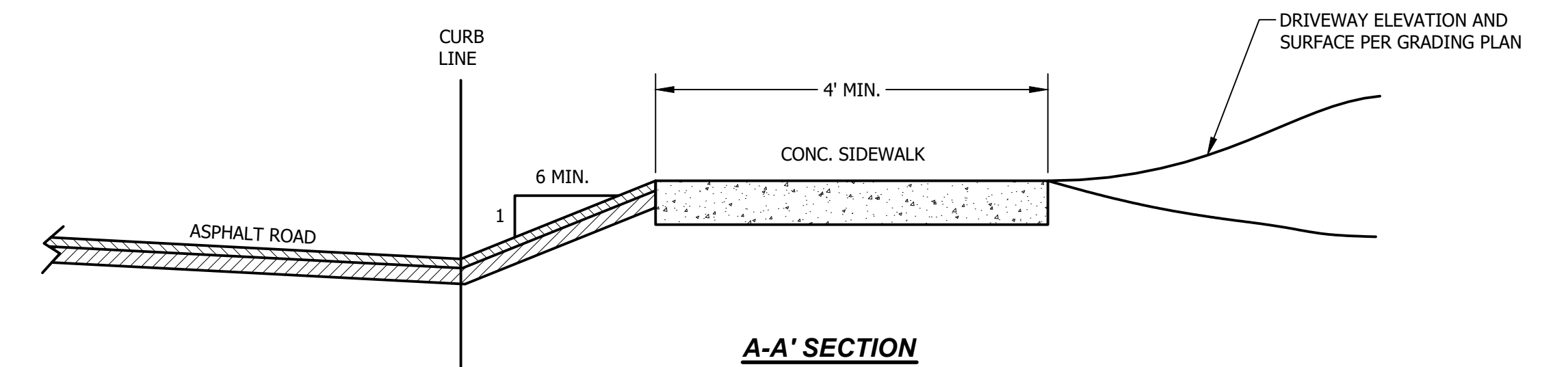
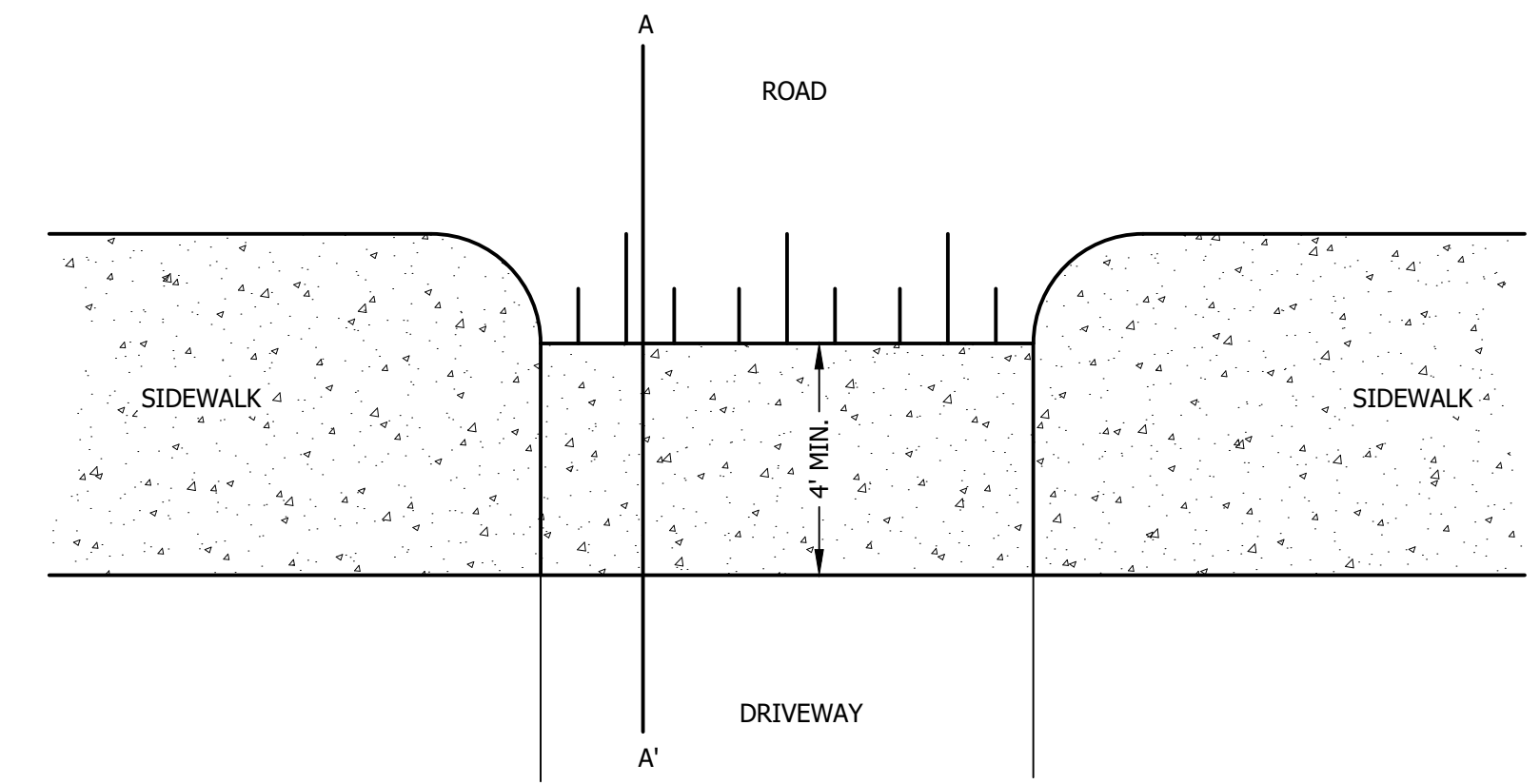
NOT TO SCALE



TYPICAL IMPERMEABLE MEMBRANE CHECK DAM

NOT TO SCALE

- NOTES:
1. LOCATIONS, HEIGHT, AND WIDTHS OF CHECK DAMS TO BE SPECIFIED IN THE DESIGN PLANS.
 2. DEPTH OF CHECK DAM VARIES WITH HYDROLOGIC DESIGN.
 3. UNDERDRAIN TO PASS THROUGH IMPERMEABLE MEMBRANE ATTACHED AS A WATERTIGHT COLLAR.
 4. IMPERMEABLE LINER TOP AND BOTTOM COVER WITH NON-WOVEN GEOTEXTILE (MIRAFI 160N) FOR PROTECTION AGAINST DAMAGE DURING AGGREGATE COMPACTION.



A-A' SECTION

- NOTES:
1. SIDEWALK GRADE SHOULD CONTINUE ACROSS DRIVEWAY WITHOUT A TIPDOWN.
 2. CONC. SIDEWALK MUST BE A MINIMUM 6" THICK AND DESIGNED FOR TRAFFIC LOADING.

TRAFFIC CALMING DRIVEWAY TIPDOWN

NOT TO SCALE

horizons
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NEWPORT VT • LITTLETON NH • NEW LONDON NH
POMFRET VT • KENNEBUNK ME • CONWAY NH

CLARK PROPERTIES, LLC

74 MAIN STREET
DURHAM, NH

CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG
1	2021-07-19	REVISED DRAINAGE DESIGN	MCS

DATE:	PROJECT #:
2021-07-19	NM18054
ENGIN'D BY:	DRAWN BY:
MJS	MCS
CHECK'D BY:	ARCHIVE #:
MJS	H-___

**FOR REVIEW
NOT FOR CONSTRUCTION**

DATE OF PRINT
17 JUNE 2022
HORIZONS ENGINEERING

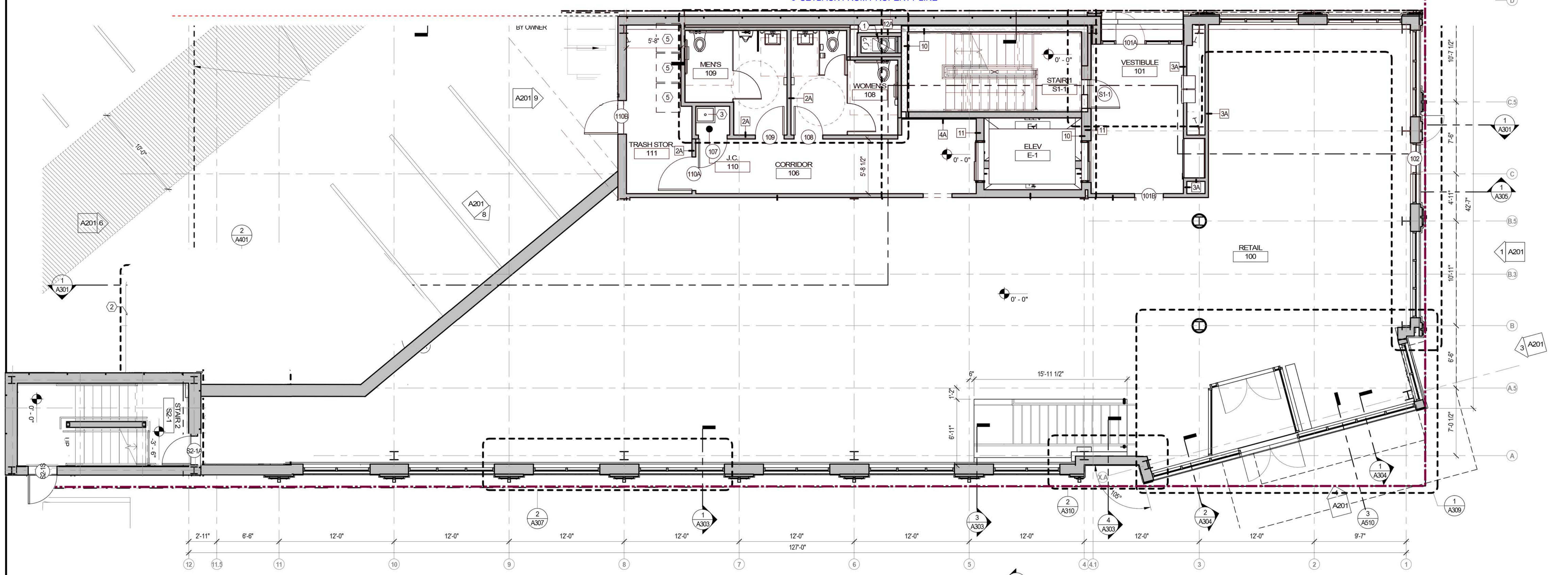
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horizons
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C502

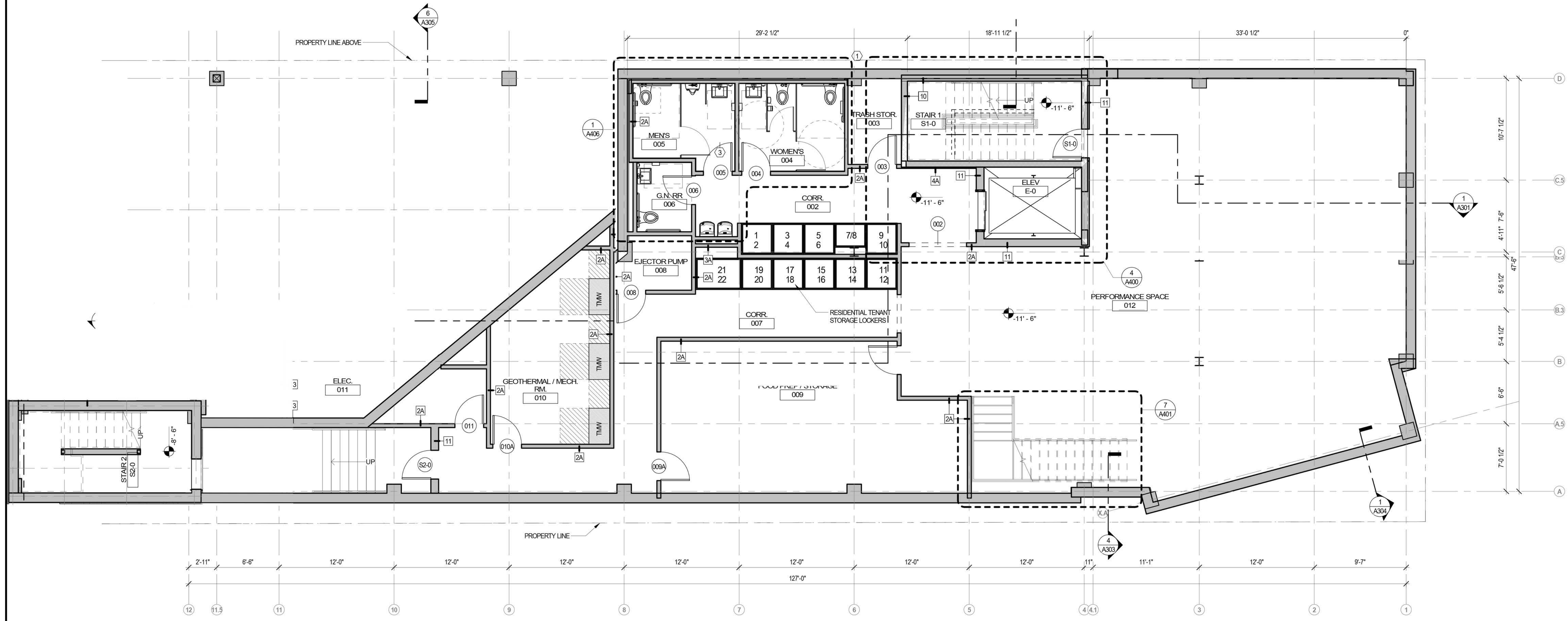
ADJACENT BUILDING

PROPERTY LINE

3' SETBACK FROM PROPERTY LINE



2 FIRST FLOOR - CONSTRUCTION PLAN
3/16" = 1'-0"



1 BASEMENT - CONSTRUCTION PLAN
3/16" = 1'-0"

CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME ROOM TAG
- 1A WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

1. DIMENSIONS:
 - a. ALL DIMENSIONS AND ALIGNMENT INDICATIONS ARE SHOWN FROM FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES, UNLESS NOTED OTHERWISE. "CLEAR" DIMENSIONS AS NOTED BELOW.
 - b. DRAWINGS ARE NOT MEANT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - c. FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. ANY DIMENSION NOTED "VERIFY" OR "VIF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
 - d. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED, WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
2. GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNERS CONTRACTORS.
3. COORDINATE WITH OWNERS VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS. SCHEDULE DELIVERY/INSTALLATION DATES AT THE BEGINNING OF THE JOB OR AT OTHERWISE APPROPRIATE TIMES TO ENSURE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
4. EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION LINE.
5. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL, RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
6. INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
7. ALL WOOD BLOCKING, FRAMING, PLYWOOD, SUBFLOORS, ETC., TO BE FIRE RETARDANT TREATED (FRT). IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE.
8. MAINTAIN THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD. REPLACE MISSING OR DAMAGED FIREPROOFING.
9. TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
10. GO TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

CONSTRUCTION PLAN KEYNOTES

- 1 FIRE RATED CHASE FOR SUPPLY & RETURN AIR DUCTS - SEE MEP DRAWINGS
- 2 METAL GUARDRAIL
- 3 MCP SINK
- 4 FIRE RATED CHASE FOR BLACK IRON DUCT
- 5 96 GA. TRASH TOTE, PROVIDED BY OWNER

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1	2021-09-24	PH2 PROGRESS SET	
	2021-07-23	PH1 GMP SET FOR CIVIL STRUCTURAL AND CIVIL	
NO.	BY	DATE	DESCRIPTION

74 MAIN STREET
 74 MAIN STREET
 DURHAM, NH

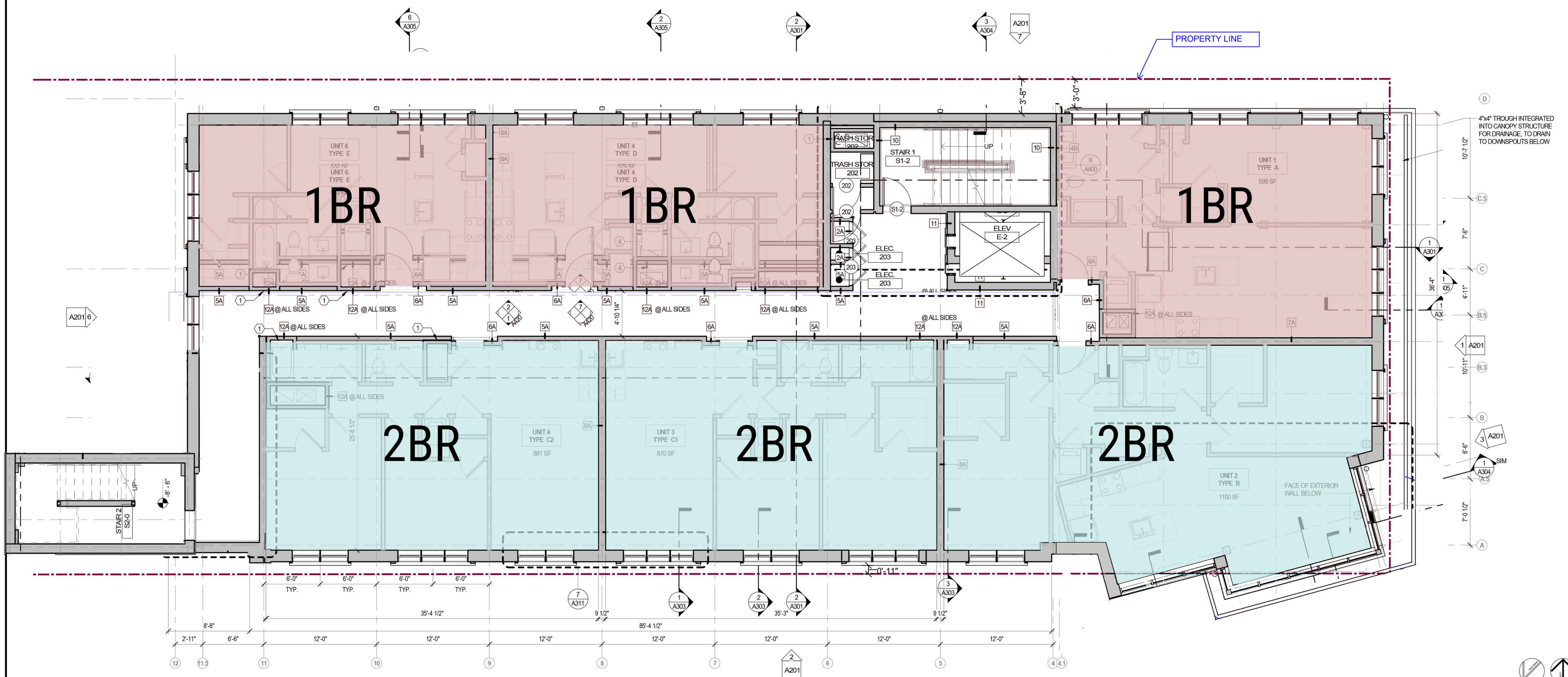
Durham, NH

BASEMENT AND FIRST FLOOR
 CONSTRUCTION PLAN

DRAWN BY: CS
 REVIEWED BY: Checker
 JOB NO: 19096.00

A100

9/24/2021 1:13:35 PM: BM 360/774 Main Street Durham NH 74-MAN-ST_ARCHITECTURAL_BERG_RVT20_CENTRAL.dwg



1 Typical Upper Level (2nd & 3rd Level)
3/16" = 1'-0"

CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME** ROOM TAG
- 1A** WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

1. DIMENSIONS:
 - a. ALL DIMENSIONS AND ALIGNMENT INDICATIONS ARE SHOWN FROM FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES, UNO, WITH THE EXCEPTION OF "CLEAR" DIMENSIONS AS NOTED BELOW.
 - b. DRAWINGS ARE NOT MEANT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - c. FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. ANY DIMENSION NOTED "VERIFY" OR "VF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
 - d. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED, WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
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4. EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION LIND.
5. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL, RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
6. INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
7. ALL WOOD BLOCKING, FRAMING, PLYWOOD, SUBFLOORS, ETC., TO BE FIRE RETARDANT TREATED (FRT). IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE.
8. MAINTAIN THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD. REPLACE MISSING OR DAMAGED FIREPROOFING.
9. TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
10. GC TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

CONSTRUCTION PLAN KEYNOTES

- 1 FIRE-RATED CHASE FOR SUPPLY & RETURN AIR DUCTS - SEE MEP DRAWINGS
- 2 METAL GUARDRAIL
- 3 MOP SINK
- 4 FIRE-RATED CHASE FOR BLACK IRON DUCT
- 5 96 GA. TRASH TOTE, PROVIDED BY OWNER

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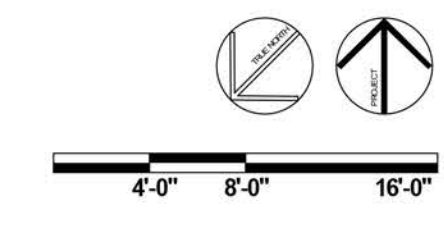
1	2021-09-24	PH2 PROGRESS SET	
	2021-07-23	PH1 GMP SET FORUM STRUCTURAL AND CIVIL	
NO.	BY	DATE	DESCRIPTION

74 MAIN STREET
 74 MAIN STREET
 DURHAM, NH

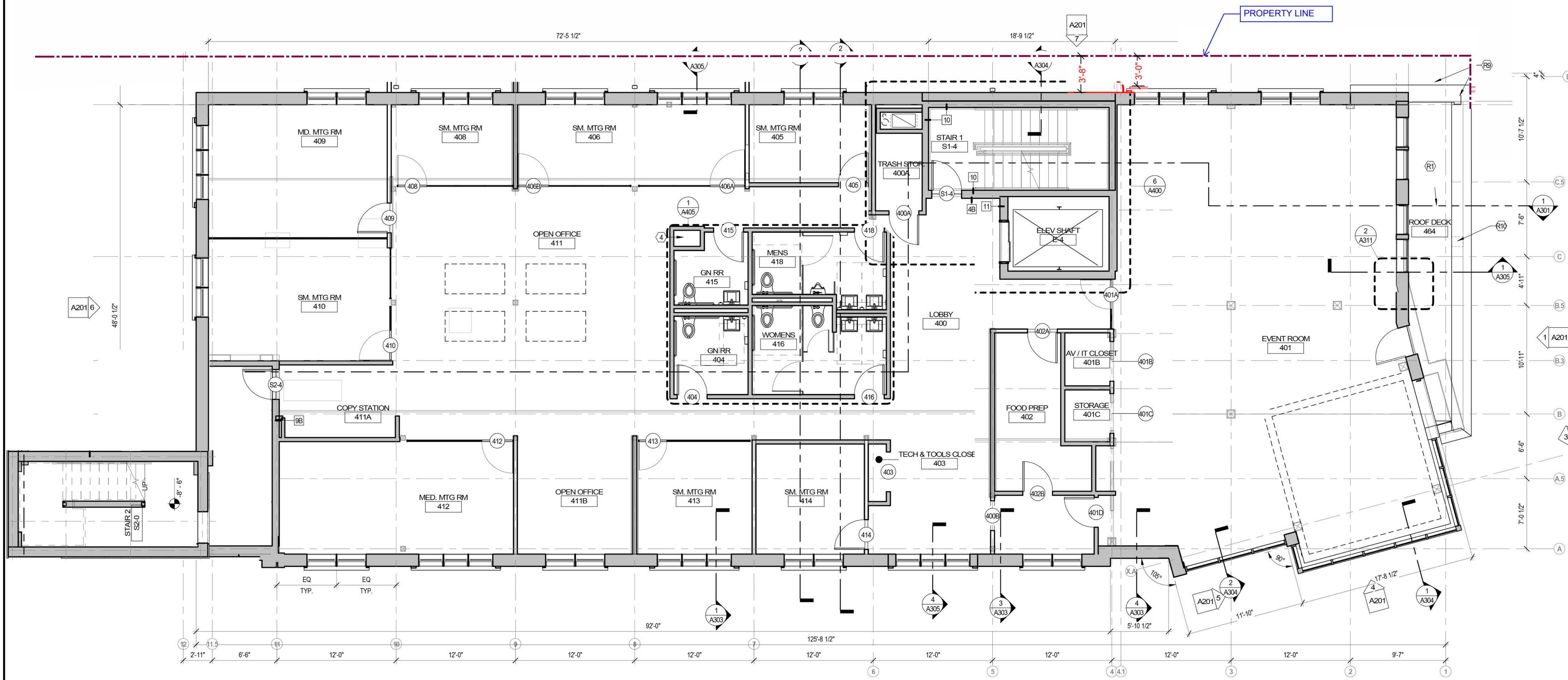
Durham, NH
SECOND & THIRD FLOOR CONSTRUCTION PLAN

DRAWN BY: CS
 REVIEWED BY: Checker
 JOB NO: 19096.00

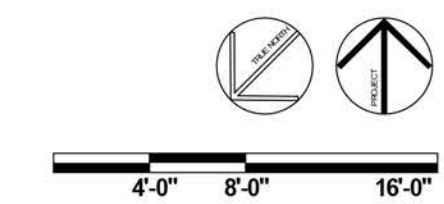
A101



9/24/2021 1:13:41 PM, BM, 360/774 Main Street Durham NH 74 MAIN ST_ARCHITECTURAL_BERG_RVT20_CENTRAL.dwg



1 FOURTH FLOOR - CONSTRUCTION PLAN
3/16" = 1'-0"



CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME** ROOM TAG
- 1A** WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

1. DIMENSIONS:
 - a. ALL DIMENSIONS AND ALIGNMENT INDICATIONS ARE SHOWN FROM FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES, UNO, WITH THE EXCEPTION OF "CLEAR" DIMENSIONS AS NOTED BELOW.
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 - d. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED. WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
2. GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNER'S CONTRACTORS.
3. COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS. SCHEDULE DELIVERY/INSTALLATION DATES AT THE BEGINNING OF THE JOB OR AT OTHERWISE APPROPRIATE TIMES TO ENSURE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
4. EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, UNO.
5. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL, RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
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8. MAINTAIN THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD. REPLACE MISSING OR DAMAGED FIREPROOFING.
9. TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
10. GC TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

CONSTRUCTION PLAN KEYNOTES

- 1 FIRE RATED CHASE FOR SUPPLY & RETURN AIR DUCTS - SEE MEP DRAWINGS
- 2 METAL GUARDRAIL
- 3 MOP SINK
- 4 FIRE-RATED CHASE FOR BLACK IRON DUCT
- 5 96 GA. TRASH TOTE, PROVIDED BY OWNER

ROOF PLAN KEYNOTES

- FULLY ADHERED TPO ROOFING SYSTEM OVER TAPERED BOARD INSULATION. R30 MINIMUM. PROVIDE GANTS AND CROCKETS AS REQD AT ALL PENETRATIONS.
- PREFINISHED ALUMINUM PARAPET CAP/DRIP EDGE W/GUTTER. SEE SECTION DETAILS FOR PROFILES(S).
- PREFINISHED ALUMINUM CORNICE W/INTEGRAL GUTTER.
- MECHANICAL EQUIPMENT ON DUNNAGE. COORD. W/ MECHANICAL & STRUCTURAL.
- SCUPPER THROUGH PARAPET. PROVIDE PREFINISHED ALUMINUM LEADER-HEAD.
- PRIVACY SCREEN AT MECHANICAL AREA.
- EXTENT OF FINISH ON BACKSIDE OF PARAPET.
- ROOF DRAIN - SEE PLUMBING DWGS.
- METAL CAP FLASHING AT PARAPET & CORNICE. SEE SECTION DETAILS FOR PROFILES(S).
- PREFINISHED ALUMINUM OVERFLOW SCUPPER.
- LADDER TO ROOF HATCH.
- SCREEN WALL TO CONCEAL MECH AREAS FROM VIEW.
- ALUMINUM CURB MOUNTED SKYLIGHT.

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1	2021-09-24	PH2 PROGRESS SET	
	2021-07-23	PH1 GMP SET POSITION STRUCTURAL AND CIVIL	
NO.	BY	DATE	DESCRIPTION

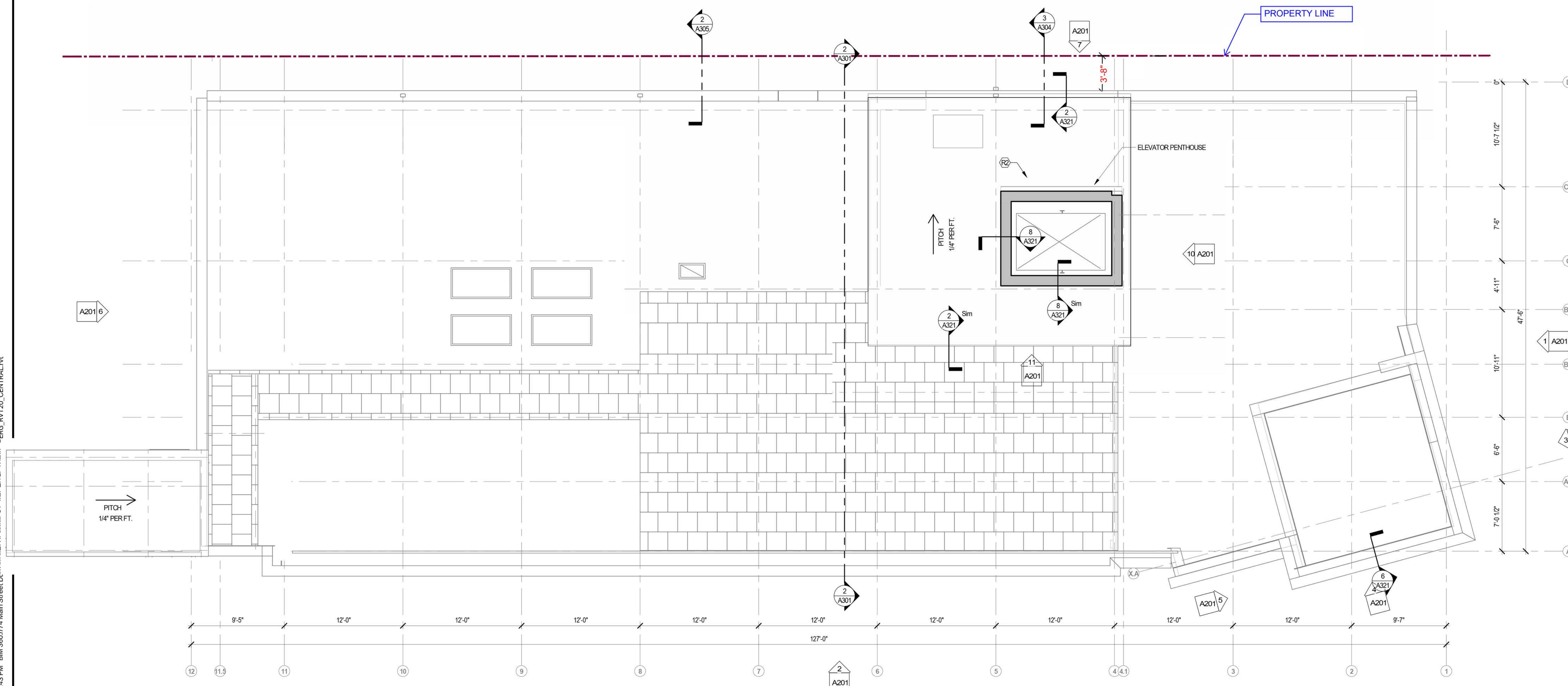
74 MAIN STREET
 74 MAIN STREET
 DURHAM, NH

Durham, NH
FOURTH AND FIFTH FLOOR CONSTRUCTION PLAN

DRAWN BY: CS
 REVIEWED BY: Checker
 JOB NO: 19096.00

A102

9/24/2021 1:13:43 PM: BM 360/74 Main Street Drawing: 74 MAIN ST. ADDITIONAL PERG_RVT20_CENTRAL.rvt



1 PENTHOUSE ROOF PLAN
3/16" = 1'-0"

CONSTRUCTION PLAN LEGEND

CONSTRUCTION PLAN GENERAL NOTES

CONSTRUCTION PLAN KEYNOTES

ROOF PLAN KEYNOTES

- (R1) FULLY ADHERED TPO ROOFING SYSTEM OVER TAPERED BOARD INSULATION. R30 MINIMUM. PROVIDE CANTS AND CRICKETS AS REQ'D AT ALL PENETRATIONS.
- (R2) PREFINISHED ALUMINUM PARAPET CAP/DROP EDGE W/GUTTER. SEE SECTION DETAILS FOR PROFILE(S).
- (R3) PREFINISHED ALUMINUM CORNICE W/INTEGRAL GUTTER.
- (R4) MECHANICAL EQUIPMENT ON DUNNAGE. COORD. W/ MECHANICAL & STRUCTURAL.
- (R5) SCUPPER THROUGH PARAPET. PROVIDE PREFINISHED ALUMINUM LEADER-HEAD.
- (R6) PRIVACY SCREEN AT MECHANICAL AREA.
- (R7) EXTENT OF FINISH ON BACKSIDE OF PARAPET.
- (R8) ROOF DRAIN - SEE PLUMBING DWGS.
- (R9) METAL CAP FLASHING AT PARAPET & CORNICE. SEE SECTION DETAILS FOR PROFILE(S).
- (R10) PREFINISHED ALUMINUM OVERFLOW SCUPPER.
- (L1) LADDER TO ROOF HATCH.
- (S1) SCREEN WALL TO CONCEAL MECH AREAS FROM VIEW.
- (A1) ALUMINUM CURB MOUNTED SKYLIGHT.

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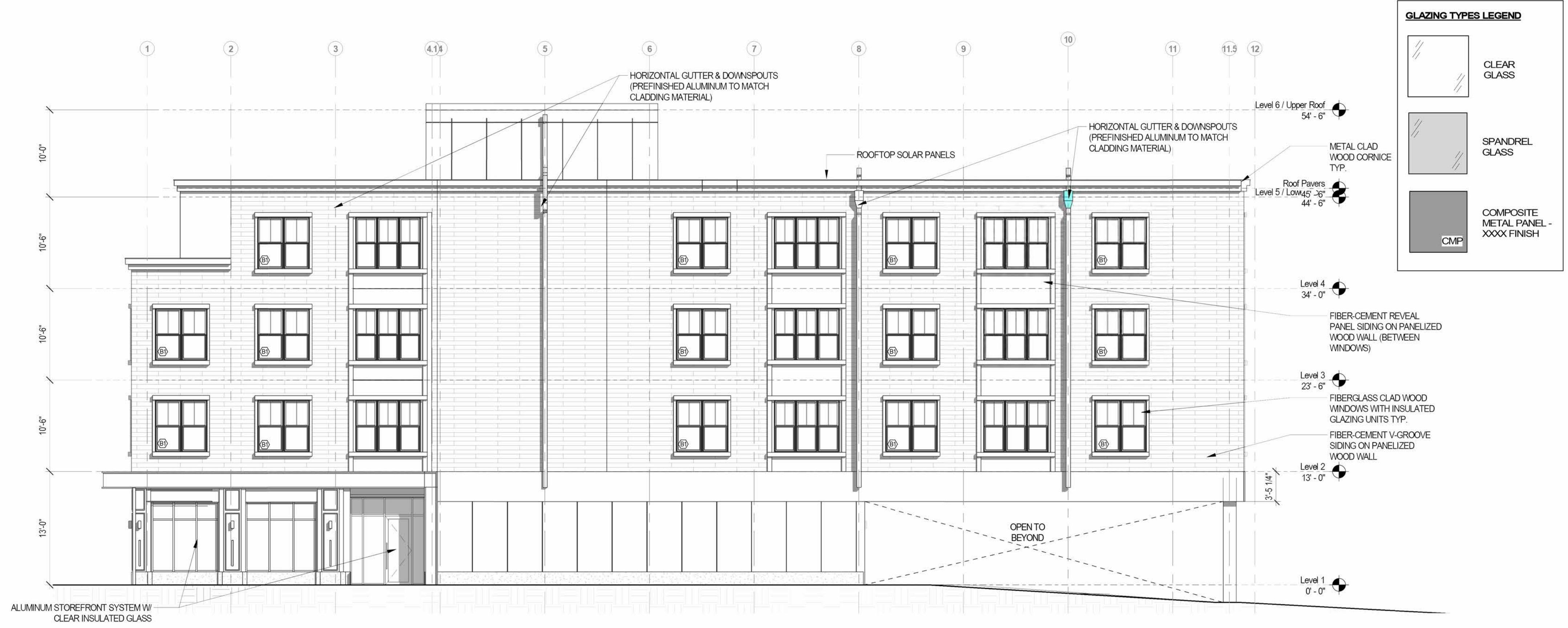
NO.	BY	DATE	DESCRIPTION
1		2021-09-24	PH2 PROGRESS SET
		2021-07-23	PH1 CMP SET FORUM STRUCTURAL AND CIVIL

74 MAIN STREET
74 MAIN STREET
DURHAM, NH

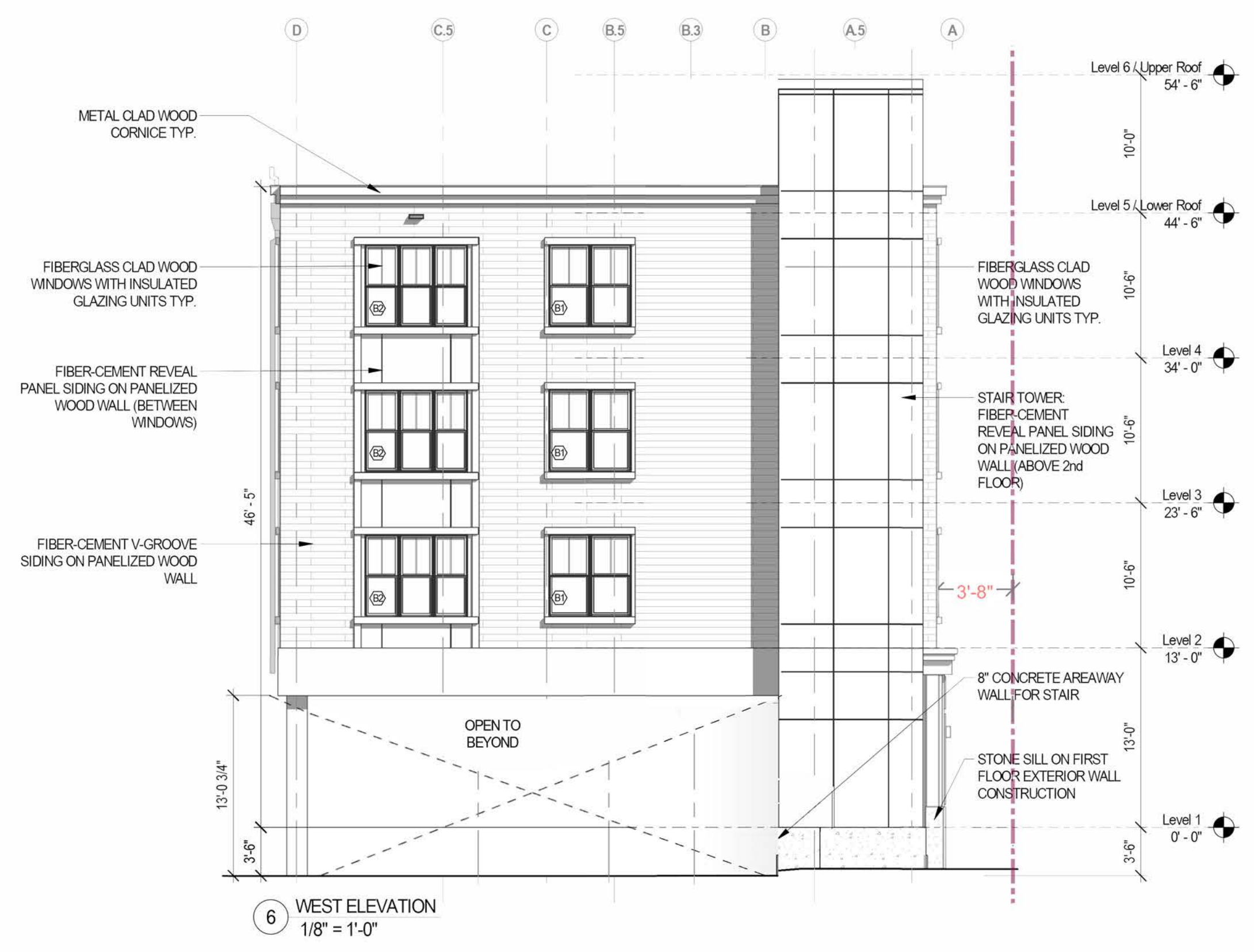
Durham, NH
**PENTHOUSE ROOF
CONSTRUCTION PLAN**

DRAWN BY: CS
REVIEWED BY: Checker
JOB NO.: 19096.00

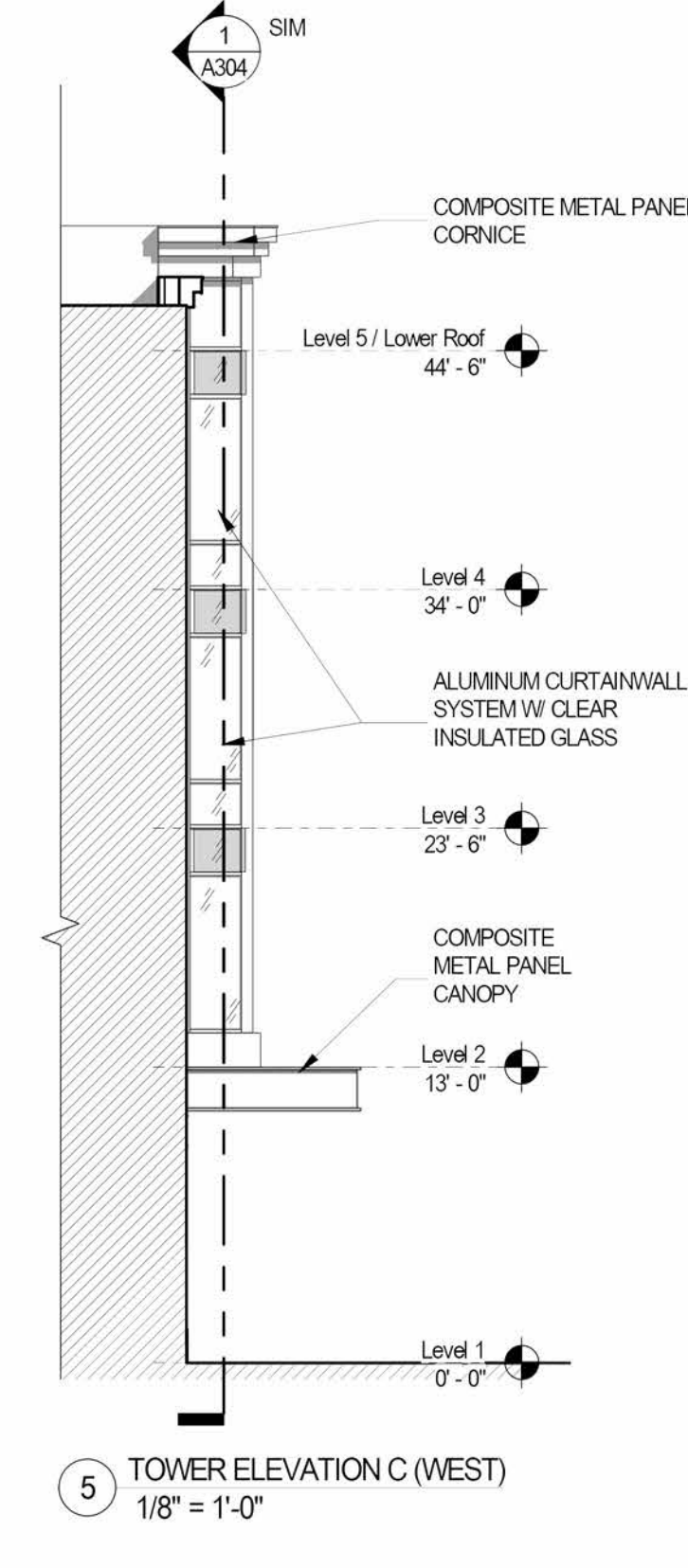
A103



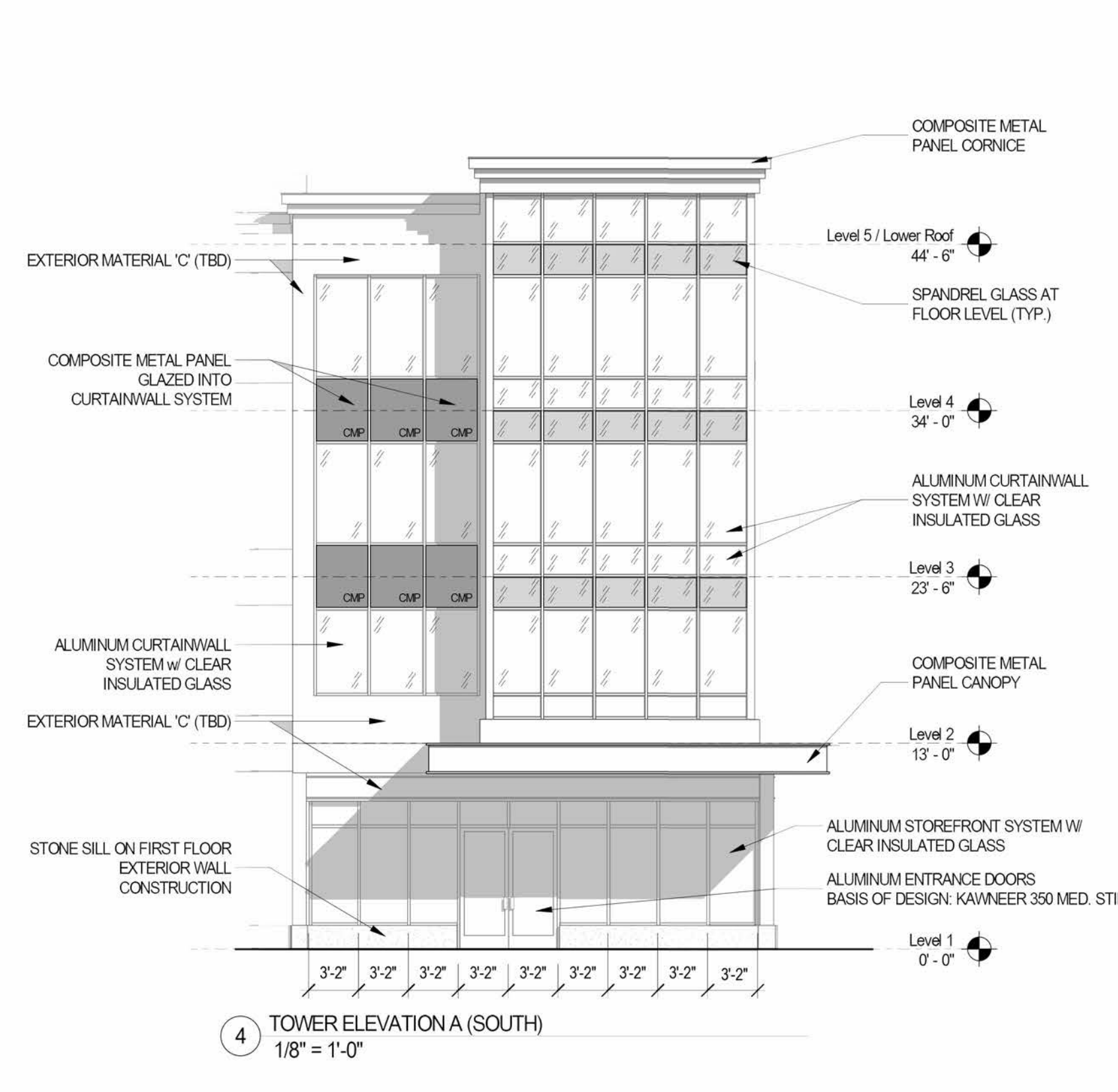
7 NORTH (REAR) ELEVATION
1/8" = 1'-0"



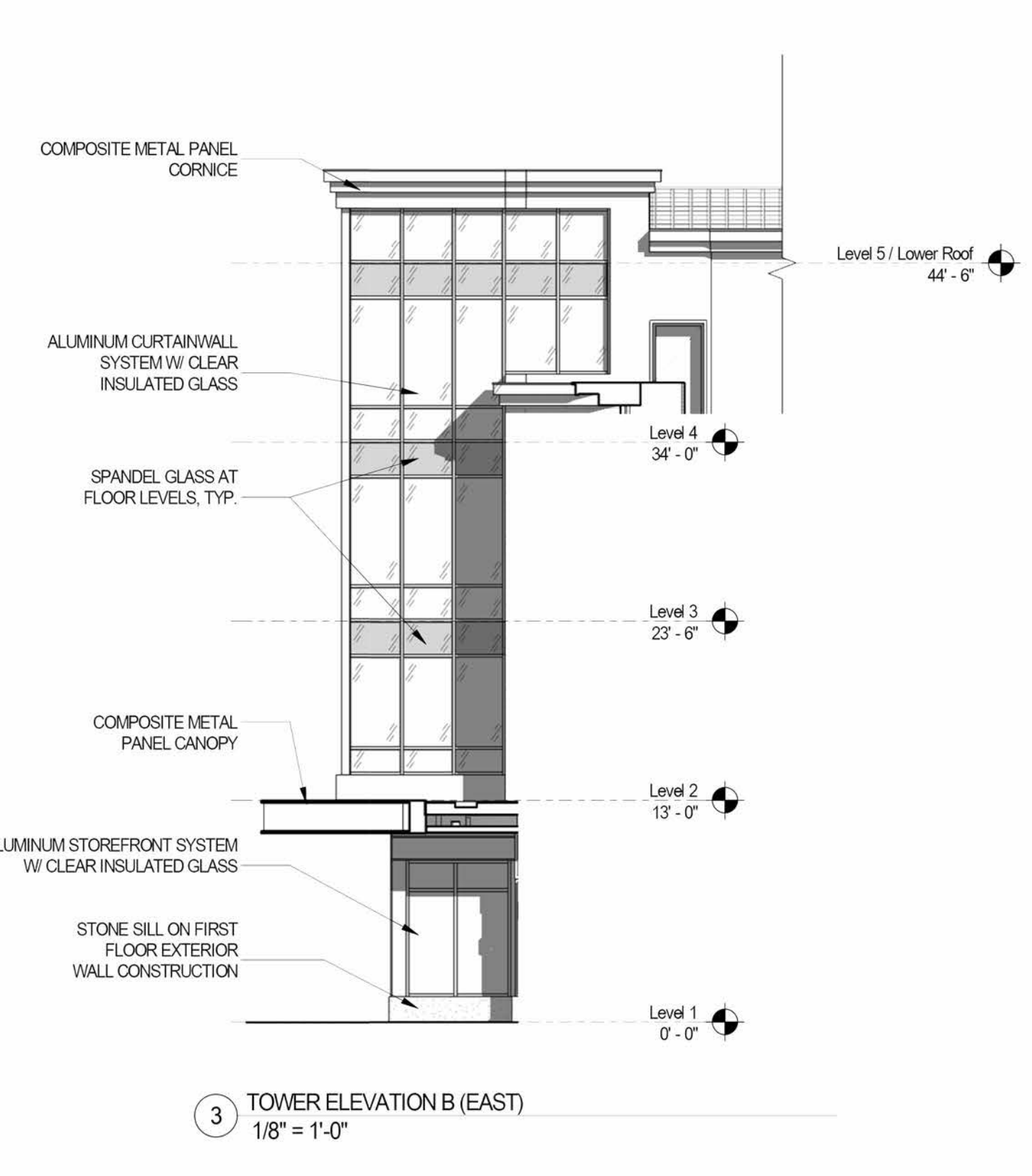
6 WEST ELEVATION
1/8" = 1'-0"



5 TOWER ELEVATION C (WEST)
1/8" = 1'-0"



4 TOWER ELEVATION A (SOUTH)
1/8" = 1'-0"



3 TOWER ELEVATION B (EAST)
1/8" = 1'-0"



2 SOUTH (PETITE BROOK) ELEVATION
1/8" = 1'-0"



1 EAST (MAIN ST.) ELEVATION
1/8" = 1'-0"

FOR REFERENCE ONLY

NO.	BY	DATE	DESCRIPTION
1		2021-09-24	PH2 PROGRESS SET
74 MAIN STREET 74 MAIN STREET DURHAM, NH			
Durham, NH			
EXTERIOR ELEVATIONS			
DRAWN BY:			JM
REVIEWED BY:			AJD/ZS
JOB NO.:			19096.00