

AAM DURHAM RESIDENCES, LLC

32 & 34 MADBURY ROAD

DURHAM NEW HAMPSHIRE

JULY 2022

OWNER:

AAM DURHAM RESIDENCES, LLC
78 BLANCHARD ROAD
SUITE 100
BURLINGTON, MA

ENGINEER

horizons
Engineering

5 RAILROAD STREET
NEWMARKET, NH 03857
(603)659-4979

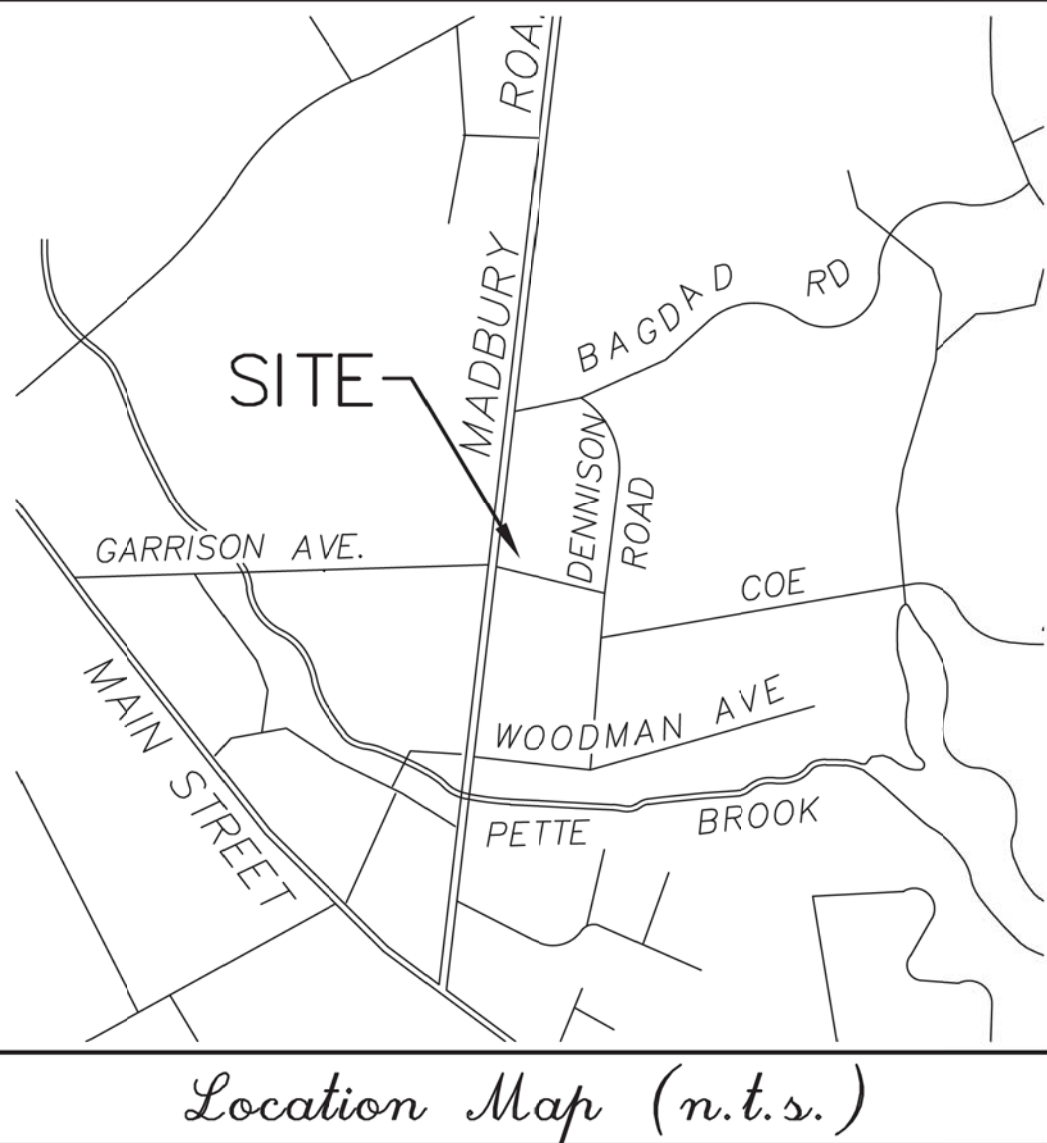
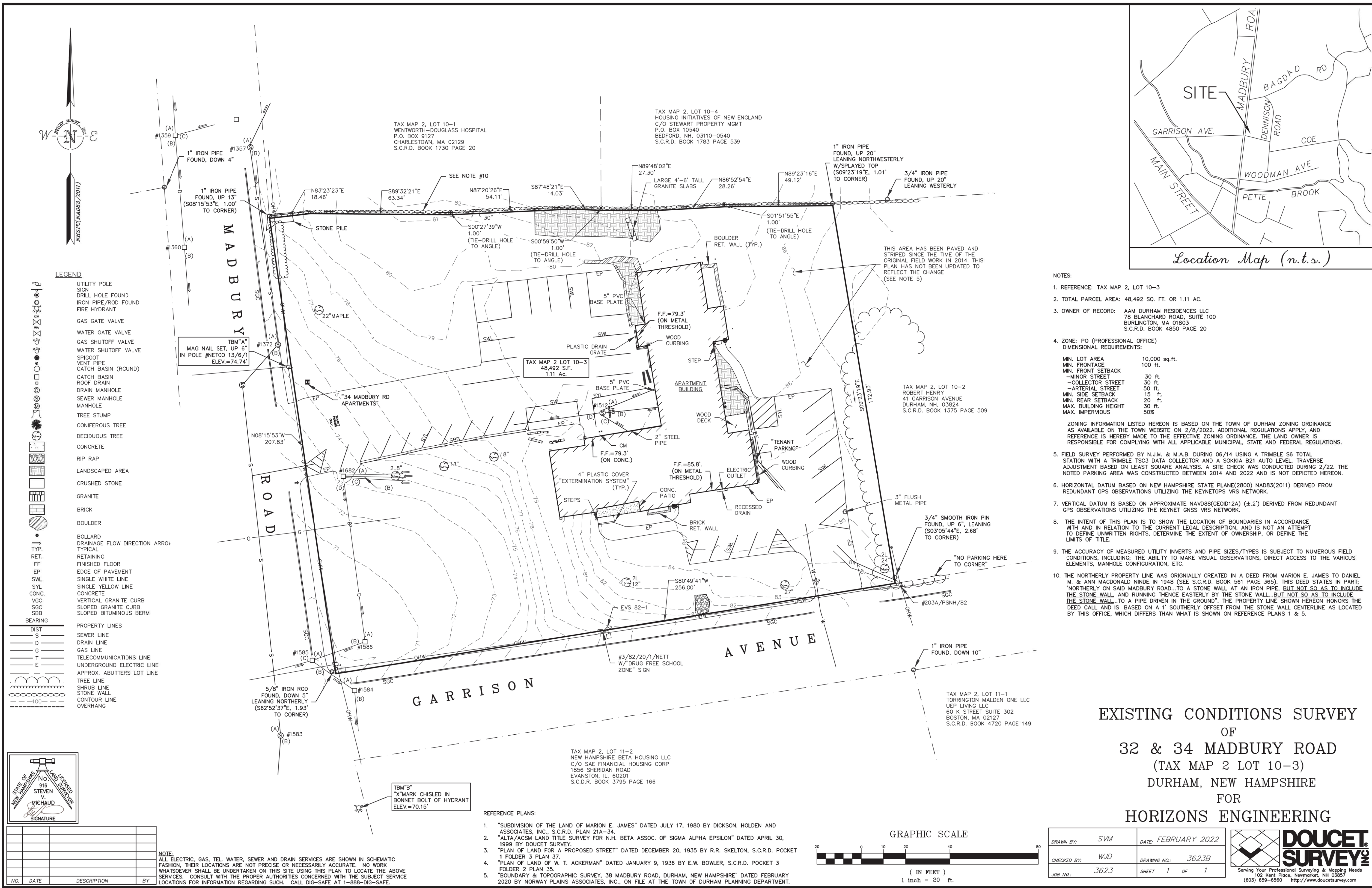
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LOCATION PLAN

NOT TO SCALE



LEGEND

- UTILITY POLE
- SIGN
- DRILL HOLE FOUND
- IRON PIPE/ROD FOUND
- FIRE HYDRANT
- GAS GATE VALVE
- WATER GATE VALVE
- GAS SHUTOFF VALVE
- WATER SHUTOFF VALVE
- SPIGOT
- VENT PIPE
- CATCH BASIN (ROUND)
- CATCH BASIN
- ROOF DRAIN
- DRAIN MANHOLE
- SEWER MANHOLE
- MANHOLE
- TREE STUMP
- CONIFEROUS TREE
- DECIDUOUS TREE
- CONCRETE
- RIP RAP
- LANDSCAPED AREA
- CRUSHED STONE
- GRANITE
- BRICK
- BOULDER
- BOLLARD
- DRAINAGE FLOW DIRECTION ARROW
- TYPICAL
- RETAINING
- FF FINISHED FLOOR
- EP EDGE OF PAVEMENT
- SWL SINGLE WHITE LINE
- SYL SINGLE YELLOW LINE
- CONC. CONCRETE
- VCC VERTICAL GRANITE CURB
- SCC SLOPED GRANITE CURB
- SBB SLOPED BITUMINOUS BERM
- BEARING
- PROPERTY LINES
- DIST DISTANCE
- S SEWER LINE
- D DRAIN LINE
- G GAS LINE
- T TELECOMMUNICATIONS LINE
- E UNDERGROUND ELECTRIC LINE
- APPROX. ADJUTERS LOT LINE
- TREE LINE
- SHRUB LINE
- STONE WALL
- CONTOUR LINE
- OVERHANG

NOTES:

1. REFERENCE: TAX MAP 2, LOT 10-3
2. TOTAL PARCEL AREA: 48,492 SQ. FT. OR 1.11 AC.
3. OWNER OF RECORD: AAM DURHAM RESIDENCES LLC
78 BLANCHARD ROAD, SUITE 100
BURLINGTON, MA 01803
S.C.R.D. BOOK 4850 PAGE 20
4. ZONE: PO (PROFESSIONAL OFFICE)
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 10,000 sq.ft.
MIN. FRONTAGE 100 ft.
MIN. FRONT SETBACK 30 ft.
-MINOR STREET 30 ft.
-COLLECTOR STREET 30 ft.
-ARTERIAL STREET 50 ft.
MIN. SIDE SETBACK 15 ft.
MIN. REAR SETBACK 20 ft.
MAX. BUILDING HEIGHT 30 ft.
MAX. IMPERVIOUS 50%
- ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE AS AVAILABLE ON THE TOWN WEBSITE ON 2/8/2022. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
5. FIELD SURVEY PERFORMED BY N.J.M. & M.A.B. DURING 06/14 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA 821 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS. A SITE CHECK WAS CONDUCTED DURING 2/22. THE NOTED PARKING AREA WAS CONSTRUCTED BETWEEN 2014 AND 2022 AND IS NOT DEPICTED HEREON.
6. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNETOP'S VRS NETWORK.
7. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(GEOD12A) (±2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNETOP'S VRS NETWORK.
8. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
9. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
10. THE NORTHERLY PROPERTY LINE WAS ORIGINALLY CREATED IN A DEED FROM MARION E. JAMES TO DANIEL M. & ANN MACDONALD NINDE IN 1948 (SEE S.C.R.D. BOOK 561 PAGE 365). THIS DEED STATES IN PART: "NORTHERLY ON SAID MADBURY ROAD...TO A STONE WALL AT AN IRON PIPE, BUT NOT SO AS TO INCLUDE THE STONE WALL, AND RUNNING THENCE EASTERLY BY THE STONE WALL, BUT NOT SO AS TO INCLUDE THE STONE WALL...TO A PIPE DRIVEN IN THE GROUND". THE PROPERTY LINE SHOWN HEREON HONORS THE DEED CALL AND IS BASED ON A 1' SOUTHERLY OFFSET FROM THE STONE WALL CENTERLINE AS LOCATED BY THIS OFFICE, WHICH DIFFERS THAN WHAT IS SHOWN ON REFERENCE PLANS 1 & 5.

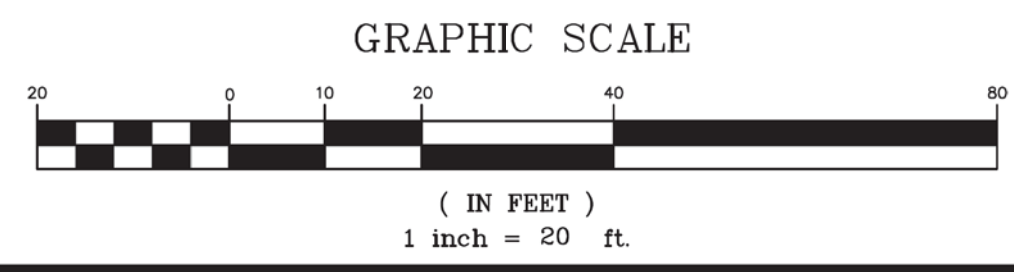
**EXISTING CONDITIONS SURVEY
OF
32 & 34 MADBURY ROAD
(TAX MAP 2 LOT 10-3)
DURHAM, NEW HAMPSHIRE
FOR
HORIZONS ENGINEERING**

STATE OF NEW HAMPSHIRE
No. 916
STEVEN V. MICHAUD
SURVEYOR
SIGNATURE

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |

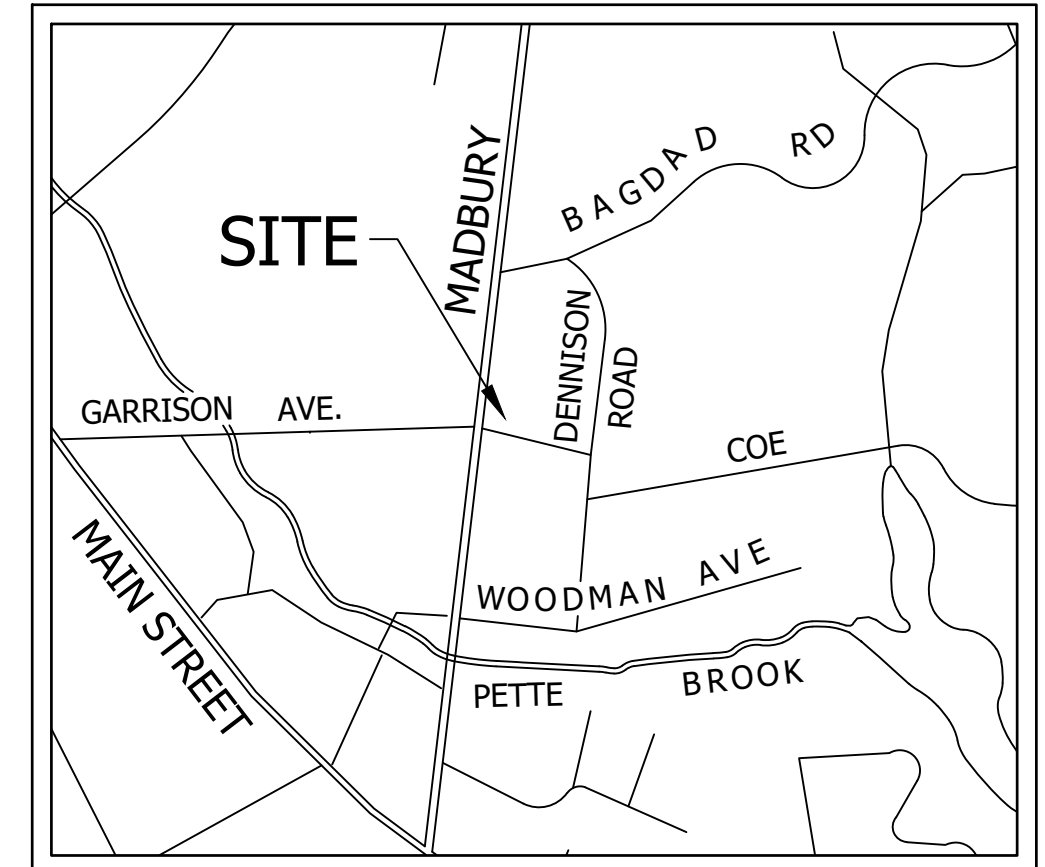
NOTE:
ALL ELECTRIC, GAS, TEL, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

- REFERENCE PLANS:**
1. "SUBDIVISION OF THE LAND OF MARION E. JAMES" DATED JULY 17, 1980 BY DICKSON, HOLDEN AND ASSOCIATES, INC., S.C.R.D. PLAN 214-34.
 2. "ALTA/ACSM LAND TITLE SURVEY FOR N.H. BETA ASSOC. OF SIGMA ALPHA EPSILON" DATED APRIL 30, 1999 BY DOUCET SURVEY.
 3. "PLAN OF LAND FOR A PROPOSED STREET" DATED DECEMBER 20, 1935 BY R.R. SKELTON, S.C.R.D. POCKET 1 FOLDER 3 PLAN 37.
 4. "PLAN OF LAND OF W. T. ACKERMAN" DATED JANUARY 9, 1936 BY E.W. BOWLER, S.C.R.D. POCKET 3 FOLDER 2 PLAN 35.
 5. "BOUNDARY & TOPOGRAPHIC SURVEY, 38 MADBURY ROAD, DURHAM, NEW HAMPSHIRE" DATED FEBRUARY 2020 BY NORWAY PLAINS ASSOCIATES, INC., ON FILE AT THE TOWN OF DURHAM PLANNING DEPARTMENT.



| | |
|-----------------|---------------------|
| DRAWN BY: SVM | DATE: FEBRUARY 2022 |
| CHECKED BY: WJD | DRAWING NO.: 3623B |
| JOB NO.: 3623 | SHEET 1 OF 1 |

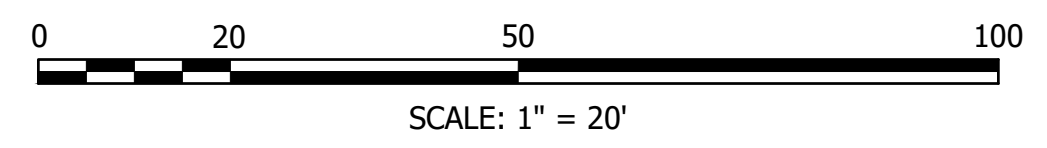
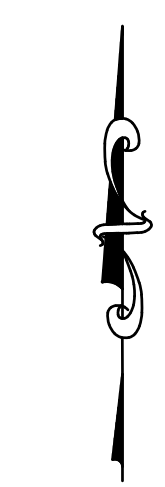
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LOCUS MAP

LEGEND

- EX. TREE
- PROP. TREE
- EX. TREELINE
- PROPERTY LINE (SUBJECT PARCEL)
- ABUTTING PROPERTY LINE
- BUILDING SETBACK
- OHE
- EX. POWER POLE
- EX. RETAINING WALL
- PROP. RETAINING WALL
- PROP. GUARD RAIL
- PROP. ASPHALT
- PROP. CONCRETE
- PROP. CRUSH STONE
- PROP. PAVERS
- PROP. LANDSCAPING
- FUTURE LANDSCAPING



GENERAL NOTES:

- SUBJECT PROPERTY: 32 MADBURY ROAD, TAX MAP 2, LOT 10-3, 48 492 FT²± (1.11 AC±)
- OWNER OF RECORD: AAM DURHAM RESIDENCES LLC, 78 BLANCHARD ROAD, SUITE 100, BURLINGTON, MA 01803, R.C.R.D. BOOK 4850, PAGE 20
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED IMPROVEMENTS AND IMPACTS TO THE PROJECT SITE.
 - THE SUBJECT LOT IS NOT WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON THE FEMA FIRM#33017C0318E, REVISED 30 SEPTEMBER, 2015
 - FIELD SURVEY WAS CONDUCTED BY DOUCET SURVEY IN JUNE 2014.
 - REMOVE SNOW TO AN OFF-SITE LOCATION WHEN DESIGNATED SNOW AREAS ARE FULL. DO NOT BLOCK SIGHT LINES WITH SNOW.
 - BICYCLE STORAGE WILL BE PROVIDED INSIDE OF THE EXISTING BUILDING FOR 10 BICYCLES.
 - ANY FUTURE HVAC EQUIPMENT MUST BE FULLY SCREENED
 - FOR ADDITIONAL INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM NH 03824, (603) 868-8064
 - NOTICE OF DECISION. IT IS THE RESPONSIBILITY OF THE APPLICANT, SITE CONTRACTOR, AND BUILDING CONTRACTOR TO FOLLOW ALL REQUIREMENTS RELATED TO THIS SITE PLAN APPROVAL. PLEASE REVIEW THESE PLANS AND THE PLANNING BOARD NOTICE OF DECISION CAREFULLY. CONTACT THE DURHAM PLANNING DEPARTMENT AT (603) 868-8064 WITH ANY QUESTIONS OR CONCERNS.

ZONING NOTES:

THE SUBJECT PROPERTY IS IN THE PROFESSIONAL OFFICE ZONE (PO)

DIMENSIONAL REQUIREMENTS (FROM TABLE 175-54 OF THE DURHAM ZONING ORDINANCE)

| STANDARD | MINIMUM | MAXIMUM |
|-----------------|---------|---------|
| LOT SIZE | 20 000 | N/A |
| LOT FRONTAGE | 100 | N/A |
| FRONT SETBACK | 30 | N/A |
| SIDE SETBACK | 15 | N/A |
| REAR SETBACK | 20 | N/A |
| BUILDING HEIGHT | N/A | 30' |

*BUILDING HEIGHT OF 60' IS ALLOWED BY SPECIAL EXCEPTION

PARKING REQUIREMENTS

TYPE OF USE: MULTI-UNIT DWELLING
2 SPACE/DWELLING UNIT

REQUIRED SPACES = 18 DWELLING UNIT X 2 SPACE/DWELLING UNIT = 36 SPACES

PROVIDED SPACES = 40 SPACES

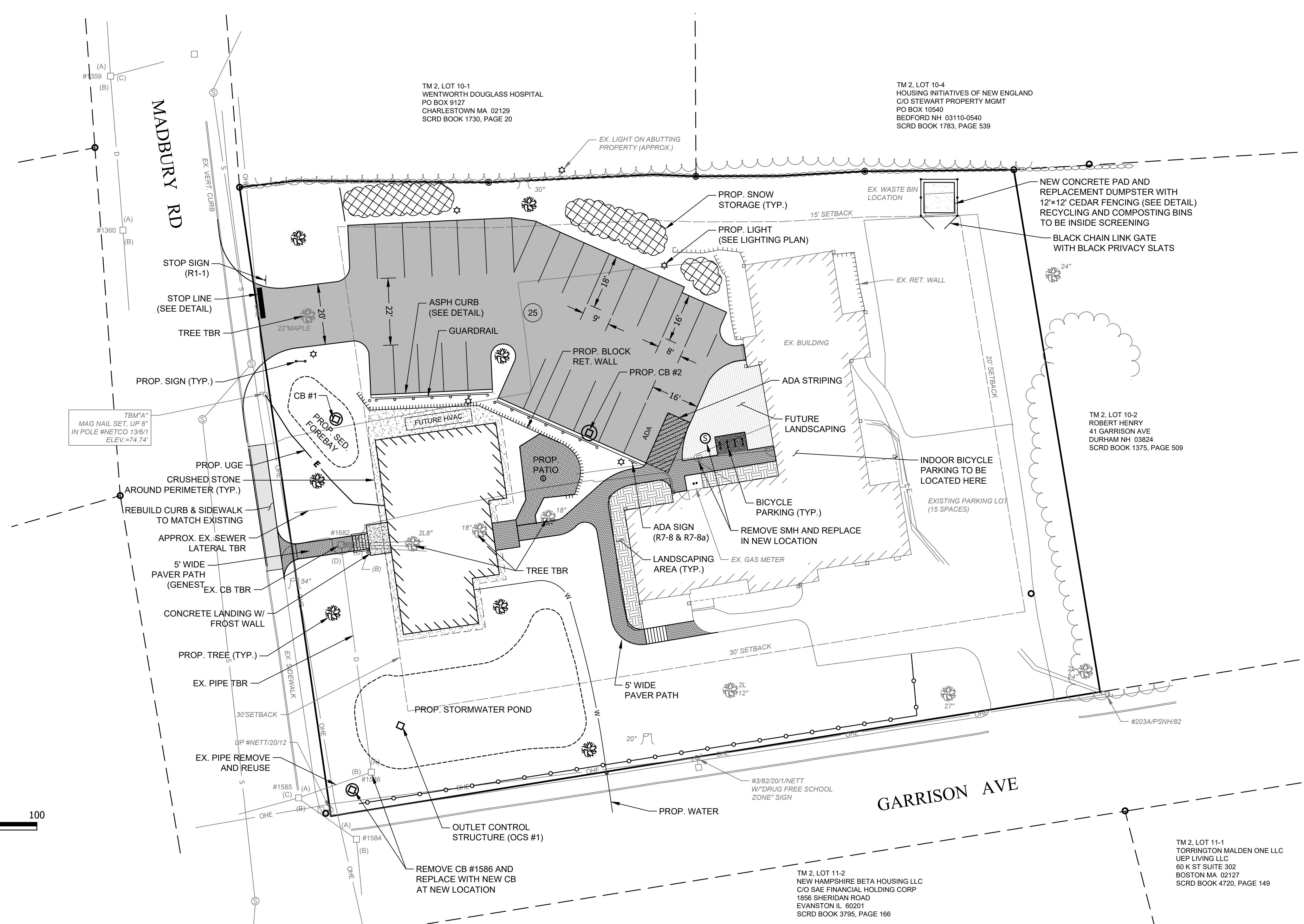
NOTE: A WAIVER WAS GRANTED TO REDUCE THE PARKING AISLE WIDTH TO 22' FROM 24'.

IMPERVIOUS SURFACE RATIO:

| PRE-DEVELOPMENT | POST-DEVELOPMENT | ZONING MAXIMUM (PO) |
|-----------------|------------------|---------------------|
| 20 458 : 48 492 | 24 213 : 48 492 | 24 246 : 48 492 |
| 42.2% | 49.9% | 50% |

REFERENCE PLANS:

- A. EXISTING CONDITIONS SURVEY OF 32 MADBURY ROAD DURHAM, NEW HAMPSHIRE FOR HORIZONS ENGINEERING BY DOUCET SURVEY, INC. DATED FEBRUARY, 2022.



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
CERTIFIED _____
DATE _____

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AAM DURHAM RESIDENCES
32 & 34 MADBURY ROAD
DURHAM, NEW HAMPSHIRE

SITE PLAN

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------------|----------------------------------|-----|-----|
| 00 | 2022-03-02 | INITIAL SUBMISSION | MCS | MCS |
| 01 | 2022-04-05 | REVISED PER PLANNER COMMENTS | MCS | MCS |
| 02 | 2022-05-10 | REVISED PER NOD DATED 2022-04-22 | MCS | MCS |
| 03 | 2022-07-14 | REVISED PER DURHAM COA | MCS | MCS |

DATE: 2022-03-01 PROJECT #: 21585
ENG'D BY: MJS DRAWN BY: MCS
CHECK'D BY: MJS ARCHIVE #: H-____

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GENERAL NOTES:

SUBJECT PROPERTY
32 MADBURY ROAD
TAX MAP 2, LOT 10-3
48 492 ft± (1.11 Ac±)

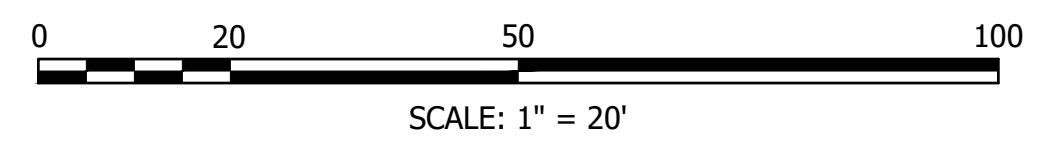
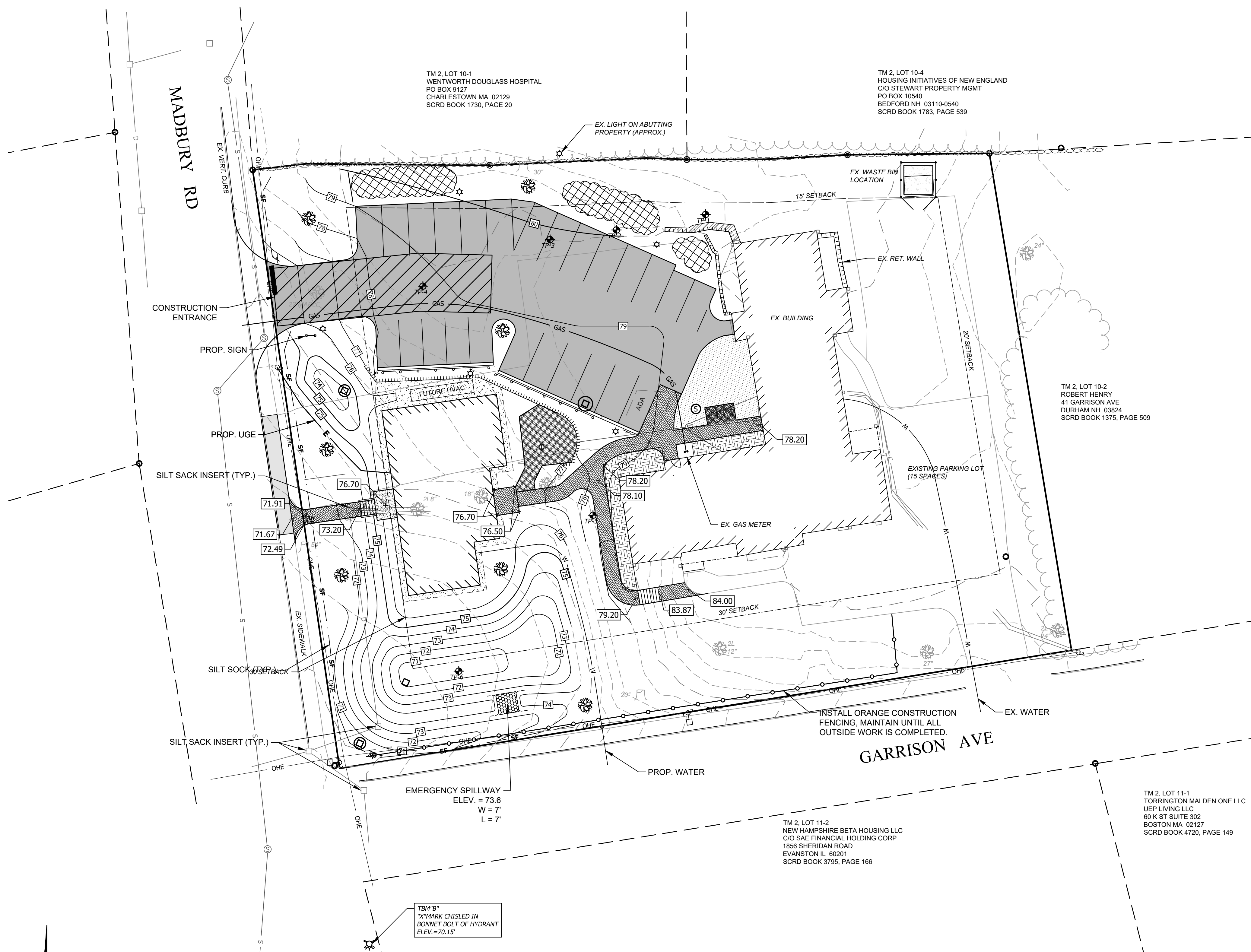
OWNER OF RECORD
AAM DURHAM RESIDENCES LLC
78 BLANCHARD ROAD, SUITE 100
BURLINGTON, MA 01803
R.C.R.D. BOOK 4850, PAGE 20

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED IMPROVEMENTS AND IMPACTS TO THE PROJECT SITE.
2. THE SUBJECT LOT IS NOT WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON THE FEMA FIRM#33017C0318E, REVISED 30 SEPTEMBER, 2015
3. FIELD SURVEY WAS CONDUCTED BY DOUCET SURVEY IN JUNE 2014.
4. REMOVE SNOW TO AN OFF-SITE LOCATION WHEN DESIGNATED SNOW AREAS ARE FULL. DO NOT BLOCK SIGHT LINES WITH SNOW.
5. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88 (GEOID12A) (+0.2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNETGPS VRS NETWORK
6. THE SOILS ON THE SITE ARE HOLLIS-CHARLTON FINE SAND LOAM, 3 TO 8%.

TEST PIT DATA

TEST PITS WERE DUG BY COULSTRING CONSTRUCTION AND LOGGED BY MICHAEL J. SIEVERT OF HORIZONS ENGINEERING ON 19 AUGUST 2021

- TEST PIT #1**
0-6" TOPSOIL
6-24" FINE SANDY LOAM, GRANULAR LOOSE
24-66" GRAVELY FINE SANDY LOAM, LOOSE
REFUSAL @ 66"
- TEST PIT #2**
0-18" REFUSAL @ 18"
- TEST PIT #3**
0-16" REFUSAL @ 16"
- TEST PIT #4**
0-20" REFUSAL @ 20"
- TEST PIT #5**
0-6" TOPSOIL
6-36" VERY FINE SANDY LOAM
36-66" VERY FINE SILT CLAY
ROOTS TO 39"
- TEST PIT #6**
0-54" ROCK @ 54"
ROOTS TO 30"
VERY FINE SANDY LOAM
- TEST PIT #7**
0-50" REFUSAL @ 50"
ROOTS TO 24"



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
CERTIFIED _____
DATE _____

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AAM DURHAM RESIDENCES
32 & 34 MADBURY ROAD
DURHAM, NEW HAMPSHIRE
GRADING AND EROSION CONTROL PLAN

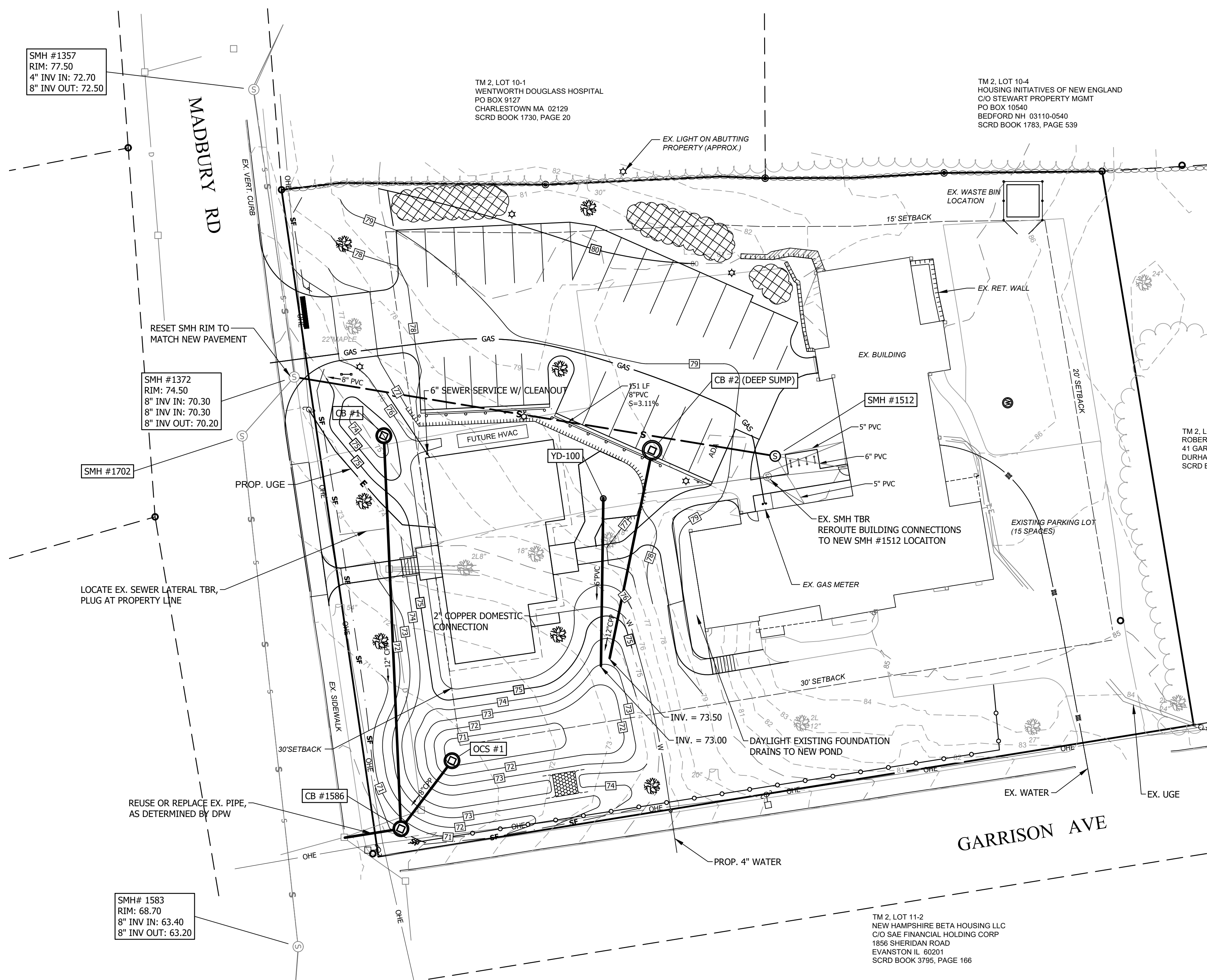
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| 01 | 2022-04-05 | REVISED PER PLANNER COMMENTS | MCS | MCS |
| 02 | 2022-05-10 | REVISED PER NOD DATED 2022-04-22 | MCS | MCS |
| 03 | 2022-07-14 | REVISED PER DURHAM COA | MCS | MCS |

| | |
|---------------------|---------------------|
| DATE: 2021-12-21 | PROJECT #: 21585 |
| ENG'D BY: MJS | DRAWN BY: MCS |
| CHECK'D BY: MJS | ARCHIVE #: H-___ |

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GENERAL NOTES:

SUBJECT PROPERTY
32 MADBURY ROAD
TAX MAP 2, LOT 10-3
48 492 ft² ± (1.11 Acs)

OWNER OF RECORD
AAM DURHAM RESIDENCES LLC
78 BLANCHARD ROAD, SUITE 100
BURLINGTON, MA 01803
R.C.R.D. BOOK 4850, PAGE 20

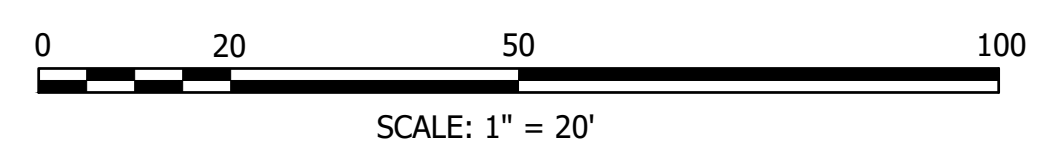
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6. THE SOILS ON THE SITE ARE HOLLIS-CHARLTON FINE SAND LOAM, 3 TO 8%.
7. CALL 811 DIG-SAFE TO MARK UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.

| SEWER STRUCTURE TABLE | | | |
|-----------------------|---|---|--------------|
| STRUCTURE ID | DETAILS: | PIPES IN: | PIPE OUT |
| SMH #1372 (EXISTING) | RIM: 84.07 INV IN: 70.30 INV IN: 70.30 INV OUT: 70.20 | (EX) 8" PVC (NEW) 8" PVC | (EX) 8" PVC |
| SMH #1512 | RIM: 80.26 INV IN: 76.70 INV IN: 76.90 INV IN: 76.70 INV OUT: 75.00 | (EX) 5" PVC (EX) 6" PVC (EX) 5" PVC | (NEW) 8" PVC |

| DRAIN STRUCTURE TABLE | | | |
|-----------------------|--|---|----------------------|
| STRUCTURE ID | DETAILS: | PIPES IN: | PIPE OUT |
| CB #1 | RIM: 74.00 INV OUT: 69.50 | | Pipe - (53), 12" CPP |
| CB #2 (DEEP SUMP) | RIM: 78.82 INV OUT: 74.50 | | Pipe - (51), 12" CPP |
| CB #1586 | RIM: 70.20 INV IN: 68.00 INV IN: 68.00 INV OUT: 67.90 | Pipe - (53), 12" CPP Pipe - (54), 8" CPP | Pipe - (55), 12" RCP |
| OCS #1 | RIM: 73.10 INV OUT: 69.00 | | Pipe - (54), 8" CPP |
| YD-100 | RIM: 76.00 INV OUT: 73.83 | | Pipe - (52), 6" PVC |

EXISTING STRUCTURES

| | |
|--|--|
| SEWER SMH# 1357 RIM ELEV.=77.5' (A) 4" PVC INV.=72.7' (B) 8" PVC INV.=72.5' | DRAINAGE CB#1359 RIM ELEV.=77.5' (A) 15" RCP INV.=70.4' (B) 15" RCP INV.=70.3' (C) 15" RCP INV.=70.4' |
| SMH# 1372 RIM ELEV.=74.5' (A) 8" PVC INV.=70.3' (B) 8" PVC INV.=70.2' | CB#1360 RIM ELEV.=76.2' (A) 15" RCP INV.=69.4' (B) 15" RCP INV.=68.9' |
| SMH# 1512 RIM ELEV.=79.2' (A) 5" PVC INV.=76.7' (B) 6" PVC INV.=76.9' (C) 5" PVC INV.=76.8' (D) 6" STEEL INV.=76.7' | CB#1584 RIM ELEV.=69.58' (A) 12" RCP INV.=65.7' (B) 12" CI INV.=65.6' |
| SMH# 1583 RIM ELEV.=68.7' (A) 8" PVC INV.=63.4' (B) 8" PVC INV.=63.2' | CB# 1585 RIM ELEV.=68.9' (A) 12" CMP INV.=67.6' (B) 12" STEEL INV.=65.5' (C) 16" CMP INV.=65.5' |
| | CB# 1586 RIM ELEV.=70.1' (A) 12" CMP INV.=67.9' (B) 12" CMP INV.=67.3' |
| | CB# 1682 RIM ELEV.=73.1' (A) 4" PVC INV.=72.0' (B) 4" PVC INV.=72.0' (C) 4" PVC INV.=72.0' (D) 12" CMP INV.=70.2' |



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

CERTIFIED _____
DATE _____

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AAM DURHAM RESIDENCES
32 & 34 MADBURY ROAD
DURHAM, NEW HAMPSHIRE

UTILITIES PLAN

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------------|----------------------------------|-----|-----|
| 00 | 2021-12-21 | INITIAL SUBMISSION | MCS | MCS |
| 01 | 2022-04-05 | REVISED PER PLANNER COMMENTS | MCS | MCS |
| 02 | 2022-05-10 | REVISED PER MOD DATED 2022-04-22 | MCS | MCS |
| 03 | 2022-07-14 | REVISED PER DURHAM COA | MCS | MCS |

DATE: 2021-12-21 PROJECT #: 21585
ENG'D BY: MJS DRAWN BY: MCS
CHECK'D BY: MJS ARCHIVE #: H-
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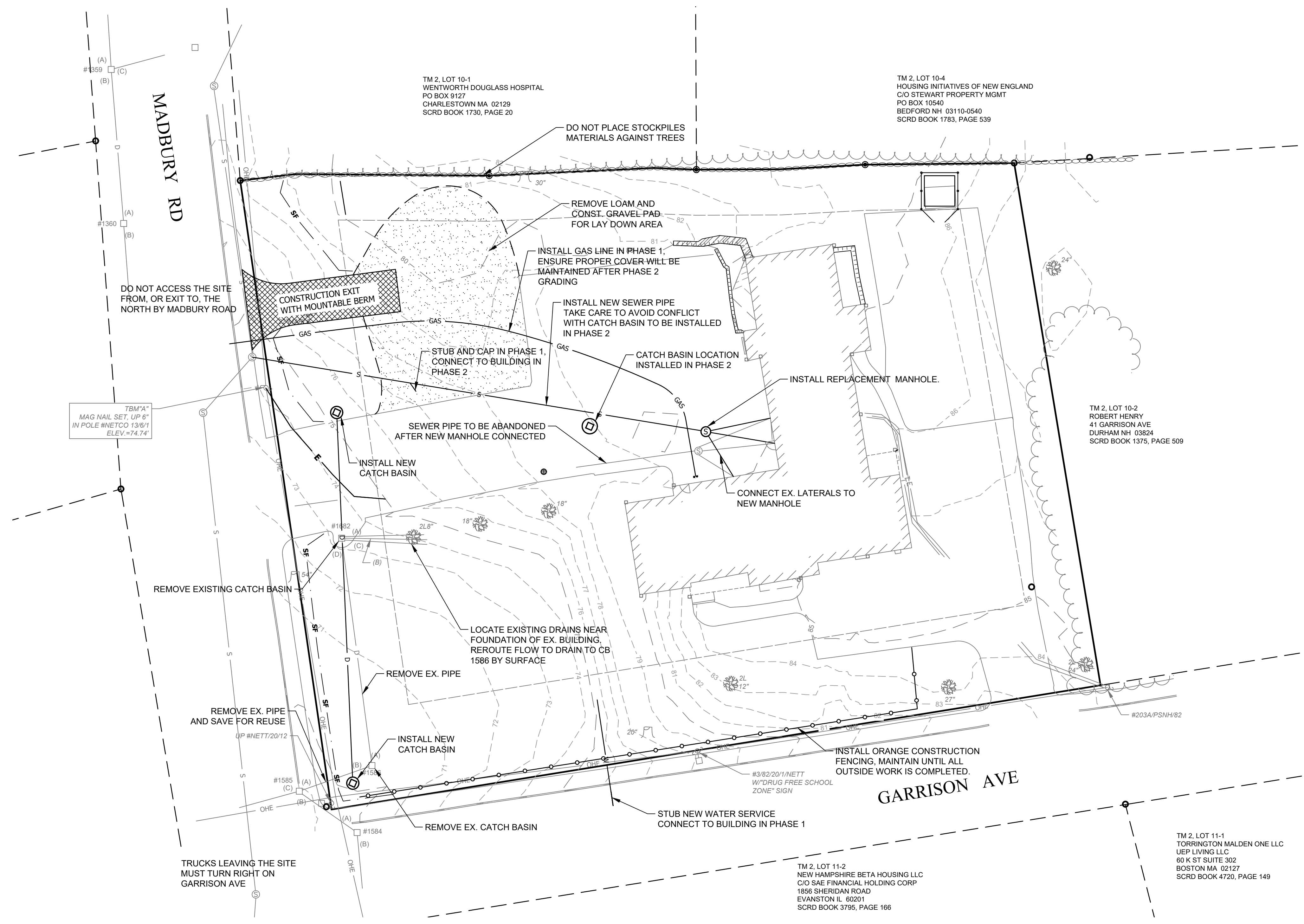
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CONSTRUCTION NOTES

- INSPECTION** - ALL INSPECTION/ OBSERVATION SERVICES FOR THE INSTALLATION OF WATER, WASTEWATER, STORMWATER MANAGEMENT, AND OTHER INFRASTRUCTURE SHALL BE PERFORMED BY AUTHORIZED REPRESENTATIVES OF THE TOWN OF DURHAM AS STIPULATED BY THE DURHAM DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REIMBURSE THE TOWN FOR ALL ASSOCIATED INSPECTION/ OBSERVATION COSTS.
- FIRE ACCESS** - ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE DURHAM FIRE DEPARTMENT AT (603) 868-5531 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
- CONSTRUCTION HOURS** - ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00AM TO 6:00PM MONDAY THROUGH FRIDAY AND 9:00AM TO 6:00PM SATURDAY.
- ADDITIONAL INFORMATION** - FOR ADDITIONAL INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM NH 03824. (603) 868-8064.
- EROSION AND SEDIMENTATION** - ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED AND THE GROUND SURFACE IS STABILIZED. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING CONSTRUCTION AND ANY DEFICIENCIES SHALL BE CORRECTED AS SOON AS POSSIBLE.
- BLASTING** - BLASTING AND ON-SITE CHIPPING (OF STONE) IS RESTRICTED TO THE HOURS OF 9:00AM TO 5:00PM MONDAY THROUGH FRIDAY. IF ANY BLASTING IS NEEDED THE APPLICANT OR CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DURHAM FIRE DEPARTMENT.
- WEEKLY MEETINGS** - THE APPLICANT/CONTRACTOR SHALL HOLD WEEKLY MEETINGS OR AS SPECIFIED BY THE TOWN ENGINEER WITH APPROPRIATE TOWN DEPARTMENTS TO DISCUSS THE CONSTRUCTION PROCESS AND THE SCHEDULE FOR THE UPCOMING WEEK.
- ROADS AND SIDEWALKS** - THE APPLICANT/CONTRACTOR SHALL NOT OBSTRUCT ANY ROAD OR SIDEWALK WITHOUT APPROVAL OF THE DURHAM POLICE DEPARTMENT. THE APPLICANT/CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO ANY SUCH ACTIVITY. THE POLICE DEPARTMENT WILL DETERMINE WHETHER OR NOT A POLICE DETAIL IS NEEDED.
- CONSTRUCTION VEHICLE ACCESS** - TRUCK TRAFFIC APPROACHING FROM THE SOUTH OR EAST SHALL COME BY ROUTE 108, THEN TURN ONTO MAIN STREET AT THE TRAFFIC LIGHT, THEN TURN ONTO MADBURY ROAD TO THE SITE.

TRUCK TRAFFIC APPROACHING FROM THE NORTH OR WEST SHALL COME BY MAIN STREET (FROM ROUTE 4 OR ROUTE 155A), THEN TURN ONTO GARRISON AVENUE, THEN TURN ONTO MADBURY ROAD TO THE SITE.

TRUCK TRAFFIC LEAVING (TO ANY DIRECTION) SHALL TURN SOUTH ON MADBURY ROAD, THEN RIGHT ONTO GARRISON AVENUE, THEN RIGHT ONTO MAIN STREET (TO ROUTE 4 OR ROUTE 155A).
- PEDESTRIAN ACCESS** - THE CONTRACTOR SHALL PROVIDE A MINIMUM 5 FOOT WIDE PEDESTRIAN ACCESS FOR ALL INGRESS AND EGRESS LOCATIONS FOR THE EXISTING BUILDING.
- NO PARKING ON GARRISON AVE.** DURING CONSTRUCTION. ARRANGEMENTS FOR OFF SITE PARKING IS THE RESPONSIBILITY OF THE CONTRACTOR.



CONSTRUCTION SEQUENCE

- PHASE 1:
- COMPLETE PRECONSTRUCTION MEETING AS REQUIRED BY TOWN APPROVAL.
 - INSTALL ALL EROSION CONTROLS AND CONSTRUCTION EXIT BEFORE EARTHWORKS START.
 - INSTALL PROPOSED SANITARY SEWER.
 - INSTALL PROPOSED CATCH BASINS, EXCEPT FOR THE CATCH BASIN THAT WILL BE PART OF THE NEW PARKING LOT.
 - CLEAR TREES WITHIN THE GRADING LIMITS.
 - MONITOR AND MAINTAIN EROSION CONTROLS AS NEEDED.
 - GRUB WITHIN GRADING LIMITS.

FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 CERTIFIED _____
 DATE _____

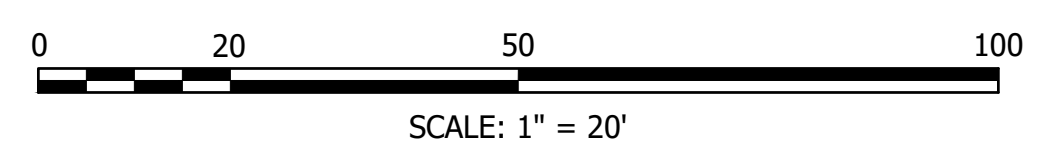
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**PHASE I
 CONSTRUCTION PLAN**

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------------|----------------------------------|-----|-----|
| 00 | 2022-04-06 | INITIAL SUBMISSION | MCS | MCS |
| 01 | 2022-05-10 | REVISED PER NOD DATED 2022-04-22 | MCS | MCS |
| 02 | 2022-05-27 | REVISED PER DPW COMMENTS | MCS | MCS |
| 03 | 2022-07-14 | REVISED PER DURHAM COA | MCS | MCS |

DATE: 2022-04-06 PROJECT #: 21585
 ENG'D BY: MJS DRAWN BY: MCS
 CHECK'D BY: MJS ARCHIVE #: H-
C104



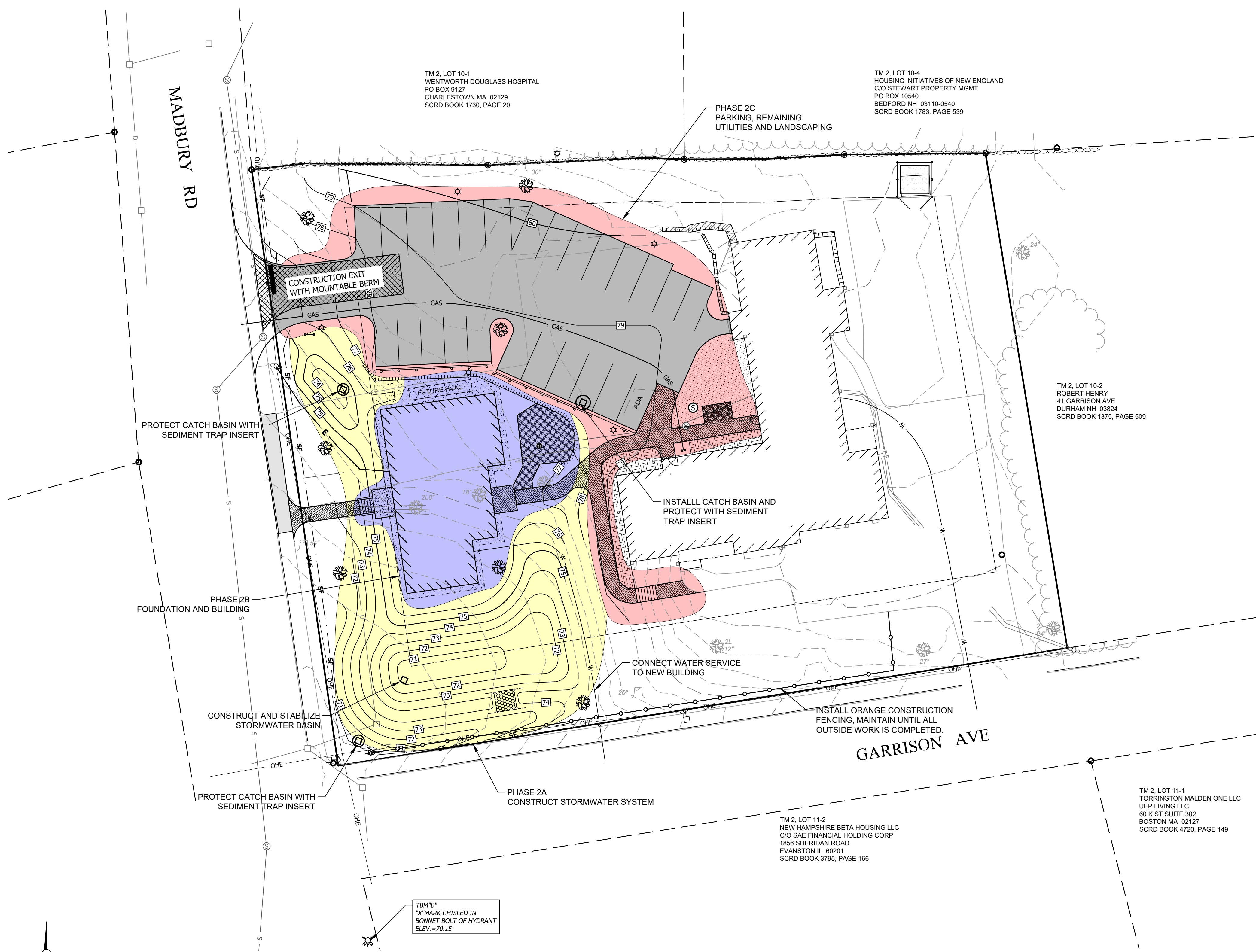
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CONSTRUCTION NOTES

- INSPECTION** - ALL INSPECTION/ OBSERVATION SERVICES FOR THE INSTALLATION OF WATER, WASTEWATER, STORMWATER MANAGEMENT, AND OTHER INFRASTRUCTURE SHALL BE PERFORMED BY AUTHORIZED REPRESENTATIVES OF THE TOWN OF DURHAM AS STIPULATED BY THE DURHAM DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REIMBURSE THE TOWN FOR ALL ASSOCIATED INSPECTION/ OBSERVATION COSTS.
- FIRE ACCESS** - ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE DURHAM FIRE DEPARTMENT AT (603) 868-5531 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
- CONSTRUCTION HOURS** - ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00AM TO 6:00PM MONDAY THROUGH FRIDAY AND 9:00AM TO 6:00PM SATURDAY.
- ADDITIONAL INFORMATION** - FOR ADDITIONAL INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM NH 03824. (603) 868-8064.
- EROSION AND SEDIMENTATION** - ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED AND THE GROUND SURFACE IS STABILIZED. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING CONSTRUCTION AND ANY DEFICIENCIES SHALL BE CORRECTED AS SOON AS POSSIBLE.
- BLASTING** - BLASTING AND ON-SITE CHIPPING (OF STONE) IS RESTRICTED TO THE HOURS OF 9:00AM TO 5:00PM MONDAY THROUGH FRIDAY. IF ANY BLASTING IS NEEDED THE APPLICANT OR CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DURHAM FIRE DEPARTMENT.
- WEEKLY MEETINGS** - THE APPLICANT/CONTRACTOR SHALL HOLD WEEKLY MEETINGS OR AS SPECIFIED BY THE TOWN ENGINEER WITH APPROPRIATE TOWN DEPARTMENTS TO DISCUSS THE CONSTRUCTION PROCESS AND THE SCHEDULE FOR THE UPCOMING WEEK.
- ROADS AND SIDEWALKS** - THE APPLICANT/CONTRACTOR SHALL NOT OBSTRUCT ANY ROAD OR SIDEWALK WITHOUT APPROVAL OF THE DURHAM POLICE DEPARTMENT. THE APPLICANT/CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO ANY SUCH ACTIVITY. THE POLICE DEPARTMENT WILL DETERMINE WHETHER OR NOT A POLICE DETAIL IS NEEDED.
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TRUCK TRAFFIC LEAVING (TO ANY DIRECTION) SHALL TURN SOUTH ON MADBURY ROAD, THEN RIGHT ONTO GARRISON AVENUE, THEN RIGHT ONTO MAIN STREET (TO ROUTE 4 OR ROUTE 155A).
- PEDESTRIAN ACCESS** - THE CONTRACTOR SHALL PROVIDE A MINIMUM 5 FOOT WIDE PEDESTRIAN ACCESS FOR ALL INGRESS AND EGRESS LOCATIONS FOR THE EXISTING BUILDING.
- NO PARKING ON GARRISON AVE.** DURING CONSTRUCTION. ARRANGEMENTS FOR OFF SITE PARKING IS THE RESPONSIBILITY OF THE CONTRACTOR.

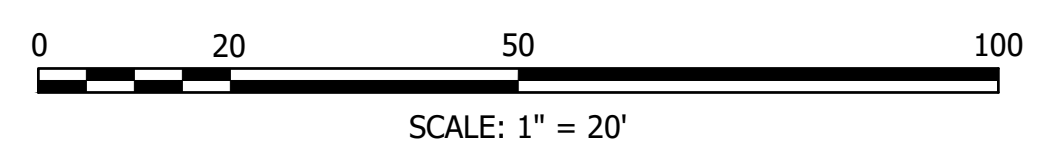


CONSTRUCTION SEQUENCE

- PHASE 2:
- INSTALL ALL EROSION CONTROLS AND CONSTRUCTION EXIT BEFORE EARTHWORKS START.
 - INSTALL STORMWATER POND INSTALL PROPOSED CATCH BASINS, EXCEPT FOR THE CATCH BASIN THAT WILL BE PART OF THE NEW PARKING LOT.
 - REMOVE EXISTING PARKING LOT AS NEEDED.
 - BEGIN CONSTRUCTION OF NEW BUILDING FOUNDATION.
 - BEGIN CONSTRUCTION OF NEW PARKING LOT AND ESTABLISH FINAL GRADES OF THE SITE.
 - DEPENDING ON THE TIME OF COMPLETION OF THE PARKING LOT, FINAL PAVING MAY BE DELAYED TO FOLLOWING SPRING.
 - MONITOR AND MAINTAIN EROSION CONTROLS AS NEEDED.

FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 CERTIFIED _____
 DATE _____

- PHASE 2A, STORMWATER
- PHASE 2B, PARKING AND REMAINING LANDSCAPING AND UTILITIES
- PHASE 2C, BUILDING CONSTRUCTION



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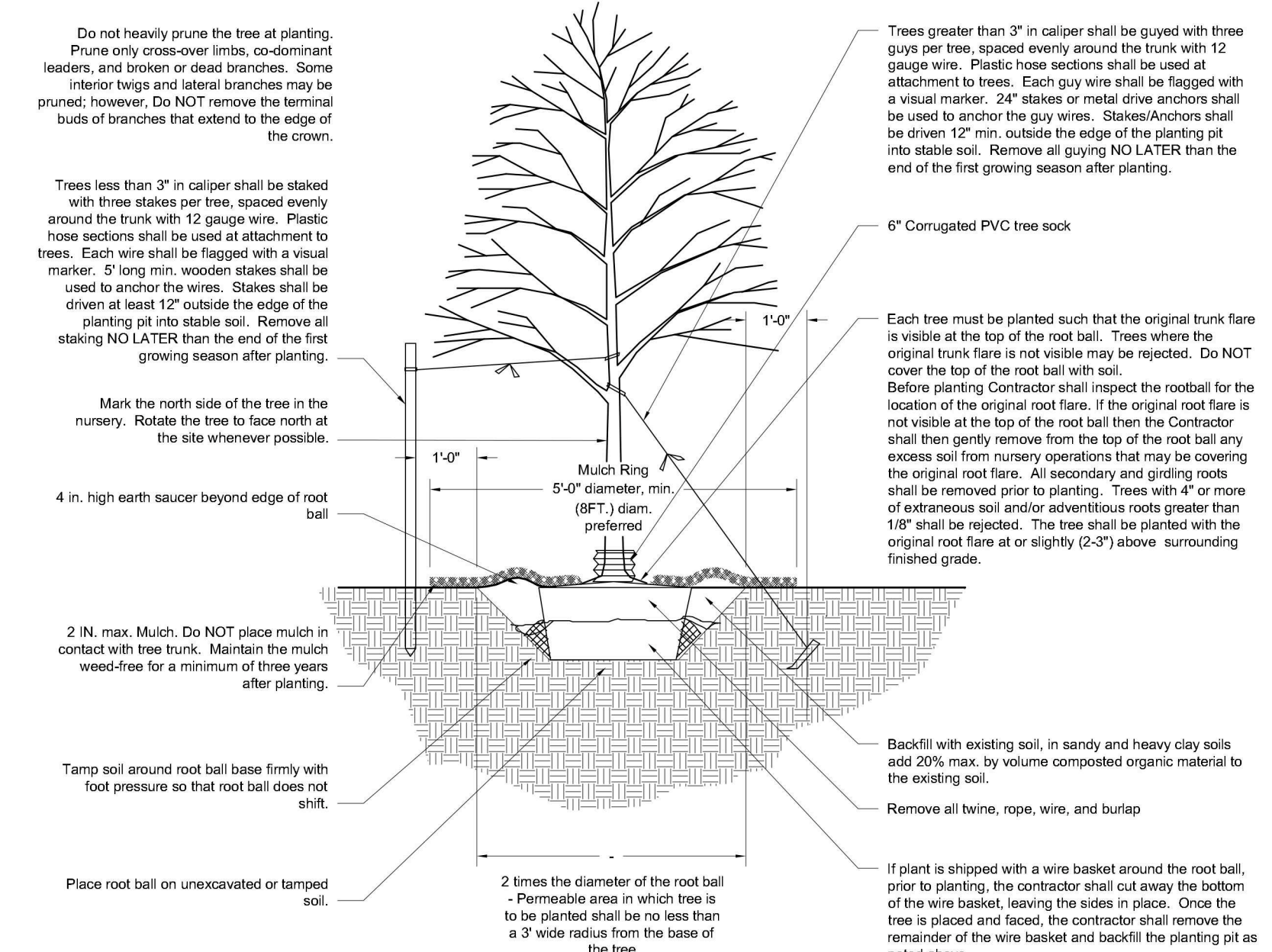
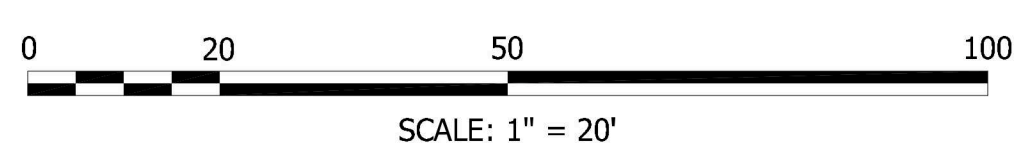
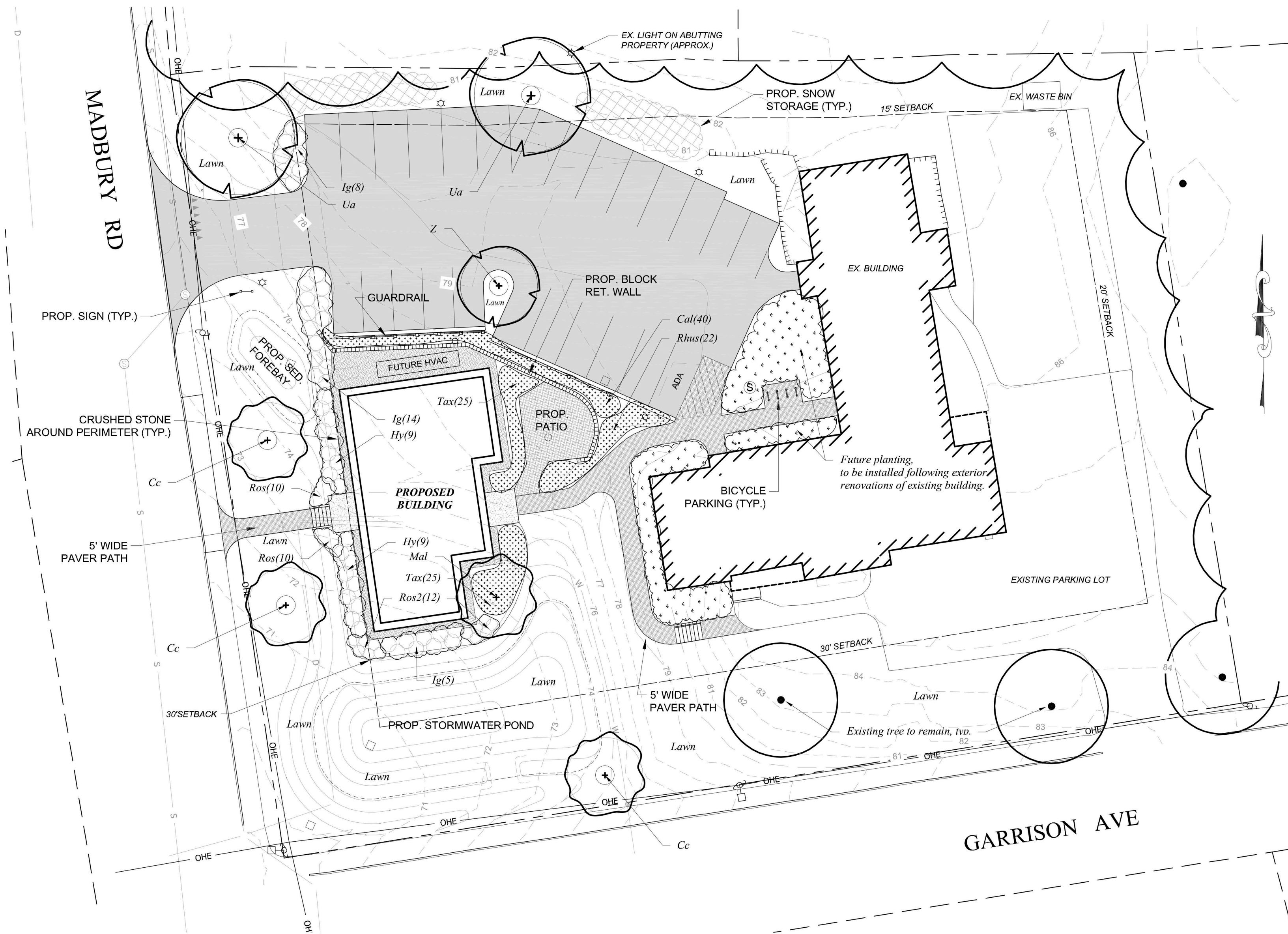
AAM DURHAM RESIDENCES
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DURHAM, NEW HAMPSHIRE

**PHASE II
CONSTRUCTION PLAN**

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------------|----------------------------------|-----|-----|
| 00 | 2022-04-05 | INITIAL SUBMISSION | MCS | MCS |
| 01 | 2022-05-10 | REVISED PER NOD DATED 2022-04-22 | MCS | MCS |
| 02 | 2022-05-27 | REVISED PER DPW COMMENTS | MCS | MCS |
| 03 | 2022-07-14 | REVISED PER DURHAM COA | MCS | MCS |

| | |
|---------------------|---------------------|
| DATE: 2021-12-21 | PROJECT #: 21585 |
| ENG'D BY: MJS | DRAWN BY: MCS |
| CHECK'D BY: MJS | ARCHIVE #: H-___ |

C105



Tree Planting Detail

Plant List

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|---------------------------------------|-----------------------------|----------|-------------|----------|
| Mal | <i>Malus 'Prairiefire'</i> | Prairiefire Crabapple | 1 | 2-2.5" cal | BB |
| Ua | <i>Ulmus americana 'Princeton'</i> | Princeton American Elm | 2 | 3-3.5" cal. | BB |
| Cc | <i>Crataegus crus-galli 'Inermis'</i> | Thornless Cockspur Hawthorn | 3 | 2-2.5" cal | BB |
| Z | <i>Zelkova serrata 'Green Vase'</i> | Green Vase Zelkova | 1 | 2-2.5" cal | |

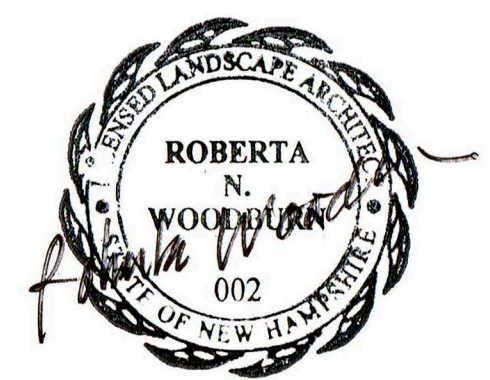
| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|---|-----------------------|----------|--------|------------------------------|
| Hy | <i>Hydrangea paniculata 'Little Lime'</i> | Little Lime Hydrangea | 18 | 5 gal | |
| Ig | <i>Ilex glabra 'Shamrock'</i> | Shamrock Inkberry | 27 | 5 gal | Full & full to the ground BB |
| Rhus | <i>Rhus aromatica 'Grow-Low'</i> | Grow Low Sumac | 22 | 18-24" | BB |
| Ros | <i>Rosa 'Apricot Drift'</i> | Apricot Drift Rose | 20 | 3 gal | |
| Ros2 | <i>Rosa 'Sunny Knockout'</i> | Sunny Knockout Rose | 12 | 5 gal | |
| Tax | <i>Taxus media 'Everlow'</i> | Everlow Yew | 50 | 3 gal | |

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|---|--------------------|----------|-------|----------|
| Cal | <i>Calamagrostis acutifolia 'Karl Foerster'</i> | Feather Reed Grass | 40 | 1 gal | |

Landscape Notes

- Design is based on drawings by Horizons Engineering dated 5/10/2022 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- This plan is for review purposes only, NOT for Construction. Construction Documents will be provided upon request.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- Hose bibs shall be located adjacent to the front and rear entry, in order to provide water to plant material.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond root overhang and shall be edged with 3/16" thick metal edge.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.
- Low phosphorus/slow release nitrogen fertilizers for landscaping materials shall be used.

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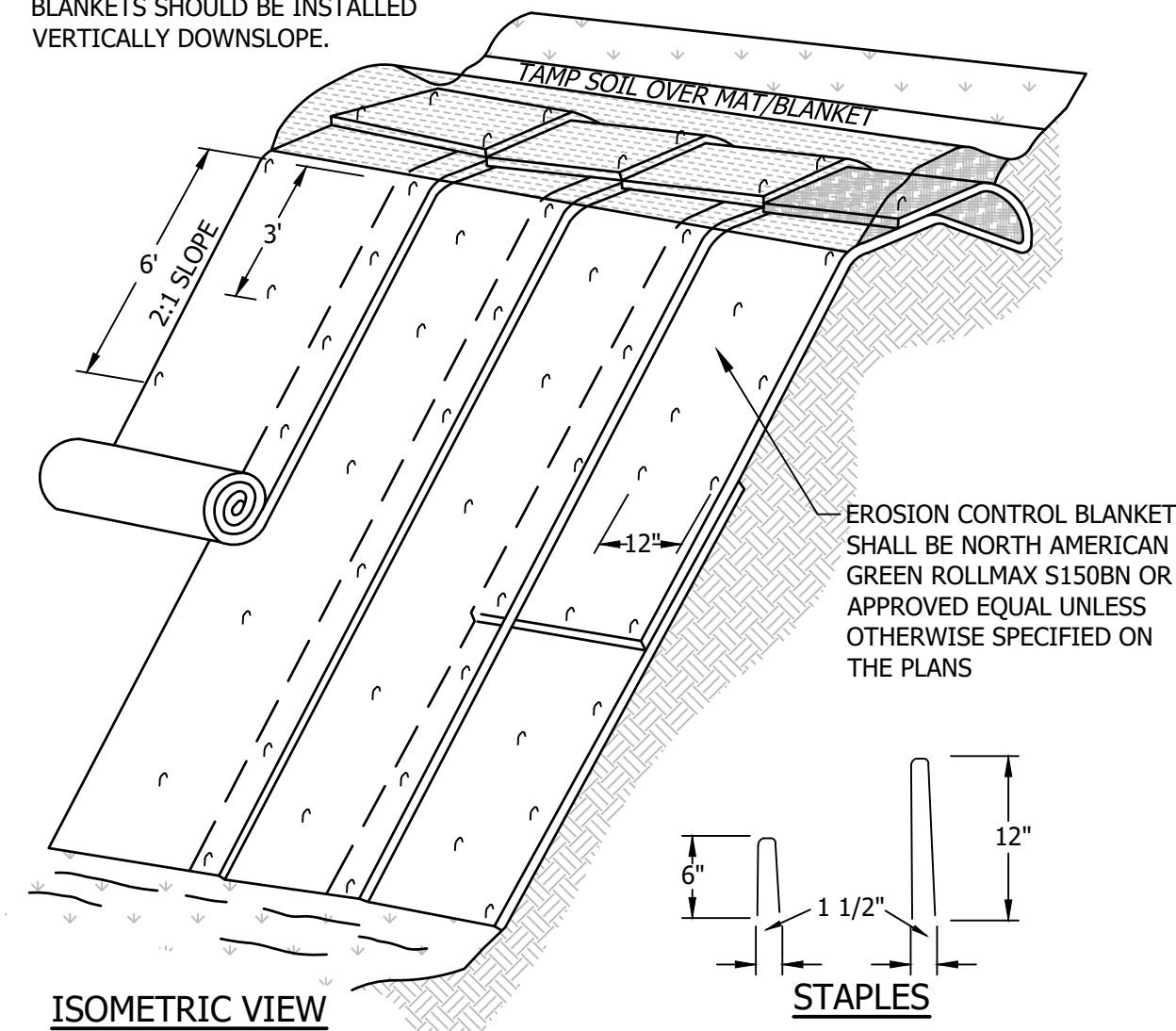
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32 & 34 MADBURY ROAD
DURHAM, NEW HAMPSHIRE

LANDSCAPE PLAN

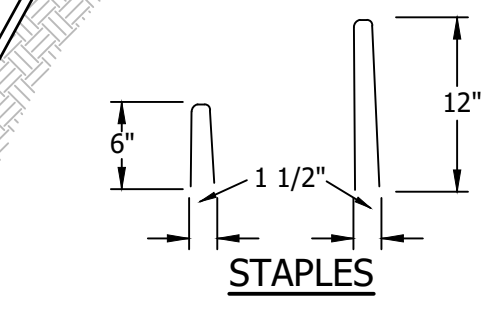
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| 00 | 2022-03-01 | INITIAL SUBMISSION | VM | 01 |
| 01 | 2022-04-06 | PER TOWN COMMENTS | VM | 01 |
| 02 | 2022-05-16 | PER TOWN COMMENTS | VM | 01 |

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| DATE: 2022-03-01 | PROJECT #: 21585 |
| ENG'D BY: VM | DRAWN BY: VM |
| CHECK'D BY: RW | ARCHIVE #: H-___ |

BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.



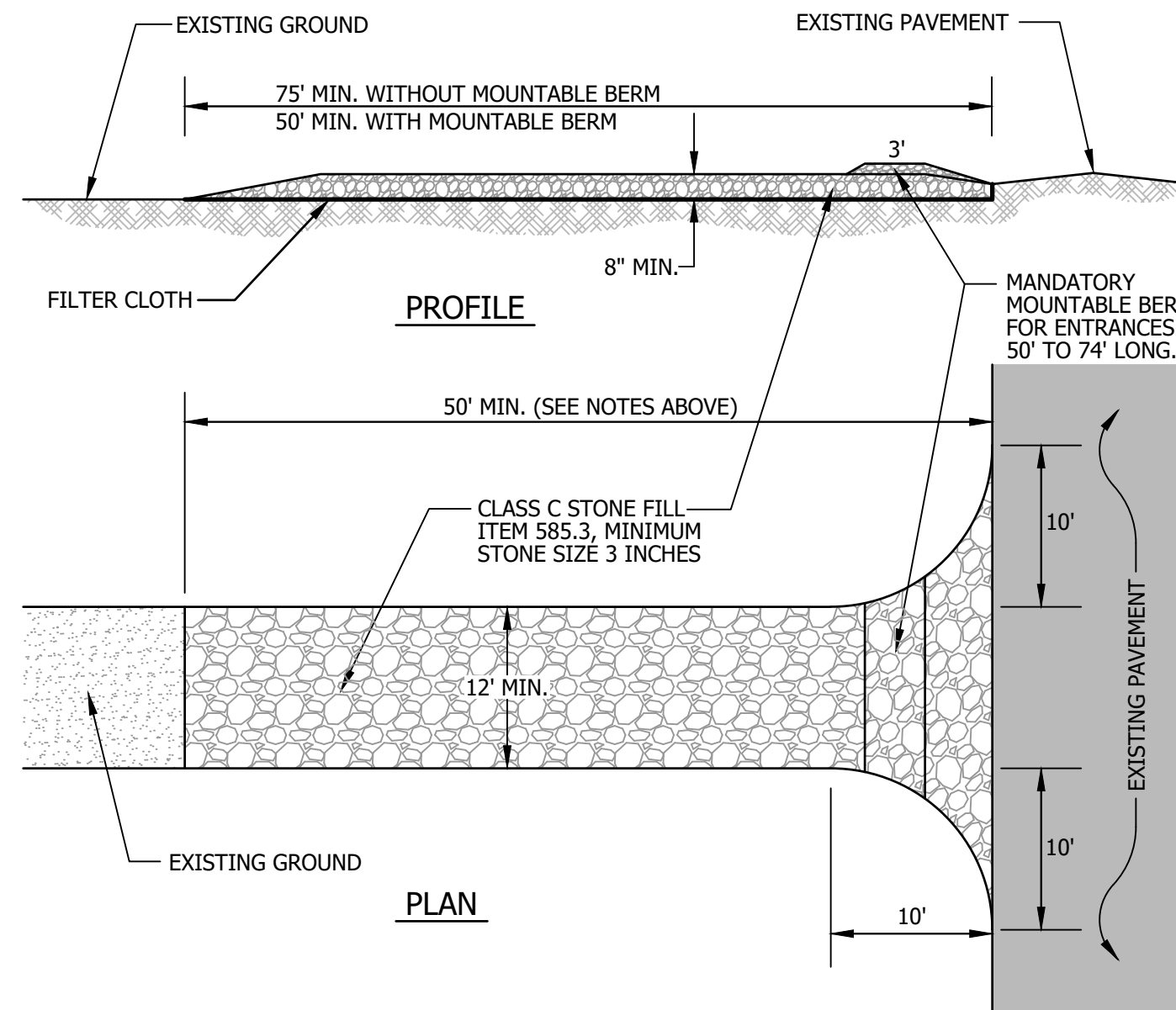
EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN ROLLMAX S150BN OR APPROVED EQUAL UNLESS OTHERWISE SPECIFIED ON THE PLANS



DETAIL DIGITIZED FROM NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, NHDES 2008

EROSION CONTROL BLANKET INSTALLATION DETAIL
NOT TO SCALE

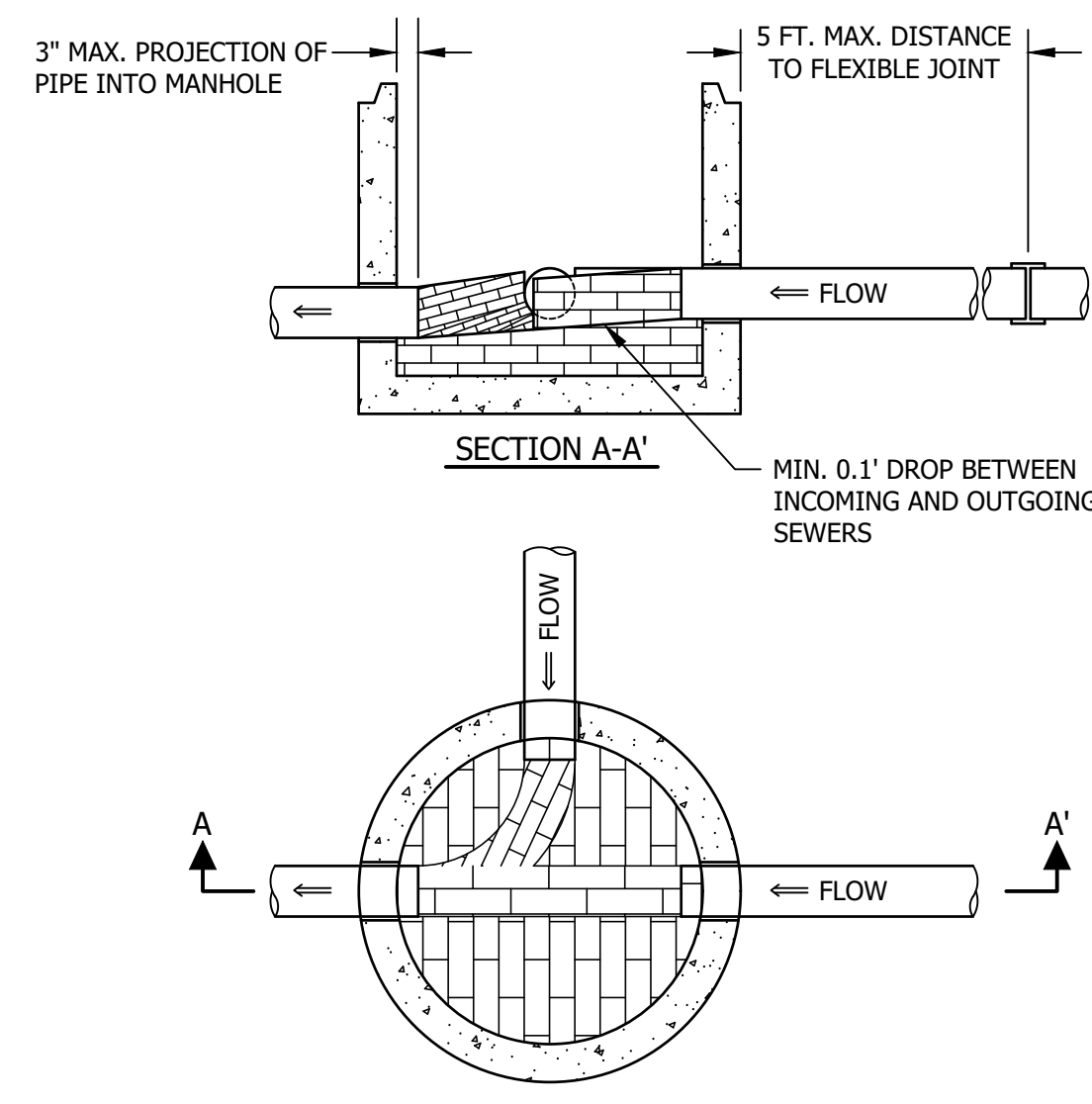
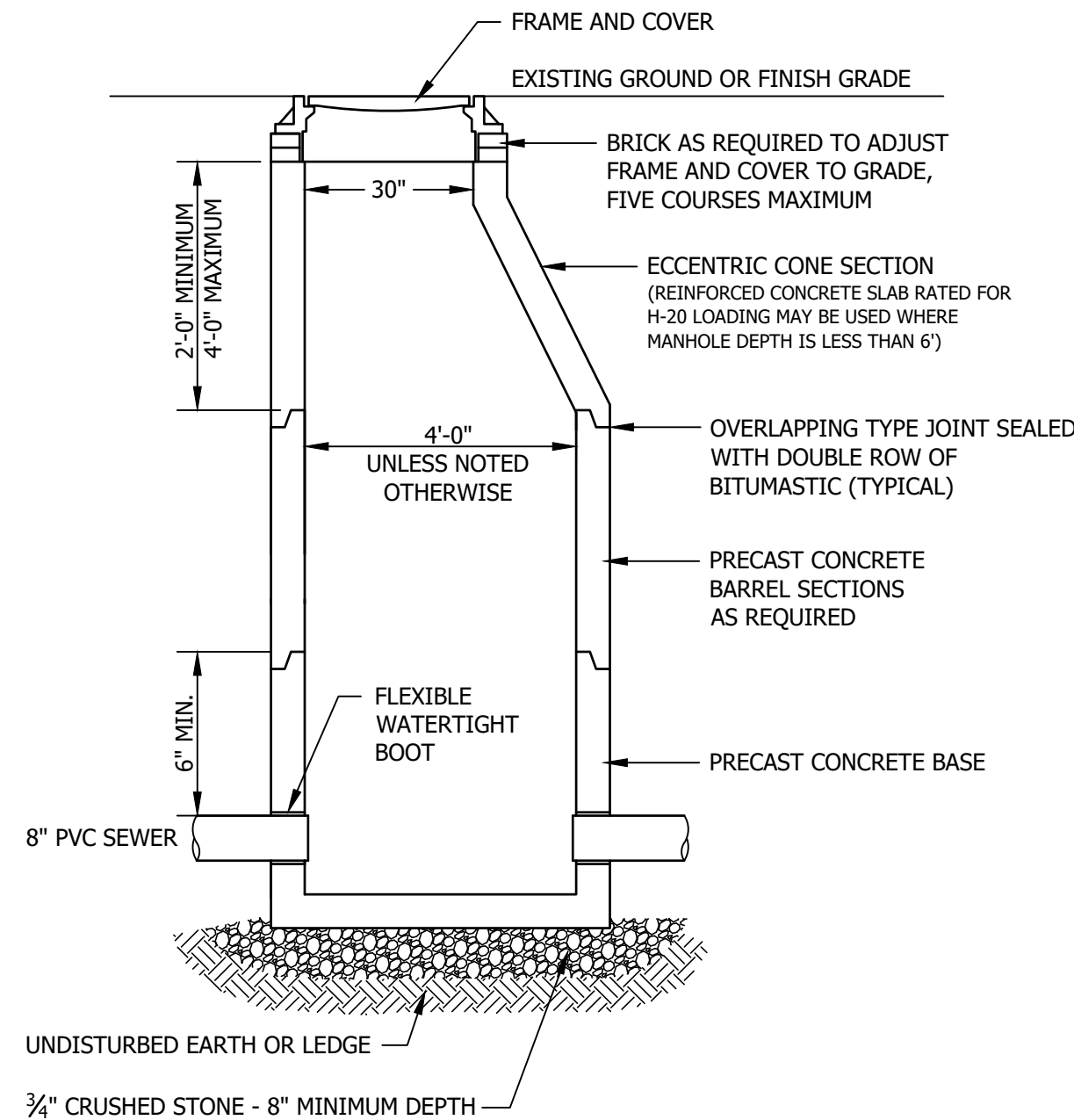
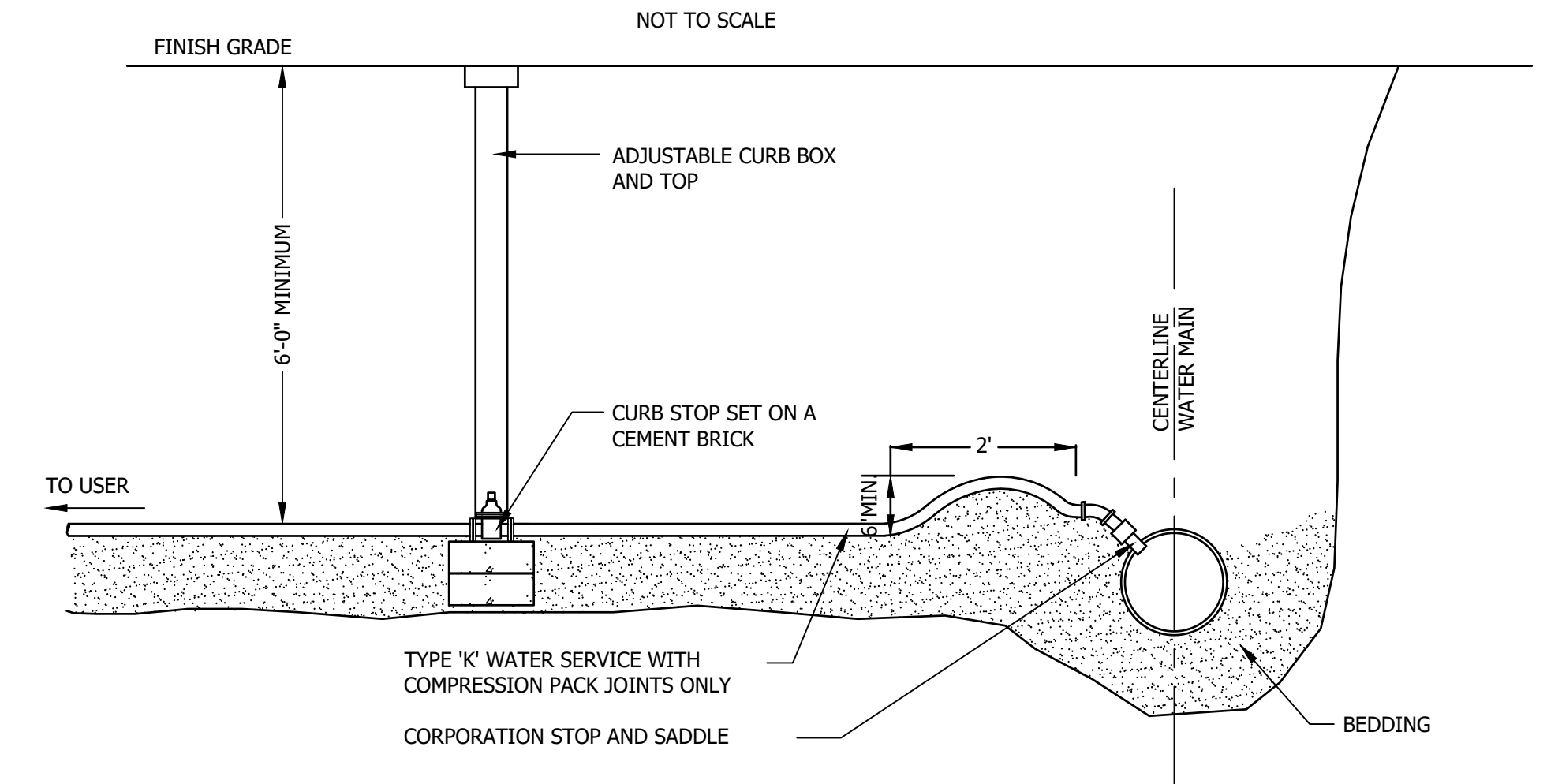
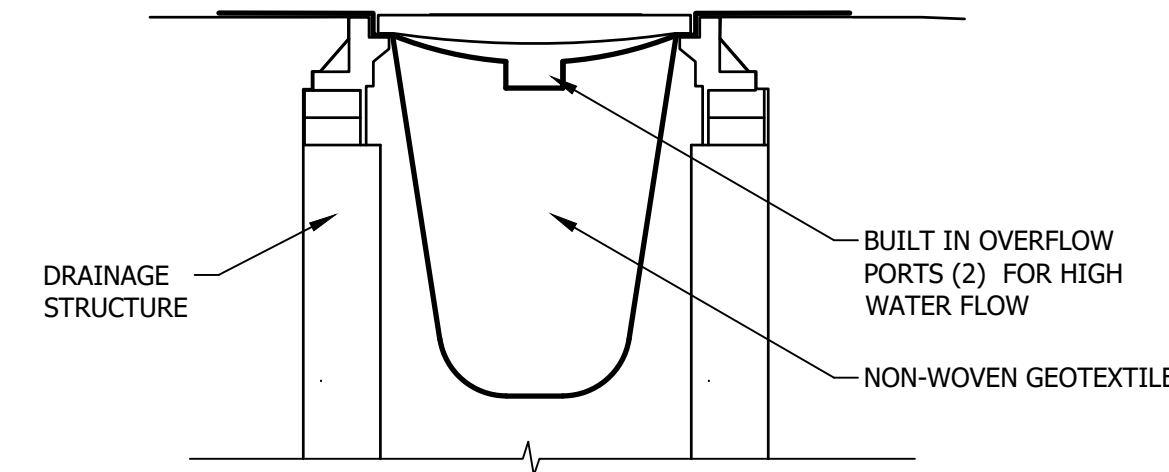
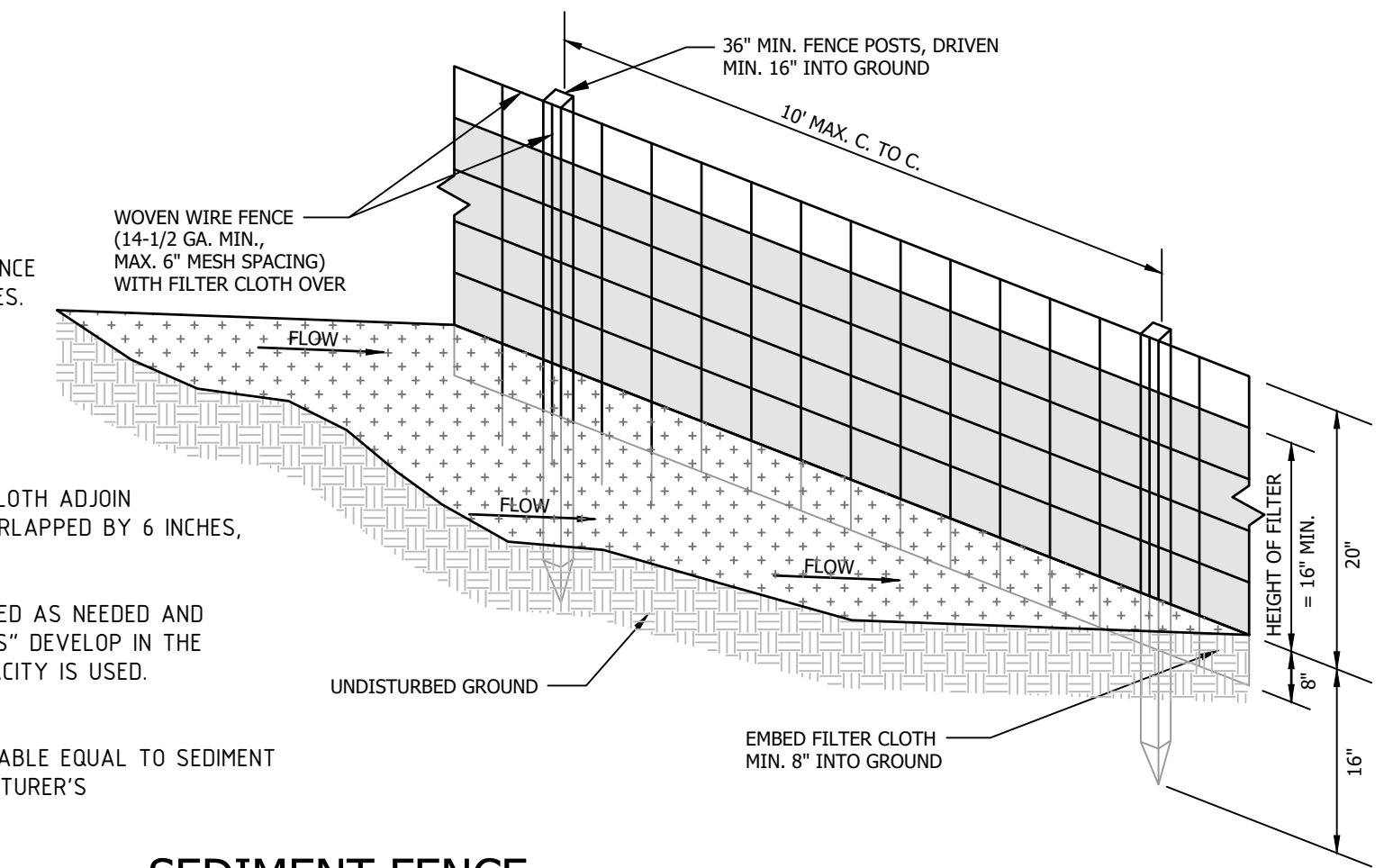
- NOTES:**
1. DIMENSION GIVEN IN THE DRAWINGS ARE EXAMPLES; DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
 4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.



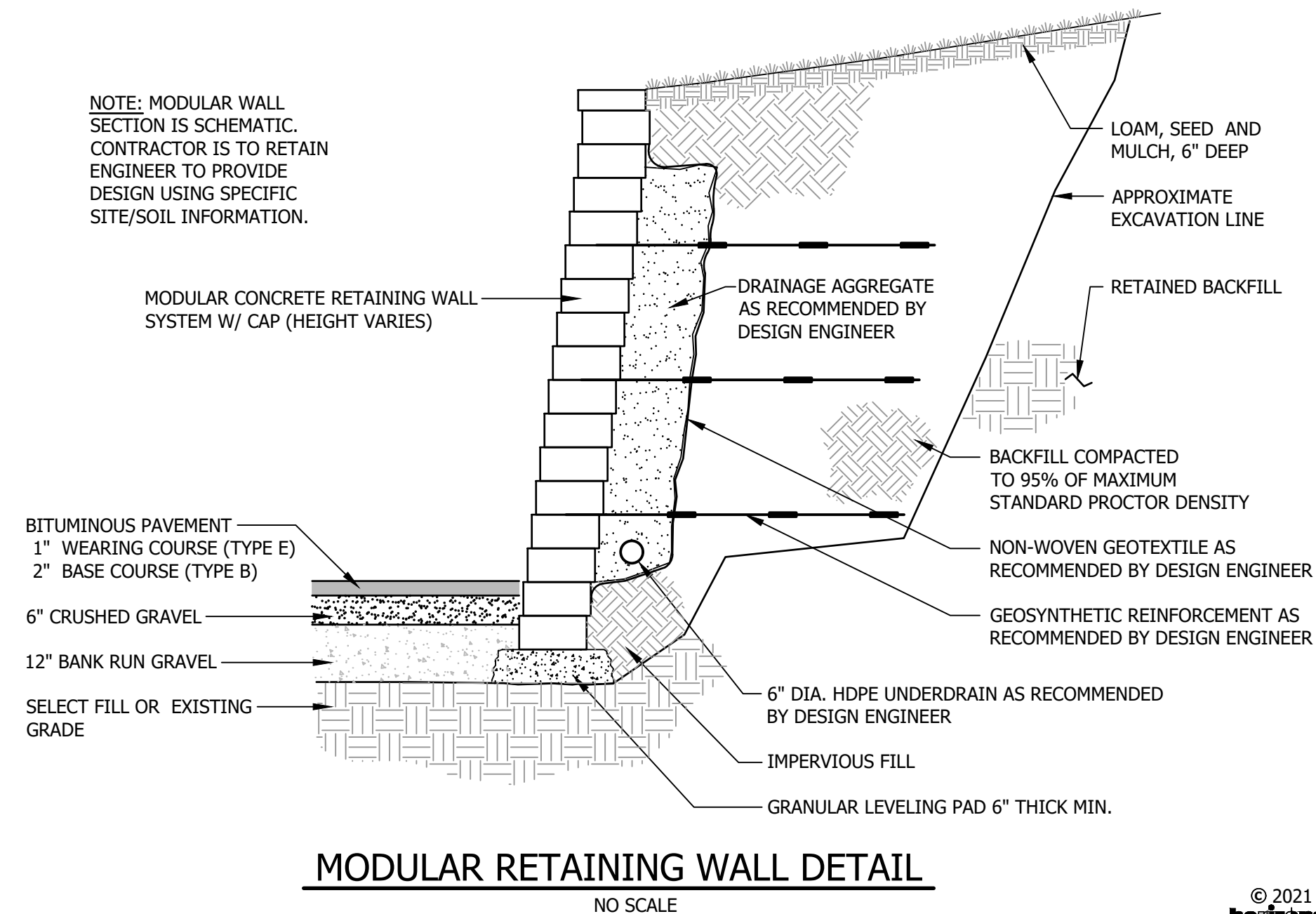
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

CONSTRUCTION NOTES FOR SEDIMENT FENCE

1. WOVEN WIRE FENCE, IF REQUIRED, TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SEDIMENT FENCE, OR 50% OF CAPACITY IS USED.
5. 12" DIAMETER FILTREXX SILTSOXX SHALL BE CONSIDERED AN ACCEPTABLE EQUAL TO SEDIMENT FENCE IF INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



NOTE: MODULAR WALL SECTION IS SCHEMATIC. CONTRACTOR IS TO RETAIN ENGINEER TO PROVIDE DESIGN USING SPECIFIC SITE/SOIL INFORMATION.



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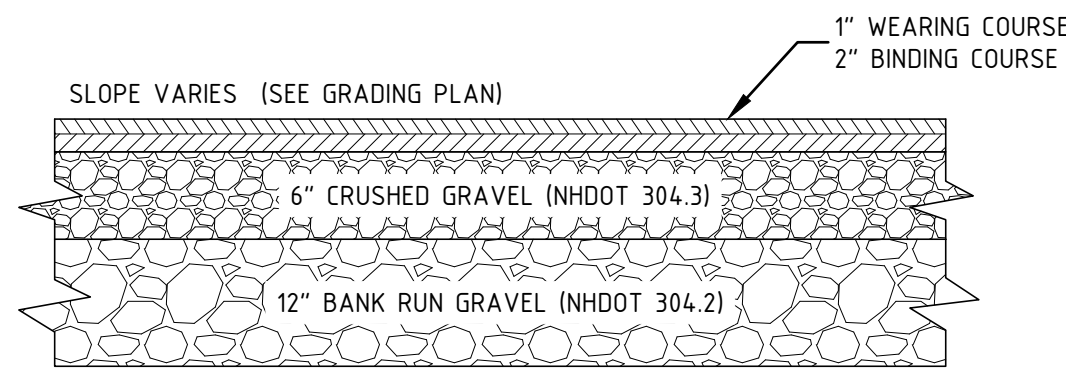
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CONSTRUCTION DETAILS

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------------|----------------------|-----|-----|
| 00 | 2022-03-02 | INITIAL SUBMISSION | MCS | MCS |

DATE: 2022-03-02 PROJECT #: 21585
 ENG'D BY: MJS DRAWN BY: MCS
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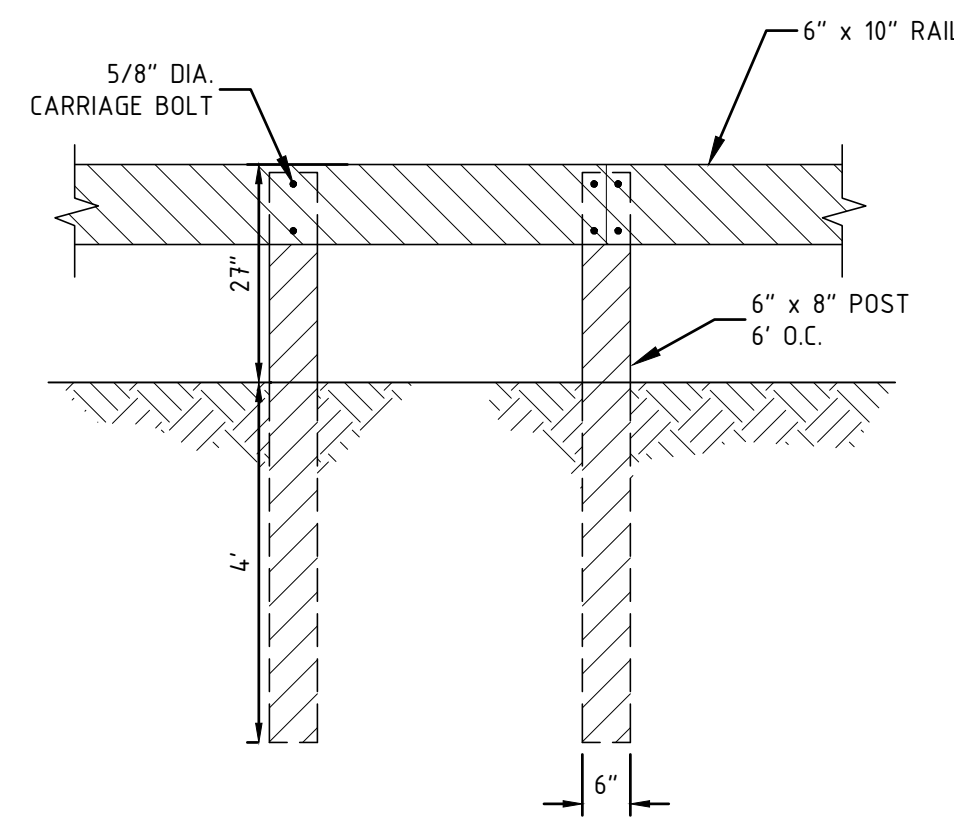
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- NOTES:**
1. COMPLETELY REMOVE DELETERIOUS MATERIALS ENCOUNTERED BELOW PARKING AREA.
 2. COMPACT SUBGRADE TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR.

PAVED PARKING LOT CROSS-SECTION

NTS

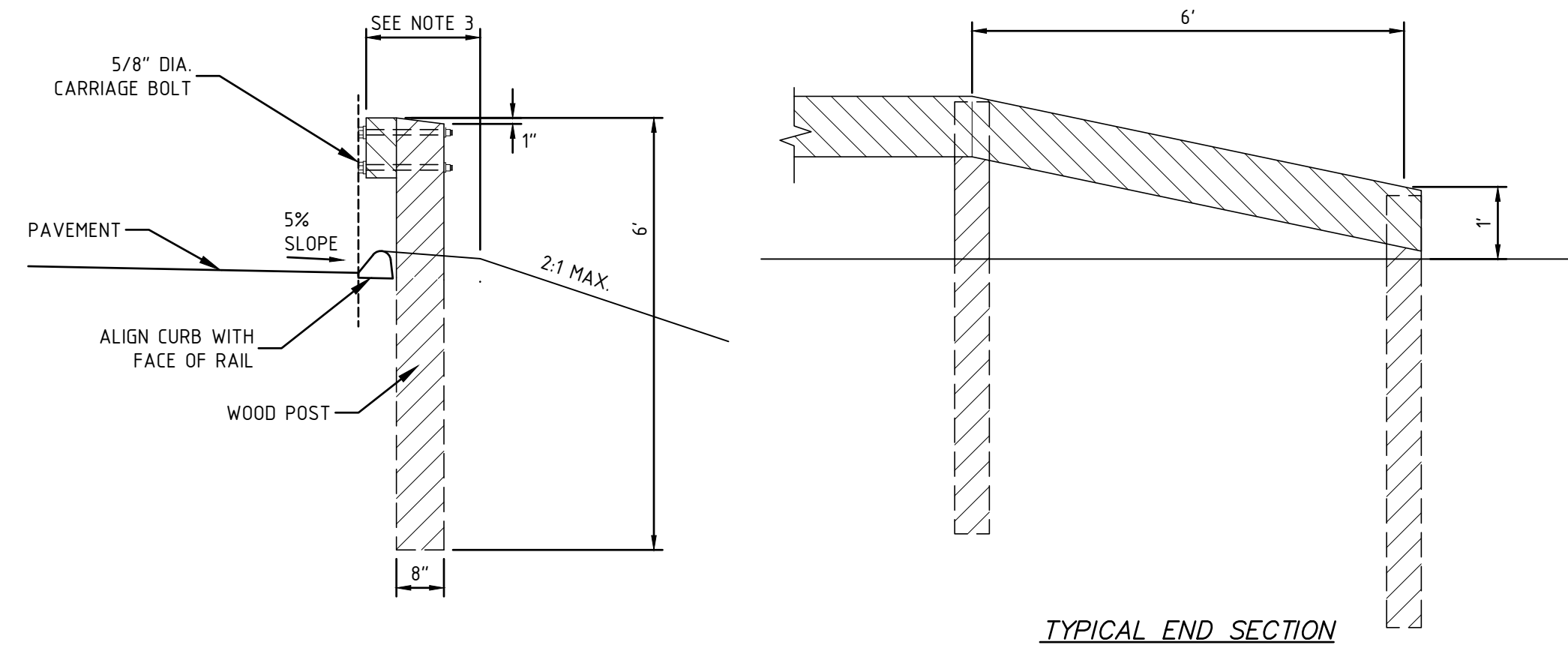


- NOTE:**
1. ALL MATERIAL AND INSTALLATION METHODS SHALL CONFORM W/NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 606-GUARDRAIL.
 2. REFER TO SHEET C102 FOR LOCATION AND GRADING AROUND GUARD RAIL.
 3. FACE OF GUARDRAIL SHOULD BE NO CLOSER THAN 6'-3" FROM THE FACE OF THE INSTALLED RETAINING WALL OR 2'-6" FROM SLOPES GREATER THAN 5%.

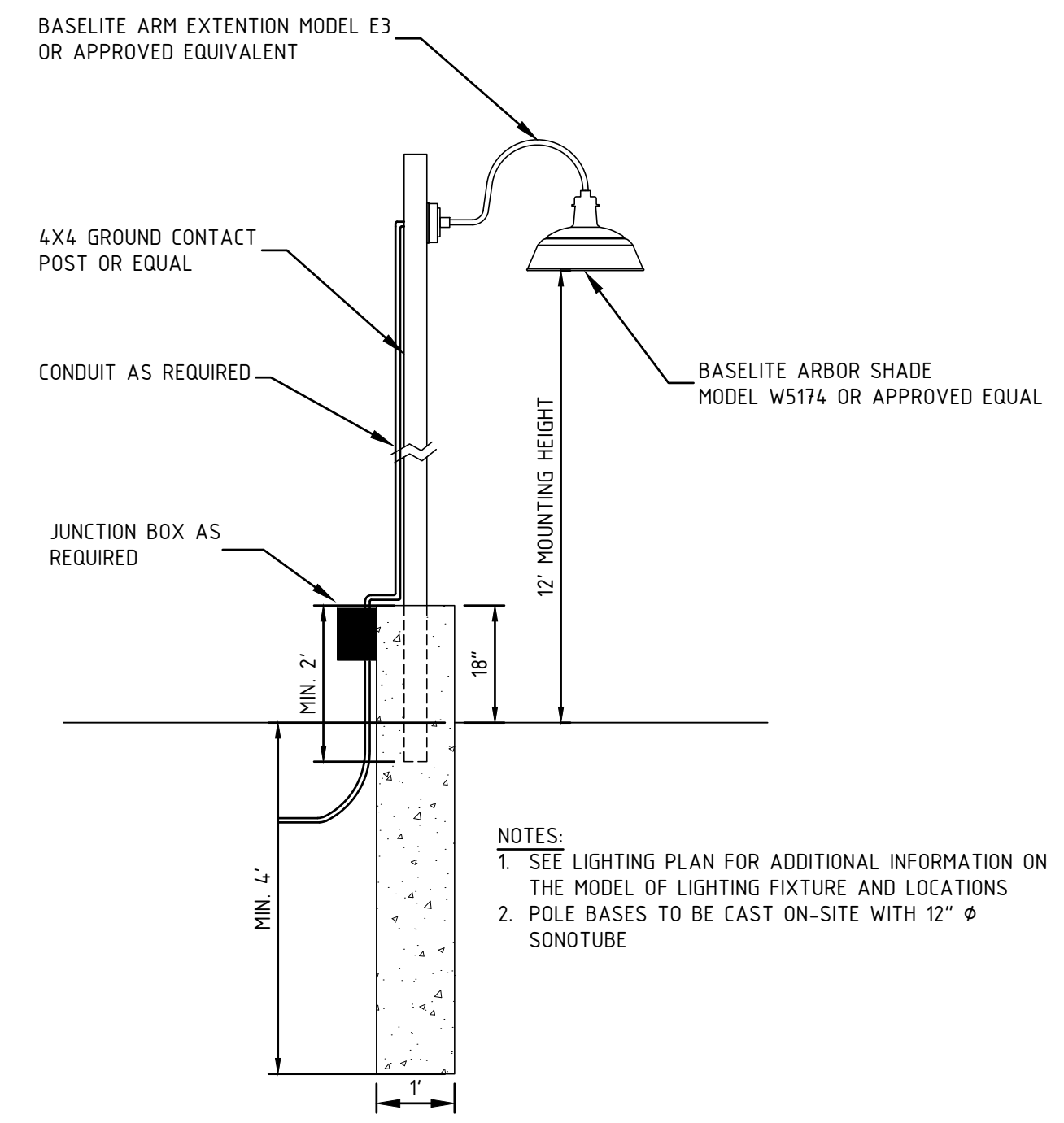
REFERENCE:
TIMBER BRIDGE DESIGN, CONSTRUCTION, INSPECTION, AND MAINTENANCE PUBLISHED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE FOREST SERVICE.

GUARD RAIL DETAIL

NTS



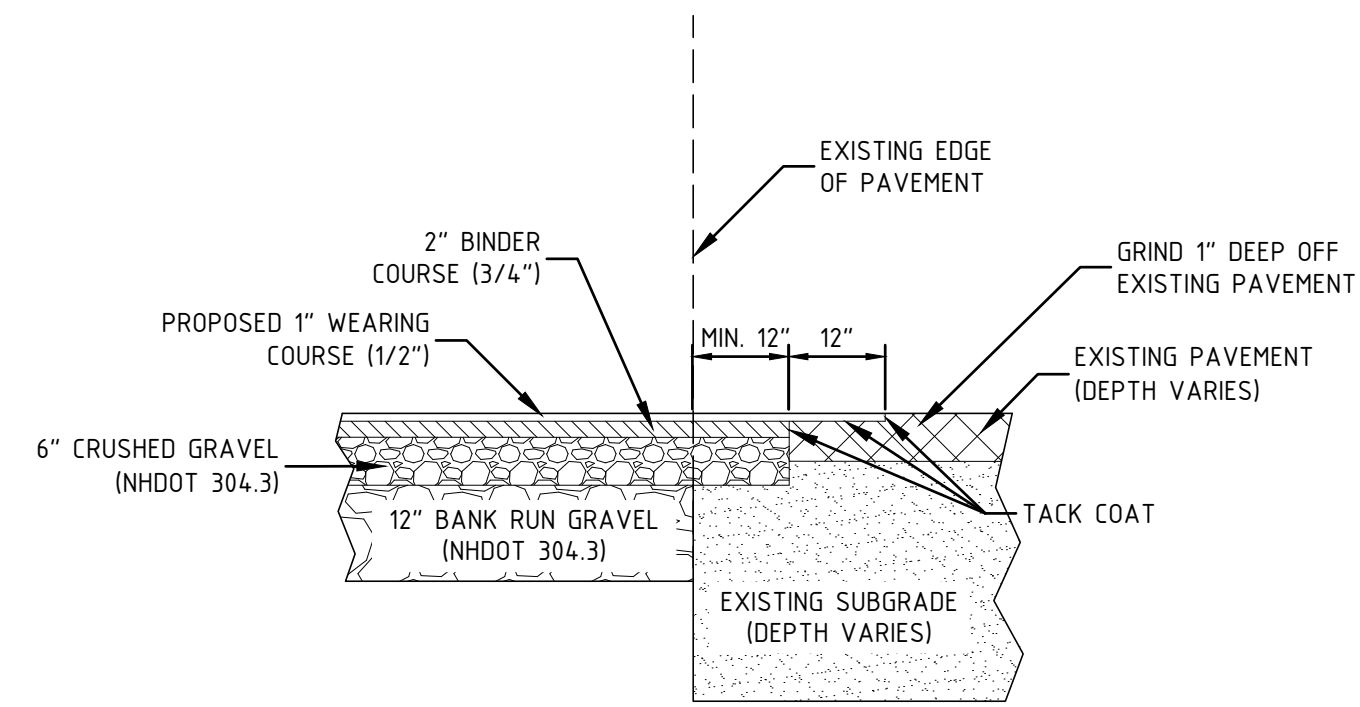
TYPICAL END SECTION



- NOTES:**
1. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION ON THE MODEL OF LIGHTING FIXTURE AND LOCATIONS
 2. POLE BASES TO BE CAST ON-SITE WITH 12" Ø SONOTUBE

POLE MOUNTED BASELITE ARBOR LIGHT FIXTURE

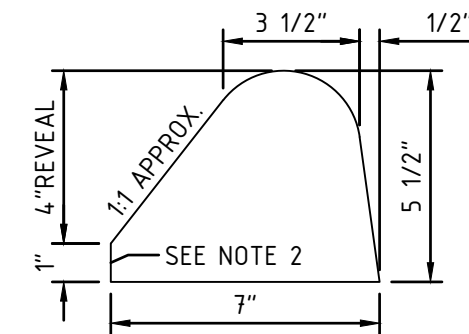
NTS



- NOTES:**
1. SAWCUT THROUGH DEPTH OF PAVEMENT AT LEAST 1 FT. FROM EDGE OR GREATER IF REQUIRED BY NHDOT.
 2. INSTALL AND COMPACT CRUSHED GRAVEL TO GRADE.
 3. PLACE BINDER COURSE.
 4. GRIND EXISTING PAVEMENT 1 FT. WIDE TO A DEPTH NECESSARY TO PROPERLY MATCH NEW WEARING COURSE PAVEMENT.
 5. TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.

TYPICAL PAVEMENT SAWCUT DETAIL

NTS



- NOTES:**
1. NHDOT ITEM 609.811
 2. MATCH DEPTH OF WEARING COURSE PAVEMENT
 3. SEE GUARD RAIL DETAIL FOR PLACEMENT OF CURB

ASPHALT CURB (NHDOT TYPE B)

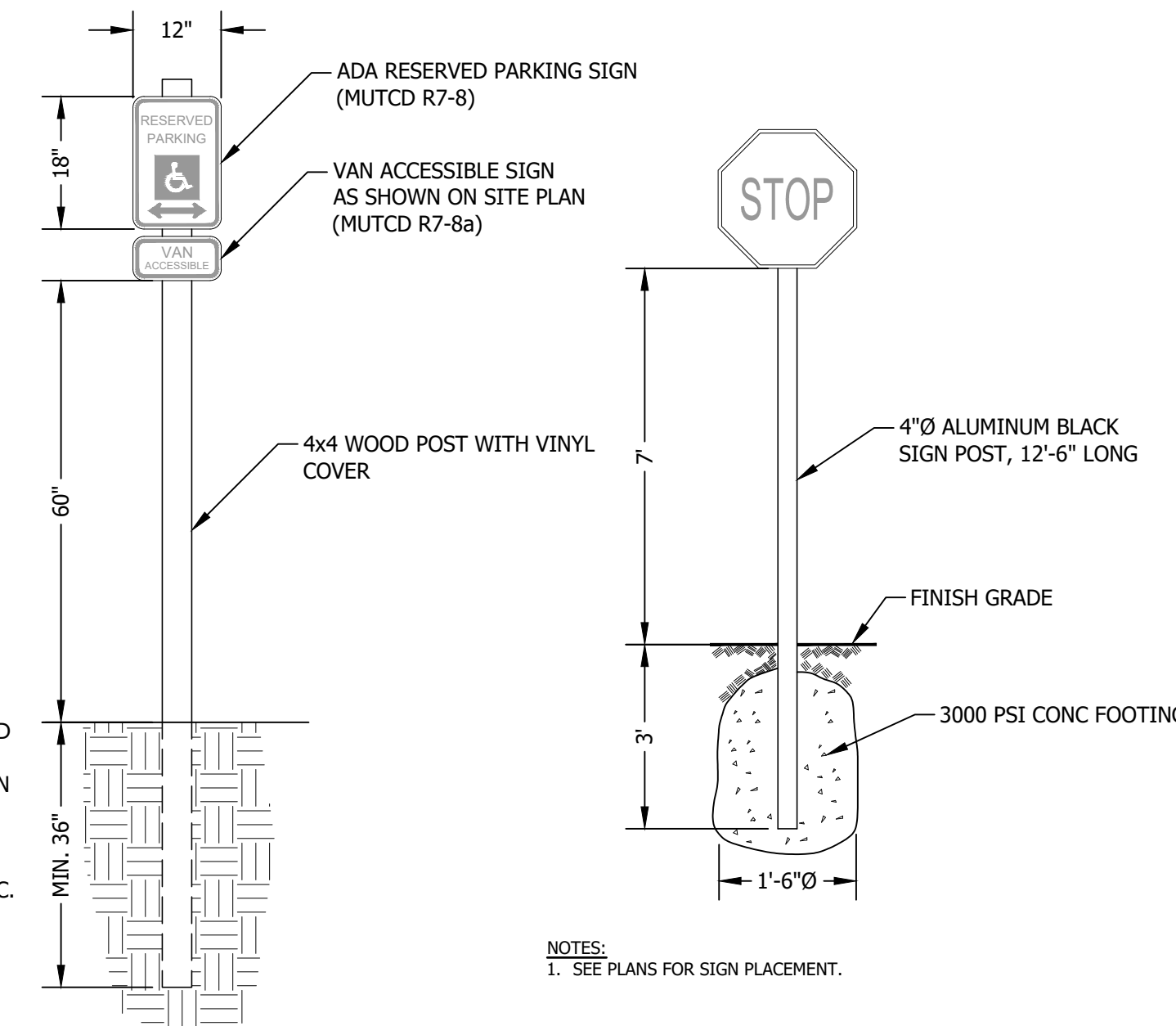
NTS

| ITEM NO. | SIGN SIZE | | TEXT | NO. SIGNS REQ'D |
|----------|-----------|-------|------------------|-----------------|
| | HEIGHT | WIDTH | | |
| R1-1 | 30" | 30" | STOP | 1 |
| R7-8 | 18" | 12" | RESERVED PARKING | 1 |
| R7-8a | 9" | 18" | VAN ACCESSIBLE | 1 |

- NOTES:**
1. ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
 2. ALL FREE STANDING SIGNS TO BE MOUNTED AT A MINIMUM HEIGHT OF 7' FROM THE EXISTING GRADE TO THE BOTTOM OF THE SIGN

SIGN SCHEDULE

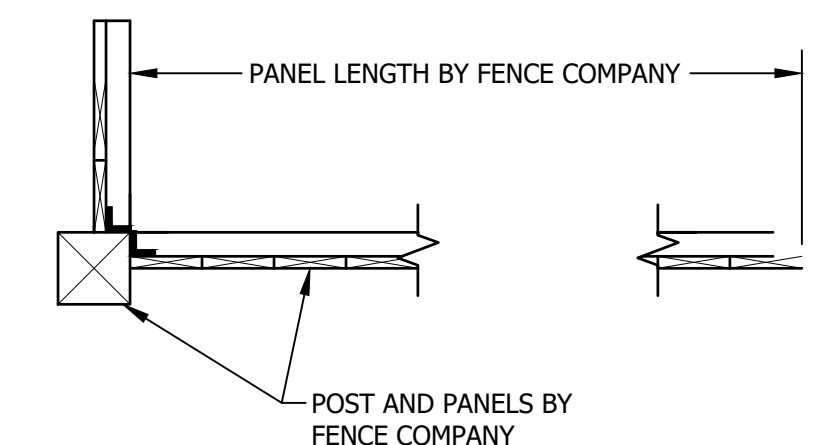
NOT TO SCALE



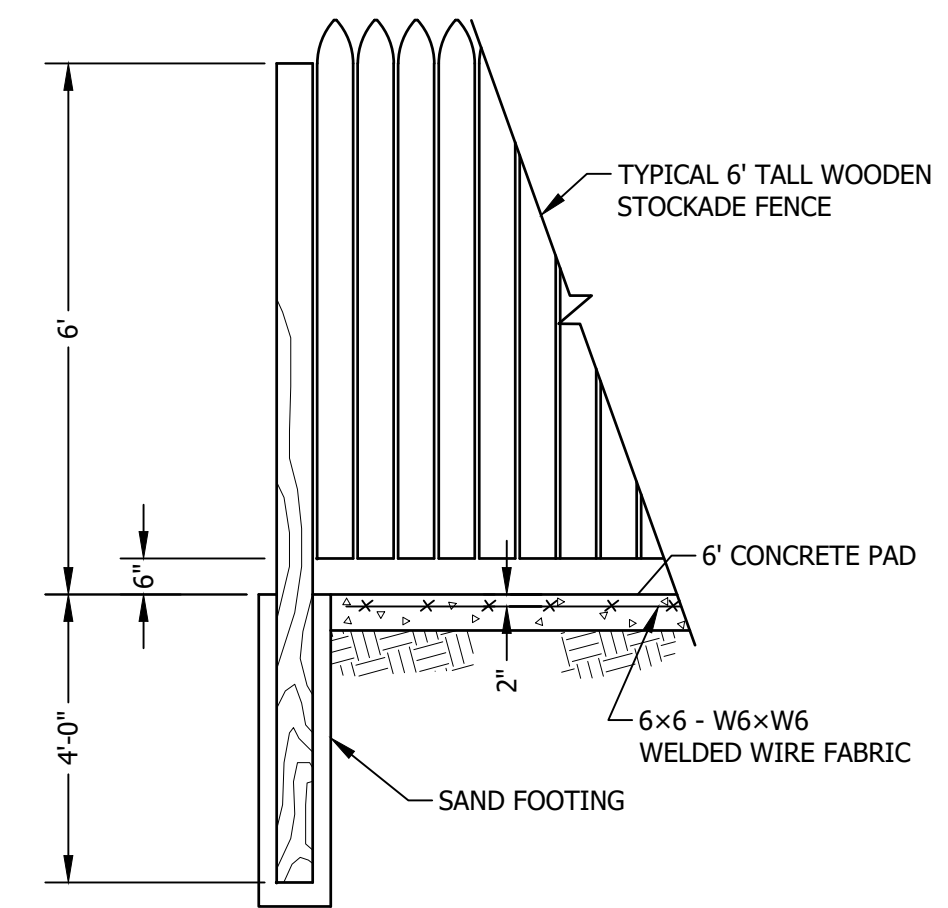
- NOTES:**
1. SEE PLANS FOR SIGN PLACEMENT.

TYPICAL POLE MOUNTED SIGN DETAIL

NOT TO SCALE



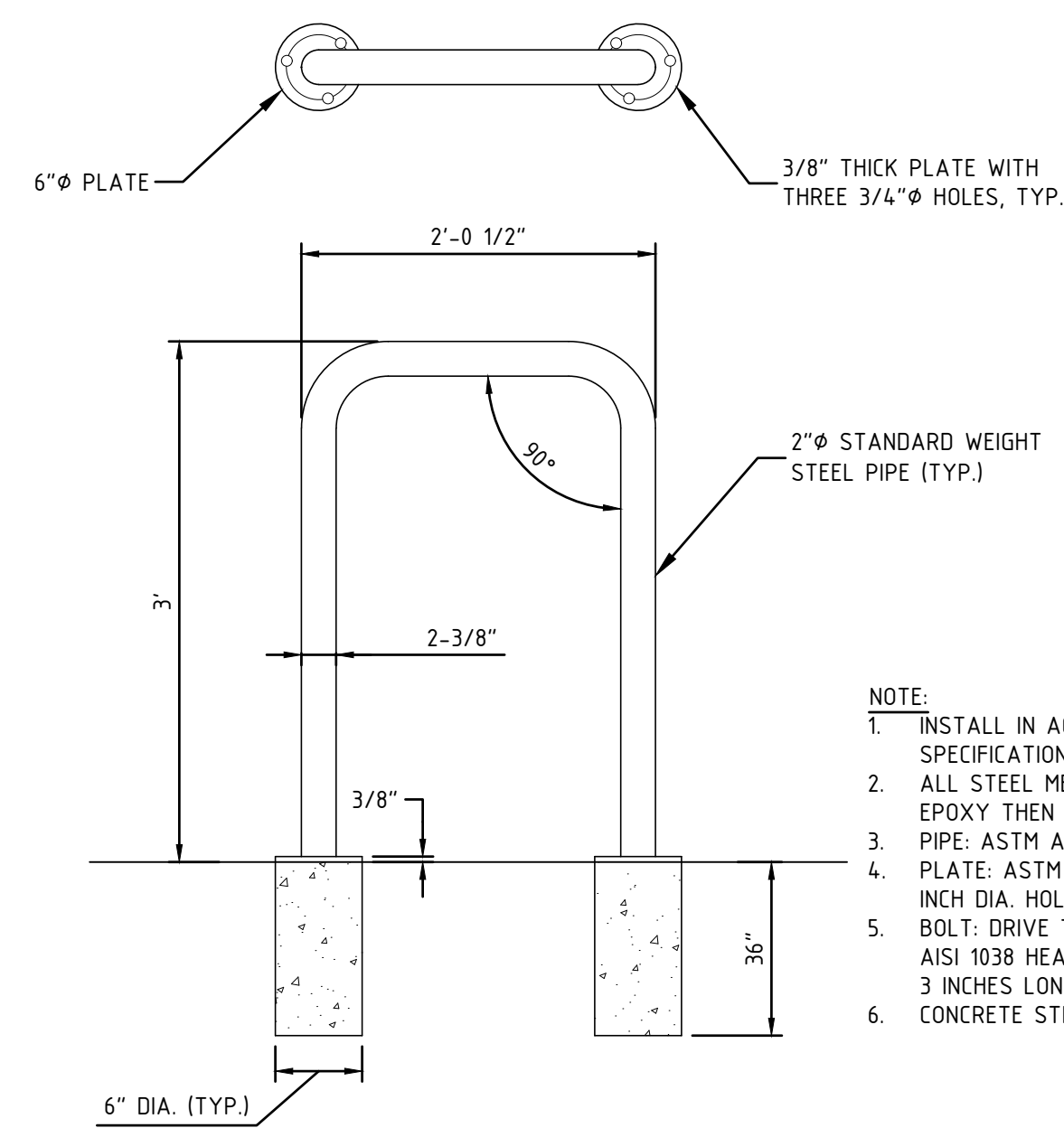
PLAN VIEW



ELEVATION VIEW

DUMPSTER ENCLOSURE

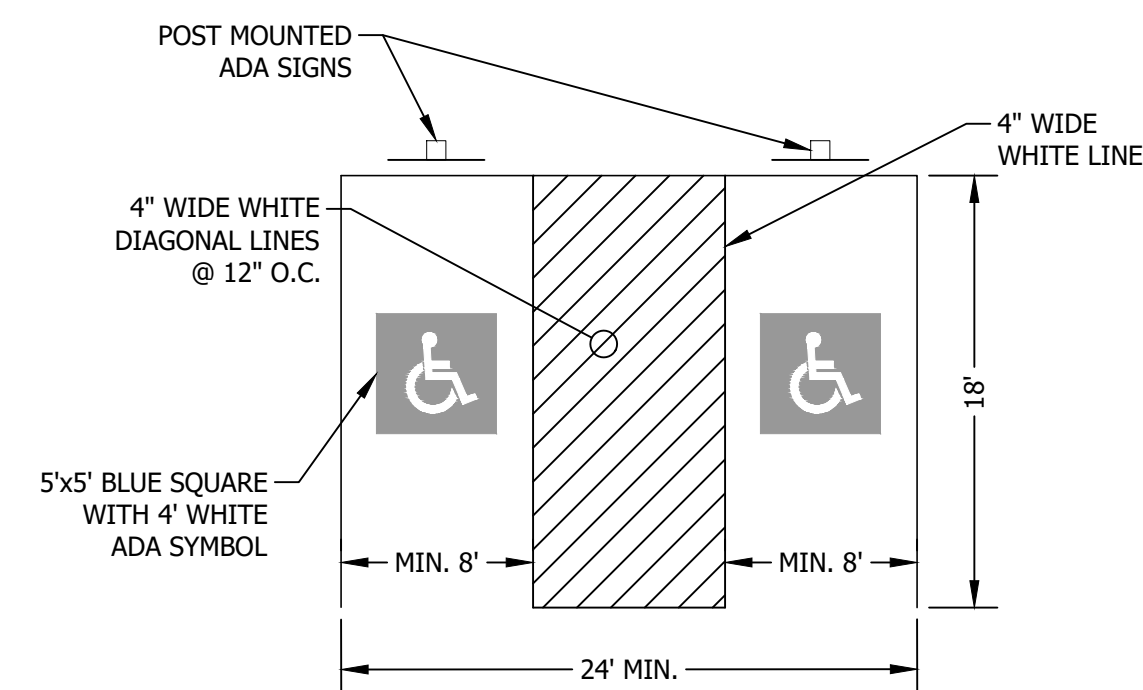
NOT TO SCALE



- NOTE:**
1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 2. ALL STEEL MEMBERS SHALL BE COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 3. PIPE: ASTM A53 GRADE B STANDARD WEIGHT STEEL PIPE
 4. PLATE: ASTM 136 3/8 INCH THICK PLATE WITH THREE 3/4 INCH DIA. HOLES AT 120 DEGREE SPACING.
 5. BOLT: DRIVE TYPE ANCHOR BOLT MADE OF ZINC PLATED AISI 1038 HEAT TREATED CARBON STEEL, 1/2 INCH DIA. BY 3 INCHES LONG.
 6. CONCRETE STRENGTH TO BE 3,000 PSI AT 28 DAYS.

TYPICAL BIKE RACK DETAIL

NTS



- NOTES:**
1. SEE SITE PLAN FOR STRIPING LAYOUT

PAVEMENT MARKINGS:

1. STRIPE PARKING AREAS AND DRIVES AS SHOWN, INCLUDING PARKING SPACES, HANDICAP SYMBOLS, AND PAINTED ISLANDS. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) AND AASHTO M248 TYPE "F". MEDIAN ISLANDS AND CENTERLINES TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT.
2. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGN AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
3. PAINTED ISLANDS SHALL BE 4 INCH WIDE DIAGONAL LINES SPACED AT 3 FT. O.C. BORDERED BY 4 INCH WIDE LINES.
4. MAXIMUM SLOPE OF ADA PARKING IS 2%

ADA PARKING AND SIGNAGE DETAIL

NOT TO SCALE

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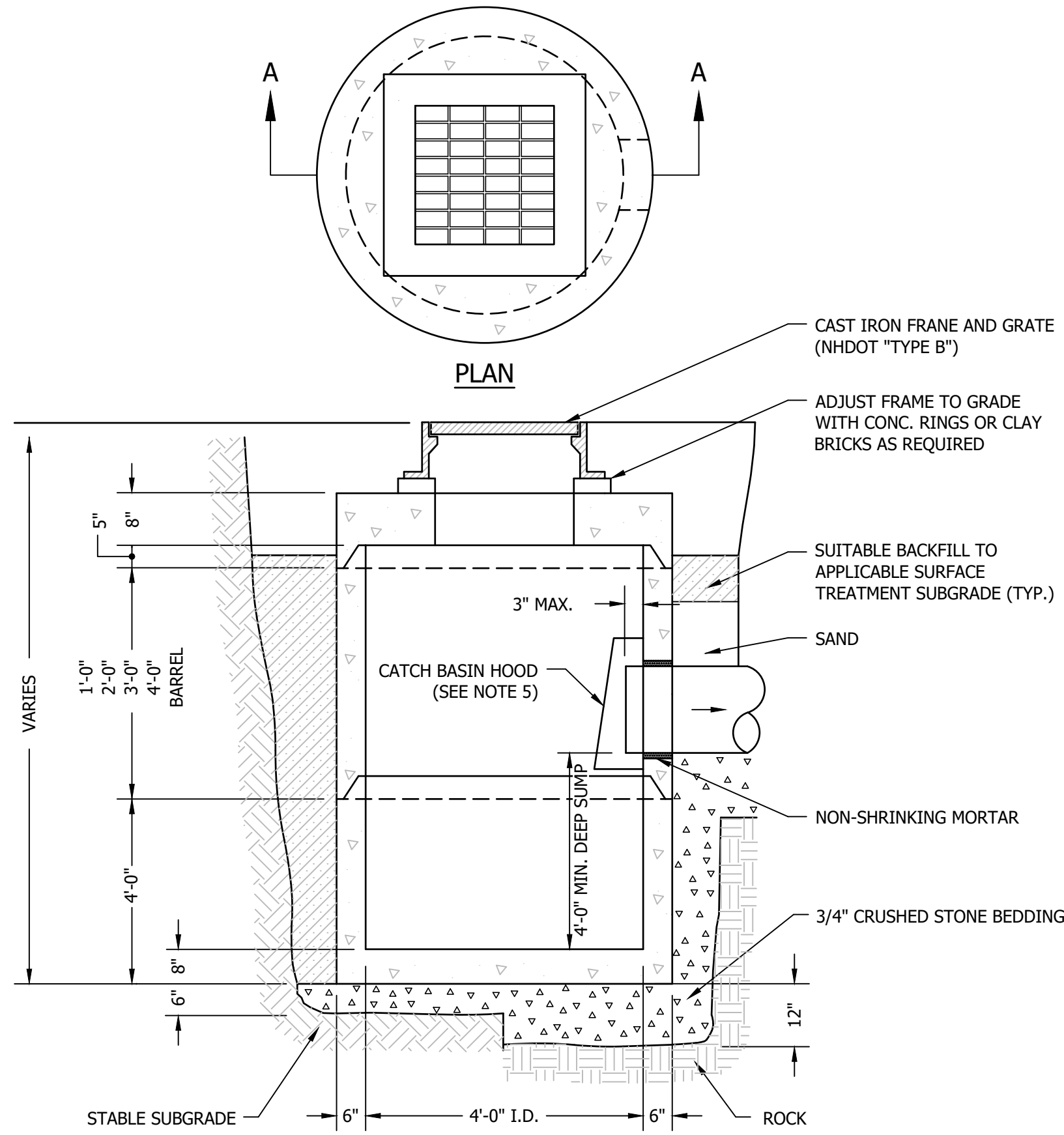
AAM DURHAM RESIDENCES
32 & 34 MADBURY ROAD
DURHAM, NEW HAMPSHIRE

CONSTRUCTION DETAILS

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------------|--------------------------|-----|-----|
| 00 | 2022-03-02 | INITIAL SUBMISSION | MCS | MCS |
| 01 | 2022-04-05 | DUMPSTER SCREENING ADDED | MCS | MCS |

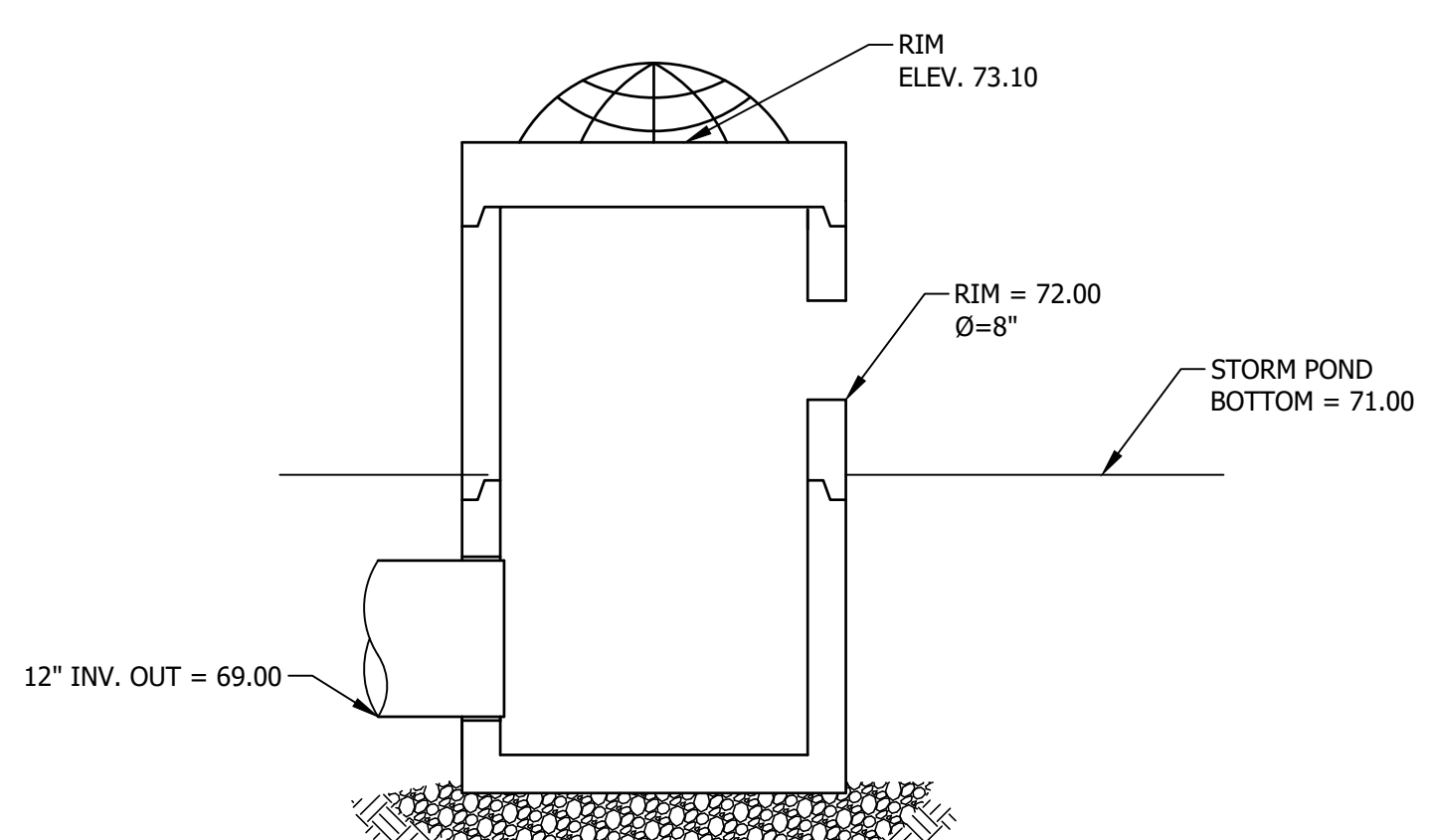
| | |
|---------------------|---------------------|
| DATE: 2022-03-02 | PROJECT #: 21585 |
| ENG'D BY: MJS | DRAWN BY: MCS |
| CHECK'D BY: MJS | ARCHIVE #: H-___ |

C502



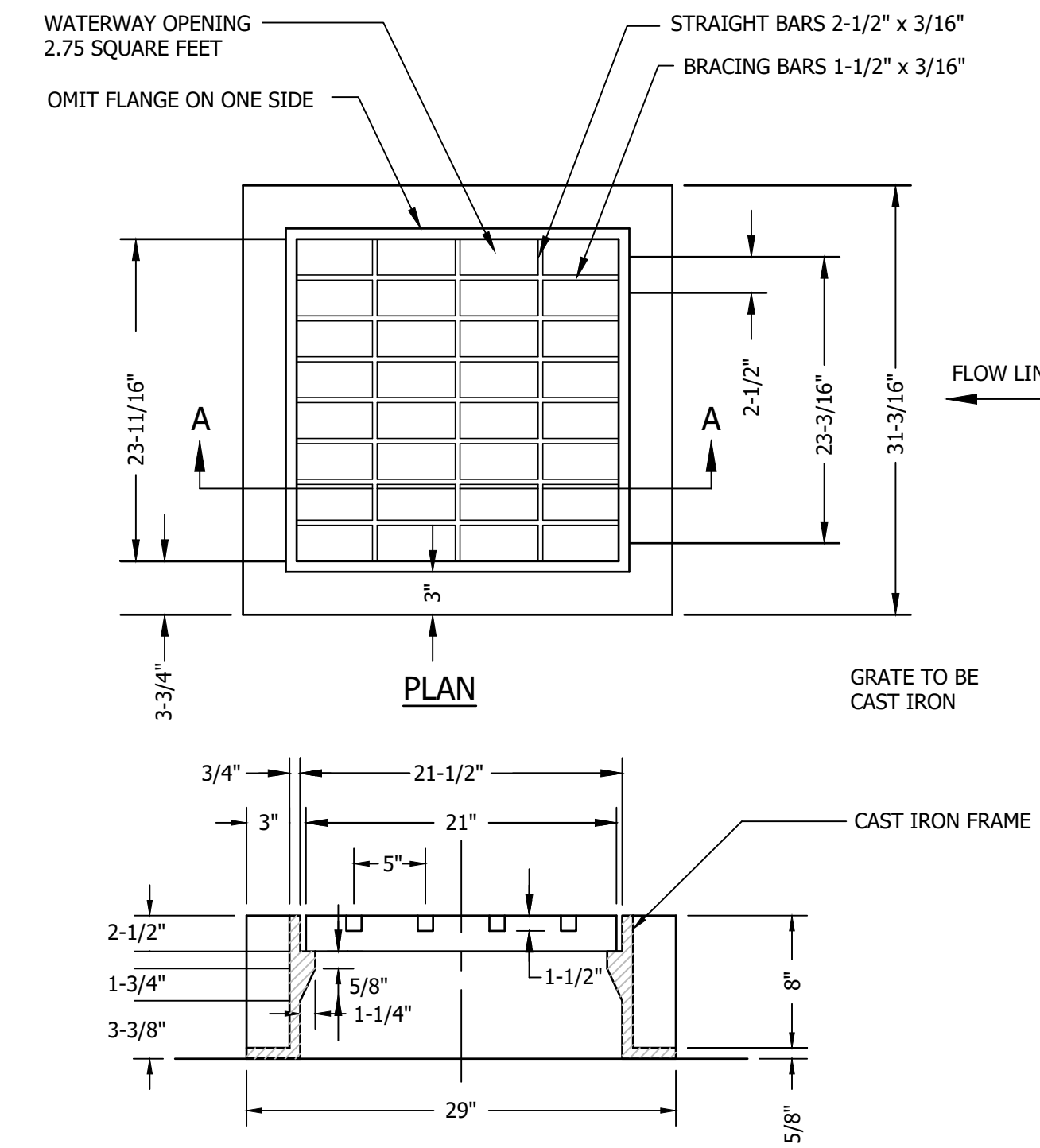
- NOTES:**
1. CONCRETE SHALL A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS.
 2. REINFORCING H-20 LOADING 4 x 4/4 x 4 W.W.M.
 3. SHIP LAP JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT. AND SHALL BE SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
 4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 5. THE CATCH BASIN HOOD SHALL BE CONSTRUCTED FROM SOLID WALL HDPE PIPE GRADE PLATE. THE HOOD SHALL BE CONSTRUCTED SO THAT IT FORMS A Baffle AGAINST FLOATABLE LITTER AND OIL. THE HOOD SHALL PROTRUDE AT LEAST SIX INCHES OR 1/3 OF THE PIPE'S INSIDE DIAMETER, WHICHEVER IS GREATER, BELOW THE INVERT. THE CATCH BASIN HOOD SHALL BE SEALED TO THE CATCH BASIN STRUCTURE WITH AN OIL RESISTANT FOAM GASKET. VENT HOLES SHALL BE INSTALLED ON THE TOP OF THE HOOD TO ALLOW AIR FLOW INTO PIPE. THE CATCH BASIN HOOD SHALL BE ATTACHED TO THE STRUCTURE WITH STAINLESS STEEL ANCHOR STUDS AND NUTS, ALLOWING THE HOOD TO BE REMOVED AND INSTALLED WITH MINIMUM EFFORT. THE CATCH BASIN HOOD IS TO BE AS MANUFACTURED BY PLASTIC PIPE FABRICATION OR ENGINEER APPROVED EQUAL.

DEEP SUMP CATCH BASIN W/ HOOD DETAIL
NTS



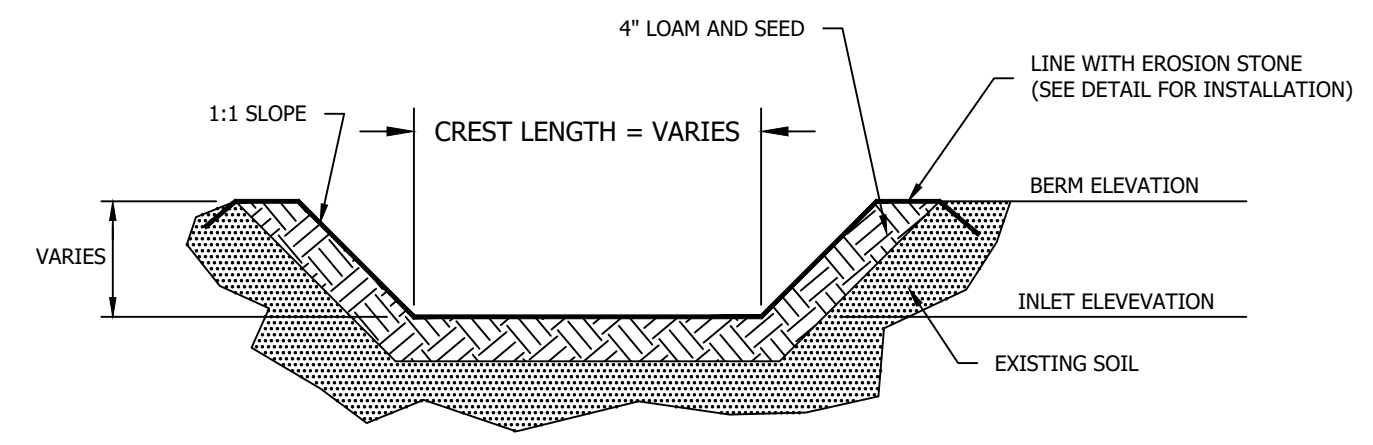
- NOTES:**
1. SEE DRAIN MANHOLE DETAIL FOR STANDARD DMH CONSTRUCTION REQUIREMENTS.
 2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO VERIFY DIAMETER, INVERTS, AND WEIR.

OCS-100 5' DIA DMH
NOT TO SCALE



REFERENCE:
NH DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS
PLATE 2 OF STANDARD NO. 3

NHDOT TYPE "B" GRATE DETAIL
NOT TO SCALE



NOTES: CREST BREADTH IS WIDTH OF BERM AT SPILLWAY.

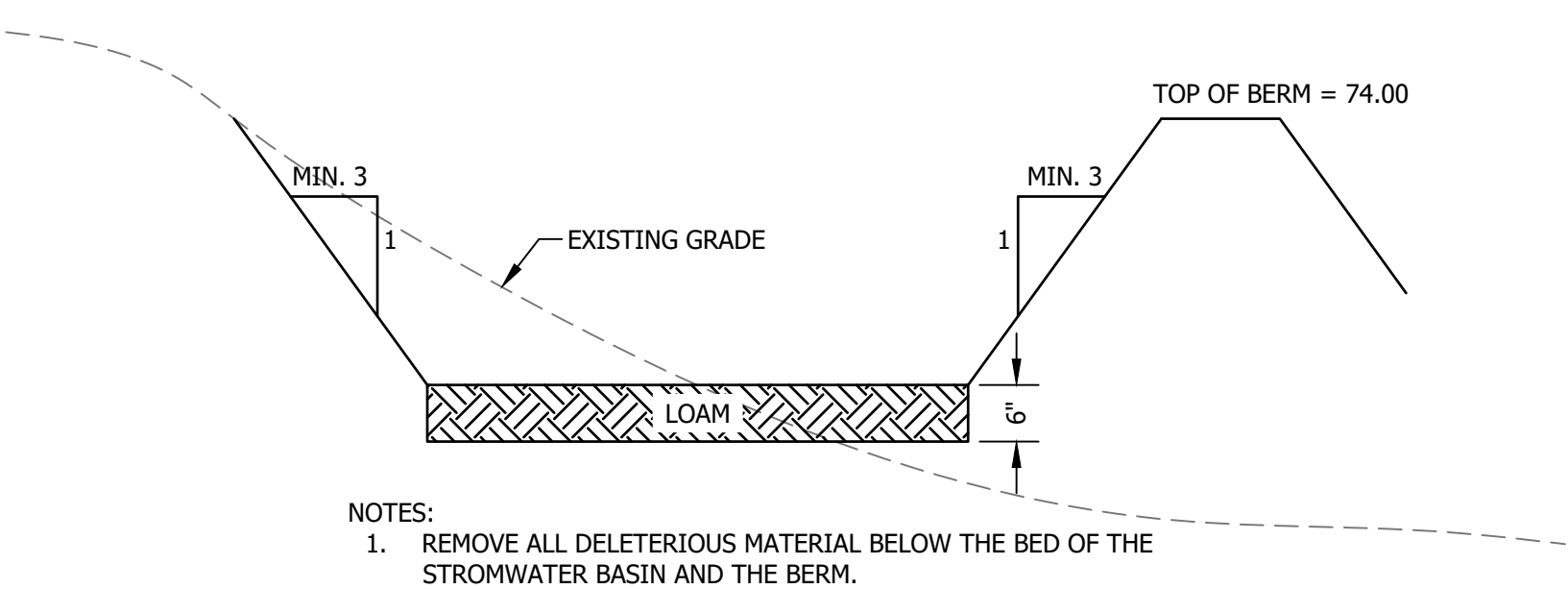
SPILLWAY CROSS SECTION
NOT TO SCALE

NOTE: SPILLWAY TO BE CONSTRUCTED TO THE DIMENSIONS AND SPECIFICATIONS SHOWN.

SPILLWAY DIMENSION TABLE

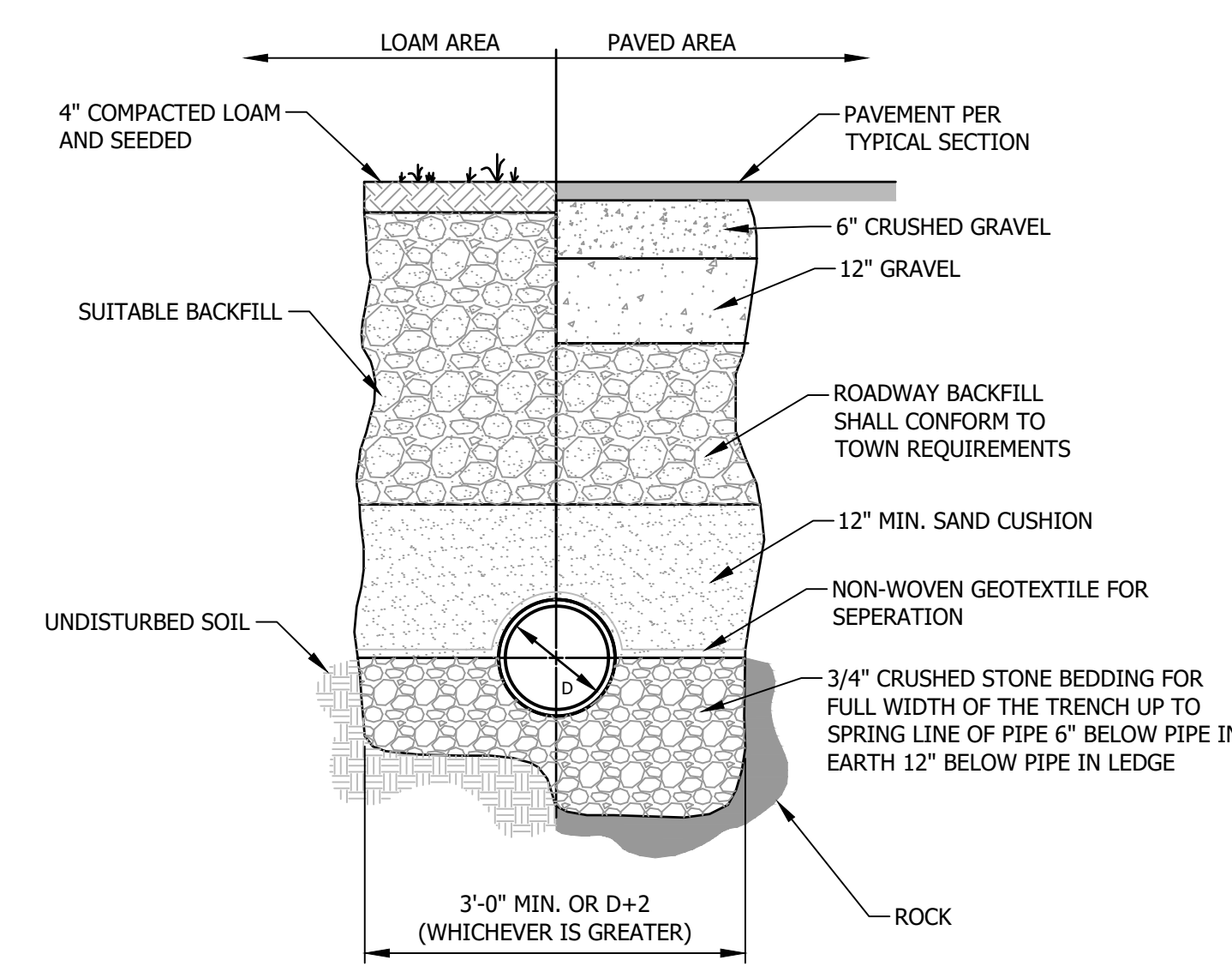
| LOCATION | CREST ELEV. | BERM ELEV. | LENGTH* | WIDTH* |
|--------------------------------|-------------|------------|---------|--------|
| SPILLWAY #1 - SEDIMENT FOREBAY | 73.6 | 74.00 | 7' | 7' |

*REFER TO DETAIL ABOVE FOR LOCATION OF WIDTH AND LENGTH

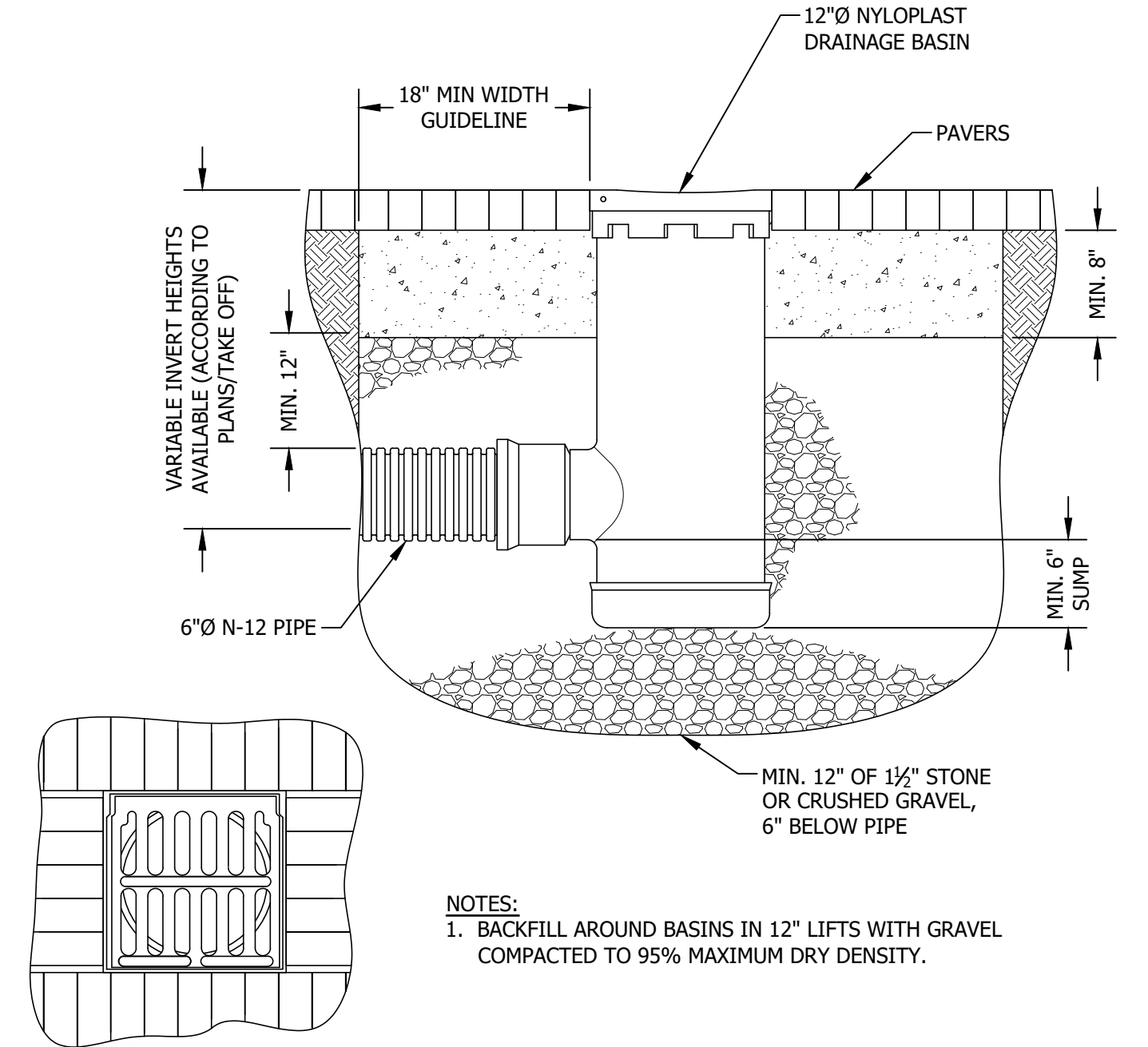


- NOTES:**
1. REMOVE ALL DELETERIOUS MATERIAL BELOW THE BED OF THE STORMWATER BASIN AND THE BERM.
 2. SCARIFY SOIL BEFORE PLACING FILL.
 3. SEE GRADING PLAN FOR LOCATION AND SIZE OF POND.

TYPICAL STORMWATER POND SECTION
NOT TO SCALE

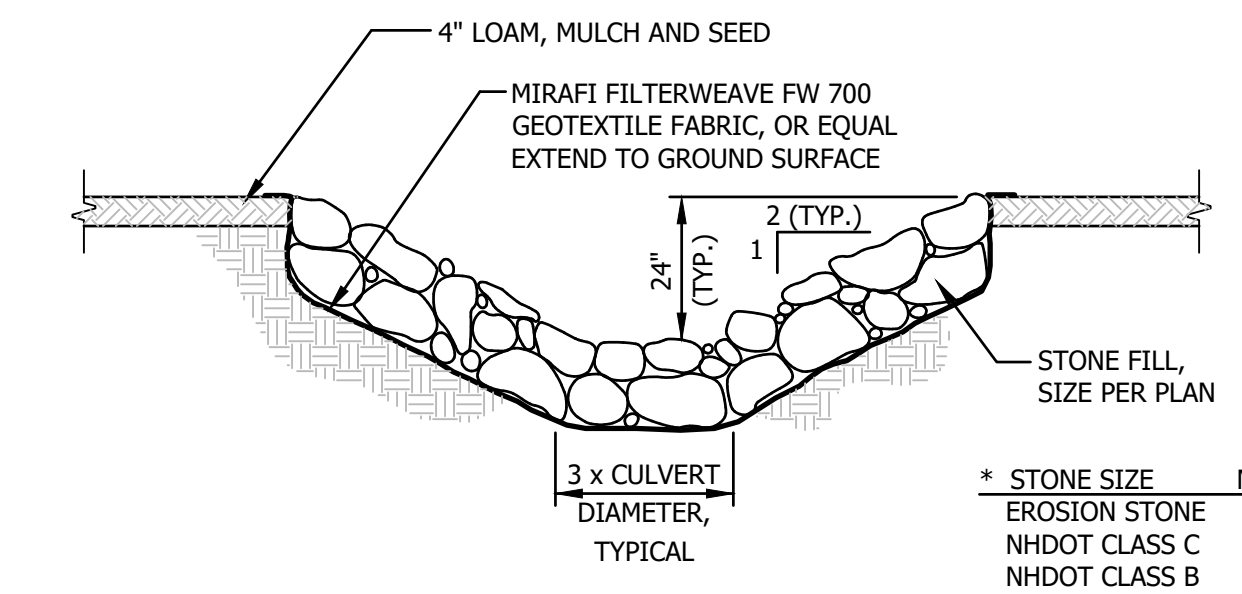


TYPICAL DRAINAGE TRENCH DETAIL
NTS



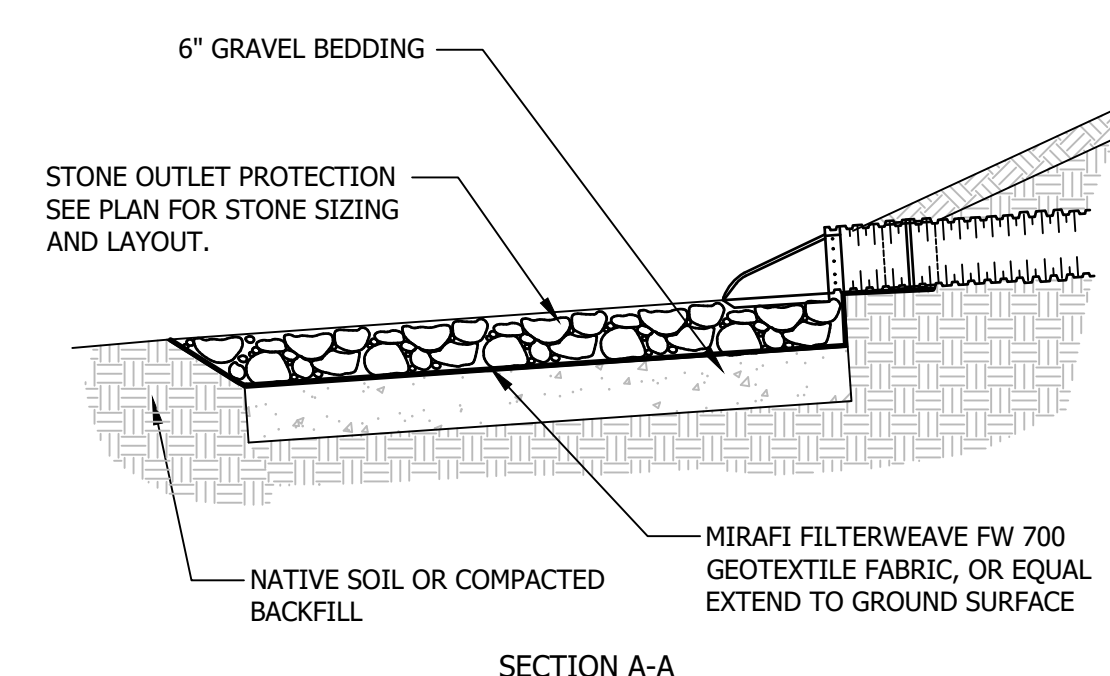
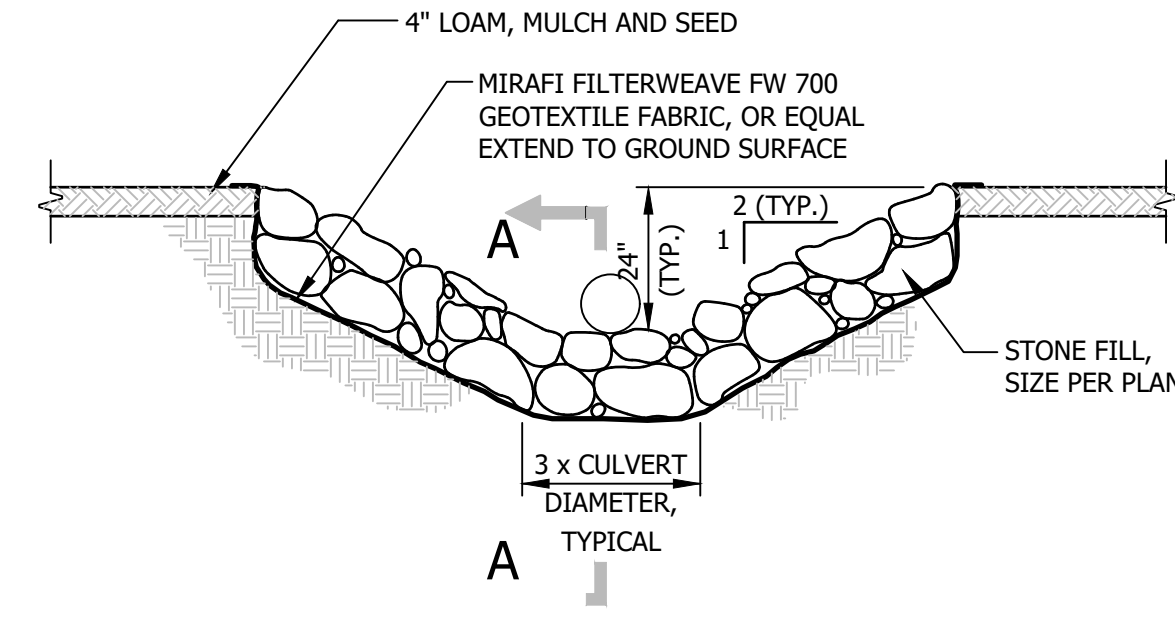
- NOTES:**
1. BACKFILL AROUND BASINS IN 12" LIFTS WITH GRAVEL COMPACTED TO 95% MAXIMUM DRY DENSITY.

NYOPLAST DRAIN BASIN DETAILS
NTS



| * STONE SIZE | MIN. D |
|---------------|--------|
| EROSION STONE | 12" |
| NHDOT CLASS C | 12" |
| NHDOT CLASS B | 18" |
| NHDOT CLASS A | 30" |

STONE LINED OUTLET DETAIL
NOT TO SCALE



STONE LINED OUTLET DETAIL
SECTION A-A

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DURHAM, NEW HAMPSHIRE

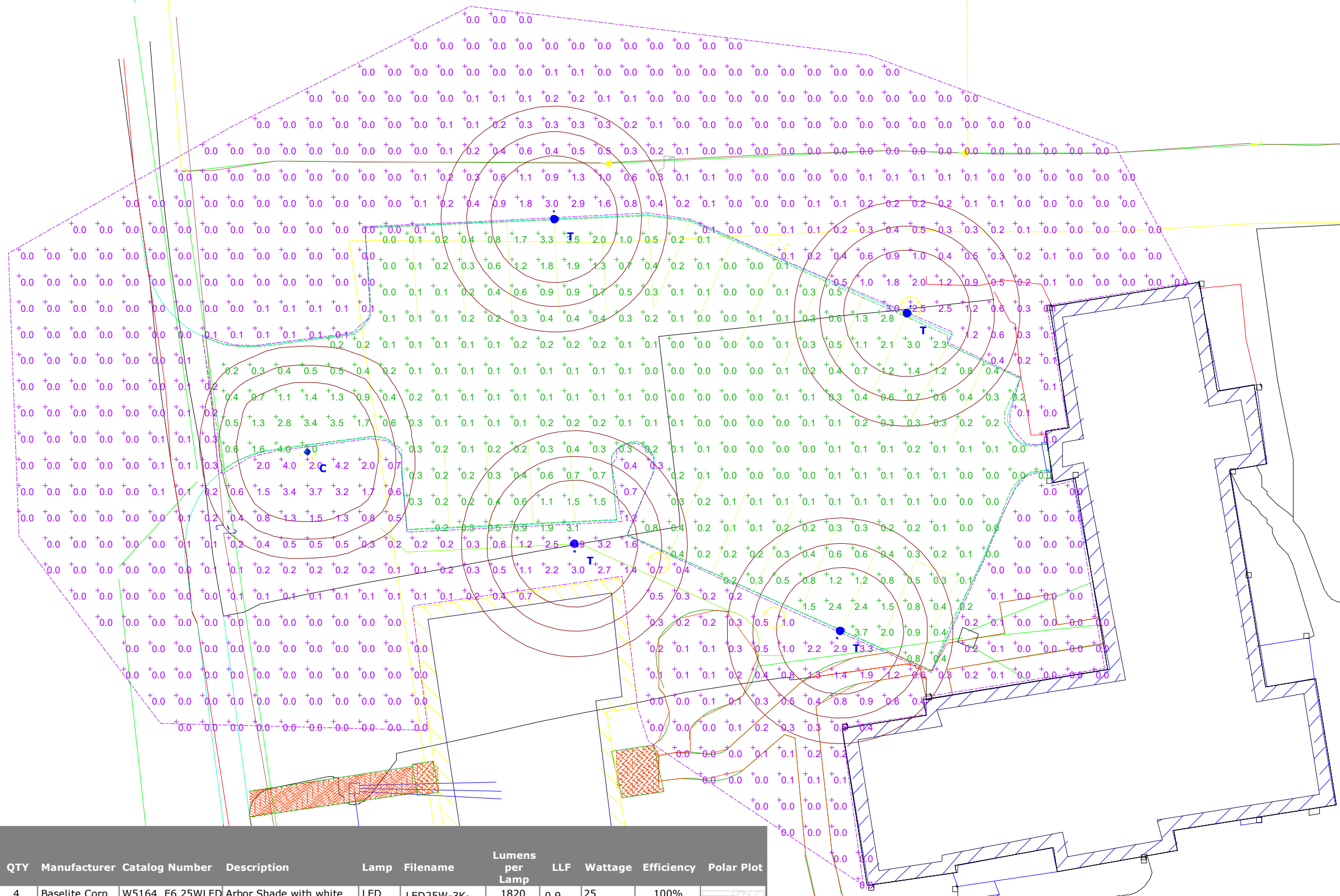
| CONSTRUCTION DETAILS | | | | |
|----------------------|------------|----------------------|-----|-----|
| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
| 00 | 2022-03-02 | INITIAL SUBMISSION | MCS | MCS |

DATE: 2022-03-02 PROJECT #: 21585
ENG'D BY: MJS DRAWN BY: MCS
CHECK'D BY: MJS ARCHIVE #: H-
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**32 MADBURY RD
DURHAM, NH
Site Lighting Layout**

Designer
Heidi G. Connors
Visible Light, Inc.
24 Sticky Terrace
Suite 6
Hampton, NH 03842
Date
4/6/2022
Scale
1"=20'
Drawing No.
Summary



| Schedule | | | | | | | | | | | | |
|----------|-------|-----|-------------------|--|--|------|-----------------------|-----------------|-----|---------|------------|------------|
| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | Lamp | Filename | Lumens per Lamp | LLF | Wattage | Efficiency | Polar Plot |
| | T | 4 | Baselite Corp | W5164 E6 25WLED 27K LDM0-10V with PM18 on 3AEP12 | Arbor Shade with white reflector and frosted lens; mounted at 12ft | LED | LED25W-3K-1260984.ies | 1820 | 0.9 | 25 | 100% | |
| | C | 1 | Brownlee Lighting | 7080 C24 30K | Black plastic housing, aluminum reflector, frosted plastic lens enclosure; mounted at 10ft | LED | 7080-C24-40K.ies | 2486 | 0.9 | 23.61 | 100% | |

| Statistics | | | | | | |
|------------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Outside of Parking Lot | + | 0.2 fc | 4.2 fc | 0.0 fc | N/A | N/A |
| Parking Lot | + | 0.5 fc | 4.0 fc | 0.0 fc | N/A | N/A |