

FOR REFERENCE ONLY

NO.	BY	DATE	DESCRIPTION
1			74 MAIN STREET 74 MAIN STREET DURHAM, NH
Durham, NH			
EXTERIOR ELEVATIONS			
DRAWN BY:			JM
REVIEWED BY:			AJD/ZS
JOB NO:			19096.00

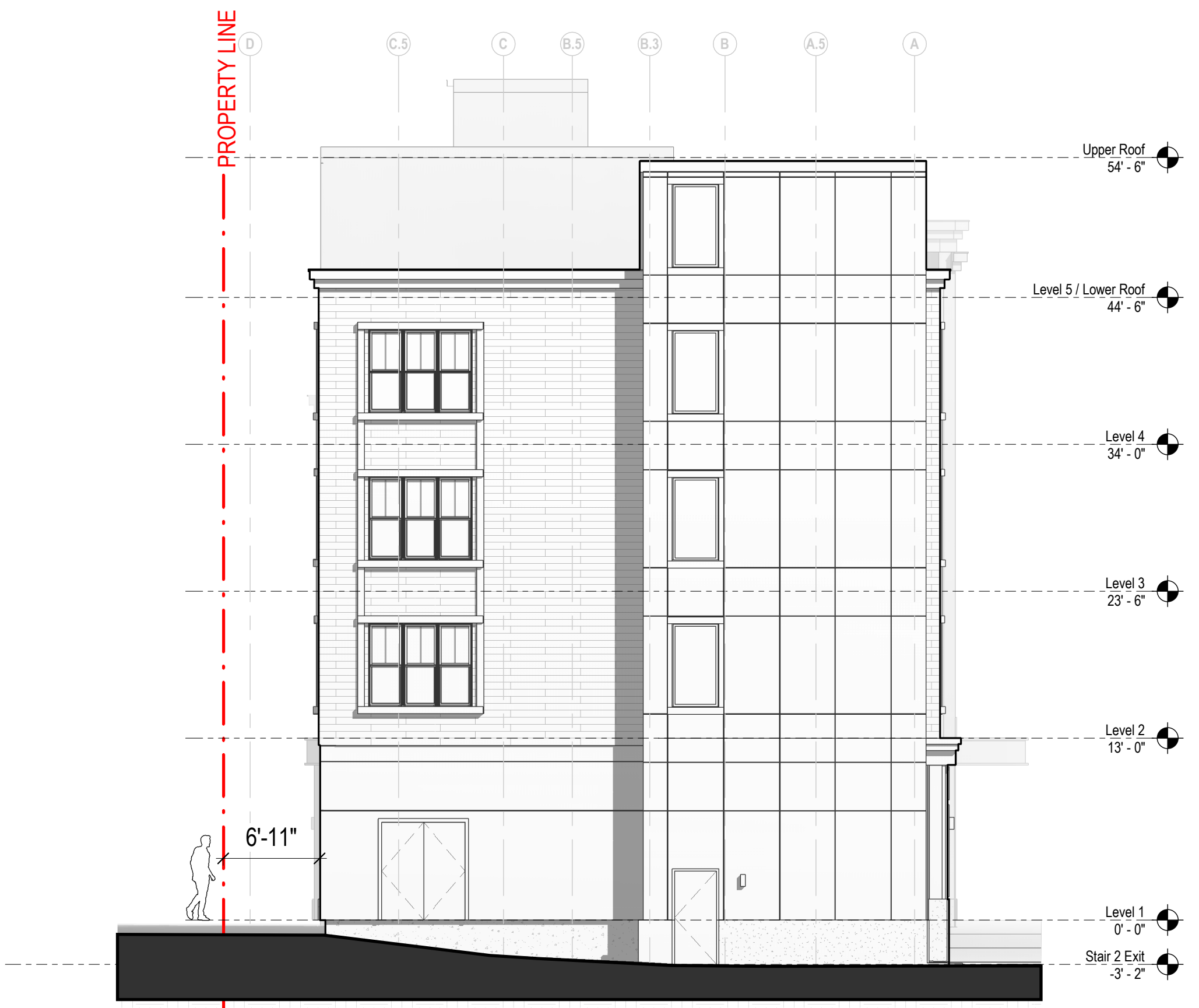
A201



5 WEST (MAIN ST.) ELEVATION
1/8" = 1'-0"



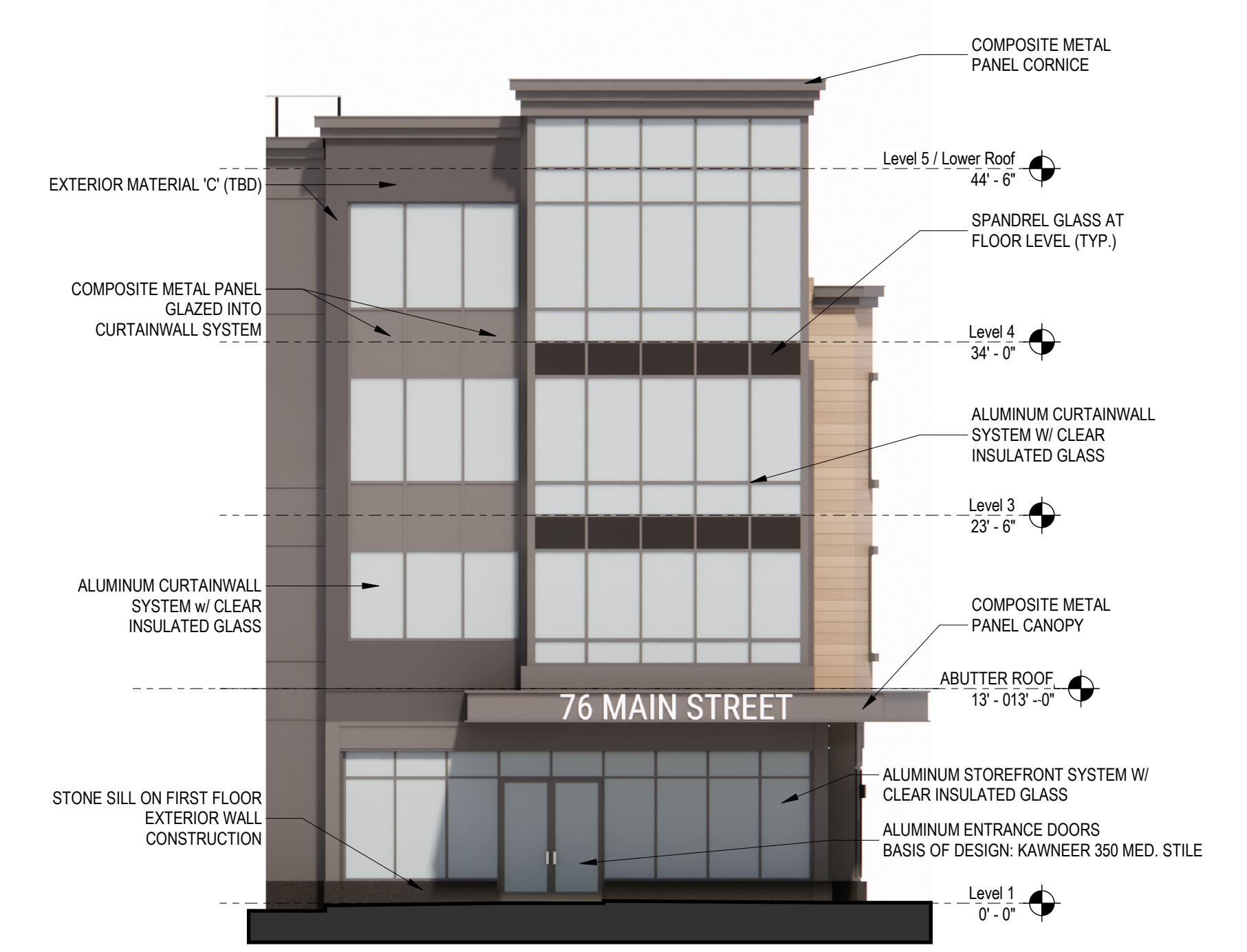
4 SOUTH (ALLEY) ELEVATION
1/8" = 1'-0"



3 EAST (SIDE) ELEVATION
1/8" = 1'-0"



2 NORTH (PETTEE BROOK) ELEVATION
1/8" = 1'-0"



1 TOWER ELEVATION (STRAIGHT ON)
1/8" = 1'-0"

3/29/2023 2:45:24 PM: BM 360/74 Main Street Durham NH 74 MAIN ST_2023_ARCH-BERG_RVT204

FOR REFERENCE ONLY

NO. BY DATE DESCRIPTION
 74 MAIN STREET
 74 MAIN STREET
 DURHAM, NH

Durham, NH

BASEMENT AND FIRST
 FLOOR
 CONSTRUCTION PLAN

DRAWN BY: CS
 REVIEWED BY: Checker
 JOB NO: 19096.00

A101

CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME** ROOM TAG
- 1A** WALL TAG, REFER TO A601

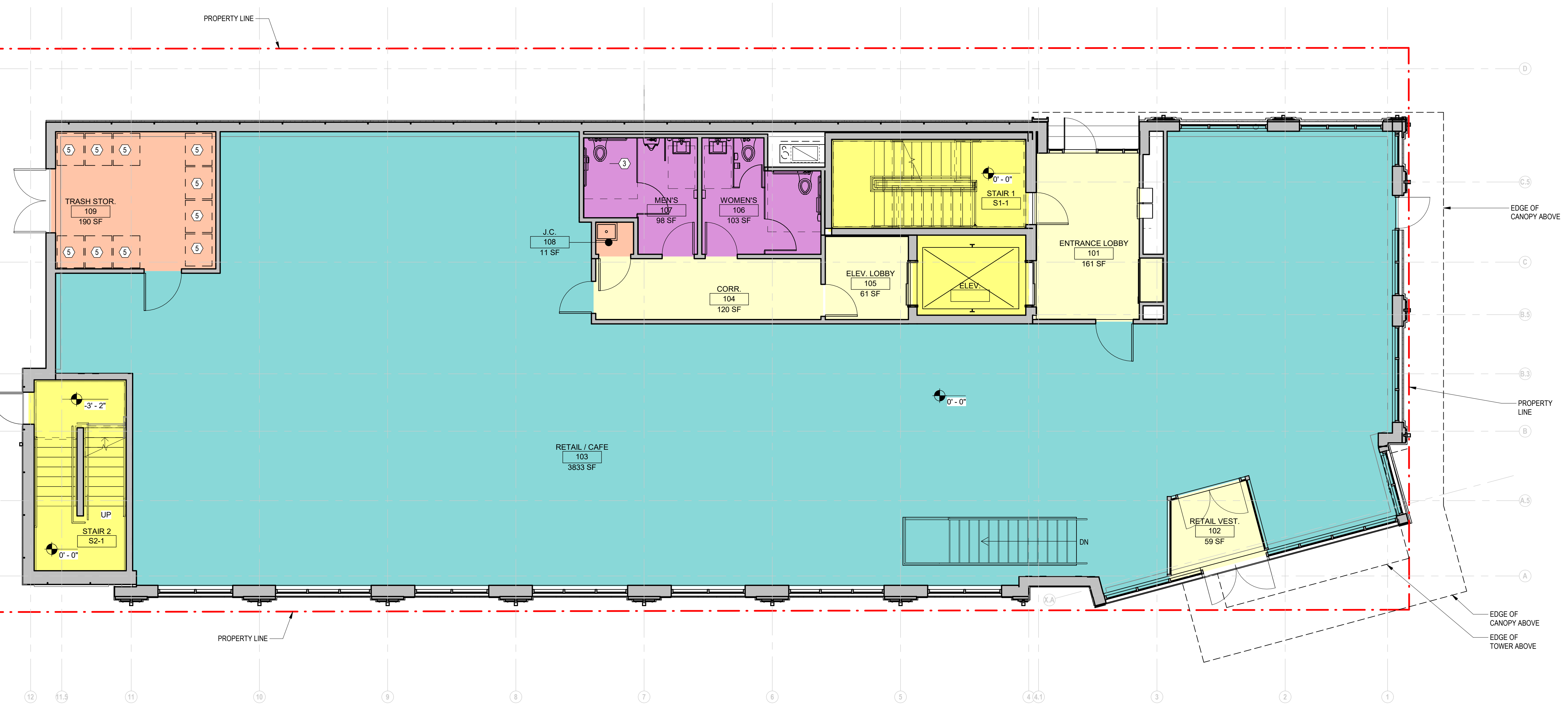
CONSTRUCTION PLAN GENERAL NOTES

1. DIMENSIONS:
 - a. ALL DIMENSIONS AND ALIGNMENT INDICATIONS ARE SHOWN FROM FACE OF SUBSTRATE. THESE DIMENSIONS AND ALIGNMENTS DO NOT INCLUDE SURFACE-APPLIED FINISHES, UNO, WITH THE EXCEPTION OF "CLEAR" DIMENSIONS AS NOTED BELOW.
 - b. DRAWINGS ARE NOT MEANT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - c. FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. ANY DIMENSION NOTED "VERIFY" OR "VP" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
 - d. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED, WHERE THIS IS NOT ACHIEVABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
2. GC SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNERS CONTRACTORS.
3. COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS. SCHEDULE DELIVERY/INSTALLATION DATES AT THE BEGINNING OF THE JOB OR AT OTHERWISE APPROPRIATE TIMES TO ENSURE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
4. EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, UNO.
5. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL, RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
6. INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
7. ALL WOOD BLOCKING, FRAMING, PLYWOOD, SUBFLOORS, ETC., TO BE FIRE RETARDANT TREATED (FRT), IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE.
8. MAINTAIN THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOORROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD. REPLACE MISSING OR DAMAGED FIREPROOFING.
9. TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
10. GO TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT.

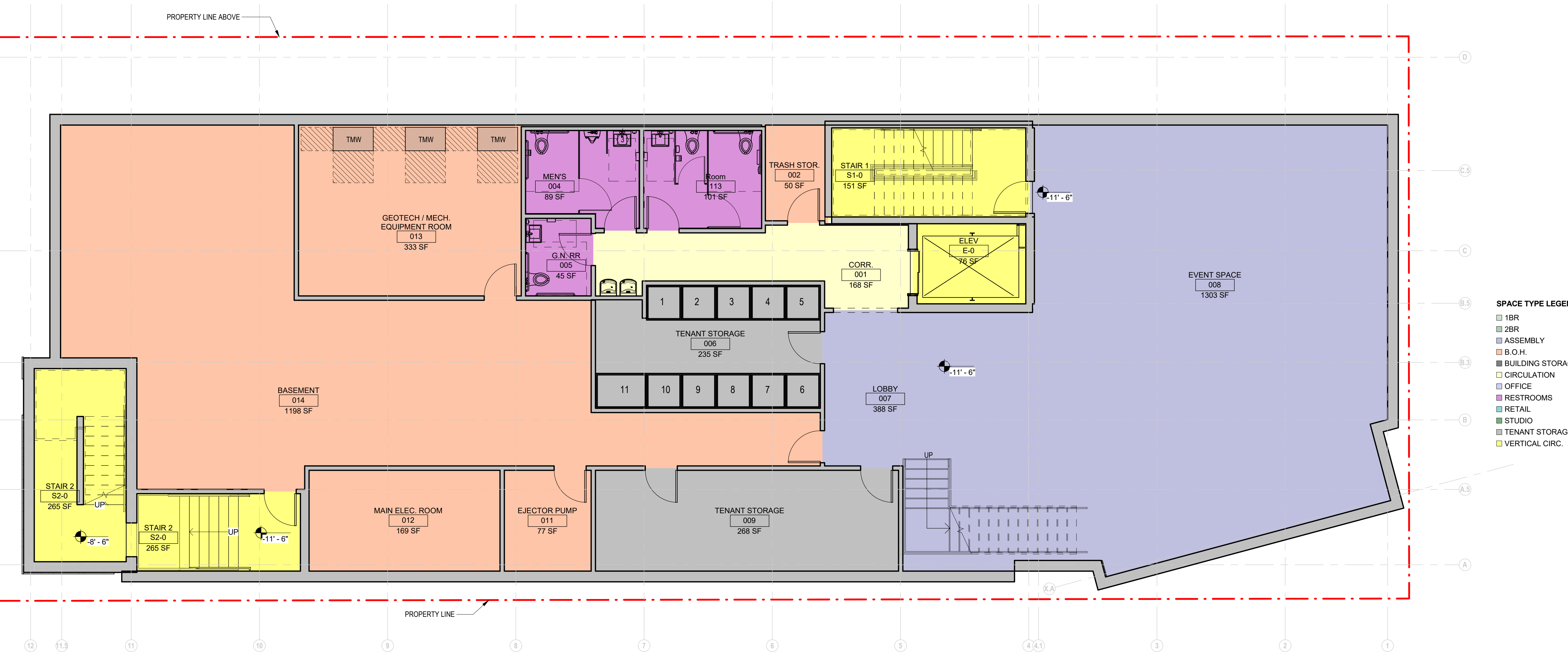
CONSTRUCTION PLAN KEYNOTES

- ① FIRE-RATED CHASE FOR SUPPLY & RETURN AIR DUCTS - SEE MEP DRAWINGS
- ② METAL GUARDRAIL
- ③ MOP SINK
- ④ FIRE-RATED CHASE FOR BLACK IRON DUCT
- ⑤ 96 GA. TRASH TOTE, PROVIDED BY OWNER

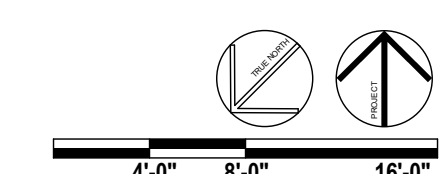
- #### SPACE TYPE LEGEND
- 1BR
 - 2BR
 - ASSEMBLY
 - B.O.H.
 - BUILDING STORAGE
 - CIRCULATION
 - OFFICE
 - RESTROOMS
 - RETAIL
 - STUDIO
 - TENANT STORAGE
 - VERTICAL CIRC.



2 FIRST FLOOR PLAN
3/16" = 1'-0"



1 BASEMENT PLAN
3/16" = 1'-0"



FOR REFERENCE ONLY

NO.	BY	DATE	DESCRIPTION
74 MAIN STREET 74 MAIN STREET DURHAM, NH			
Durham, NH			
SECOND & THIRD FLOOR CONSTRUCTION PLAN			
DRAWN BY:			CS
REVIEWED BY:			Checker
JOB NO:			19096.00
A102			

CONSTRUCTION PLAN LEGEND

- NEW PARTITION
- NEW DOOR
- NOT IN CONTRACT
- ROOM NAME** ROOM TAG
- 1A** WALL TAG, REFER TO A601

CONSTRUCTION PLAN GENERAL NOTES

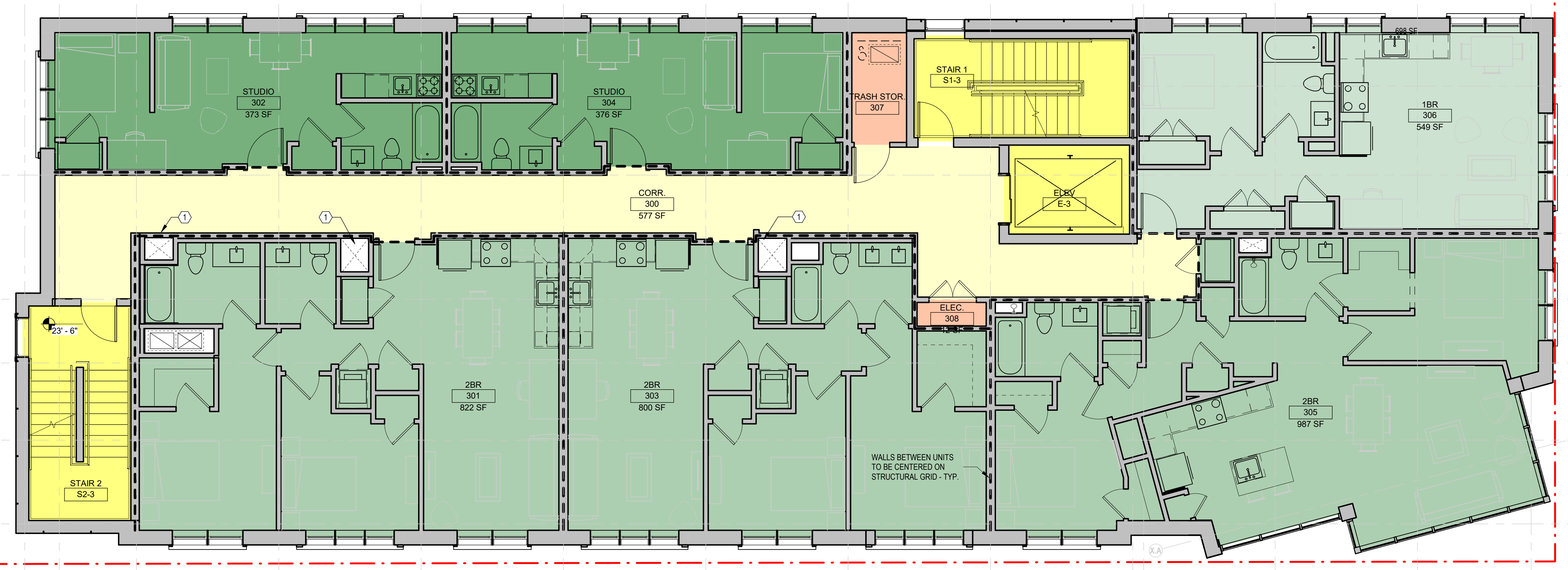
1. DIMENSIONS:
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4. EDGE OF DOOR JAMB TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, UNO.
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6. INSTALL FIRE RETARDANT BLOCKING AT WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH FIXTURE CONTRACTOR FOR FIXTURE BLOCKING REQUIREMENTS.
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CONSTRUCTION PLAN KEYNOTES

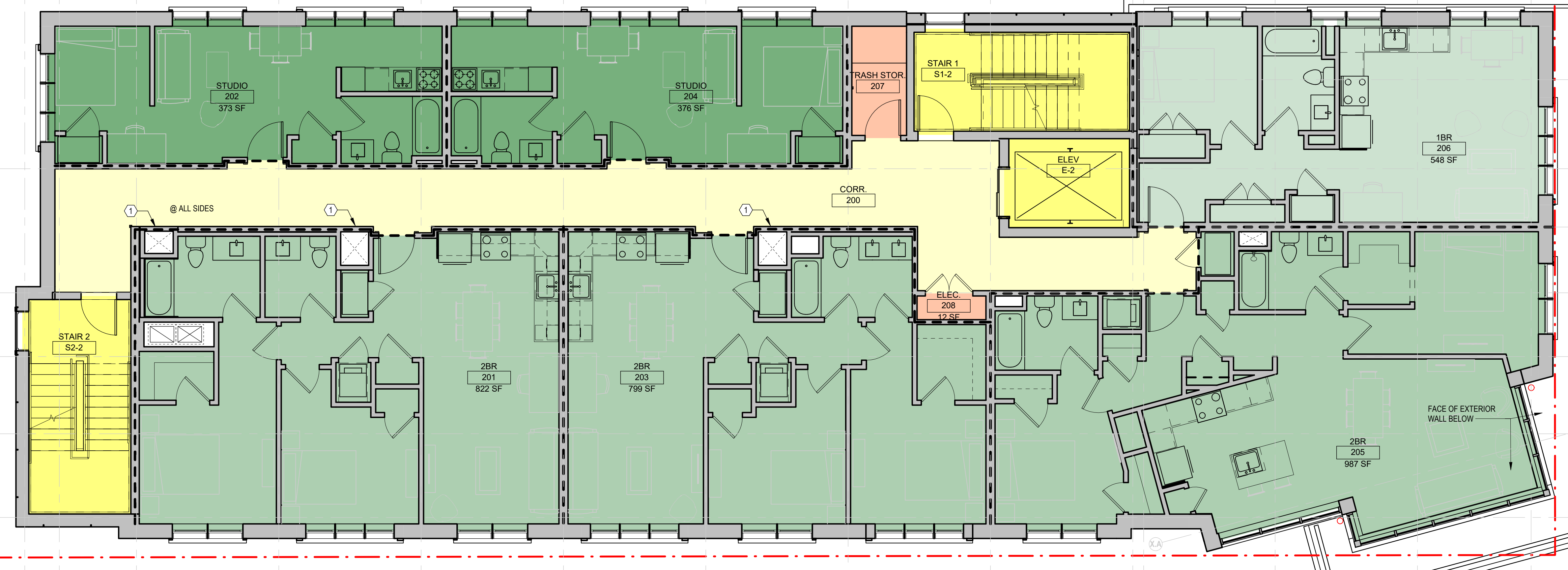
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- ⑤ 96 GA. TRASH TOTE, PROVIDED BY OWNER

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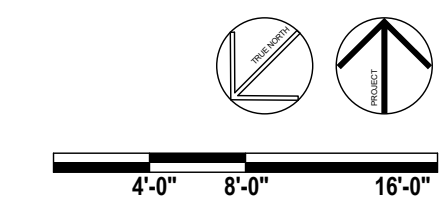
4"x4" TROUGH INTEGRATED INTO CANOPY STRUCTURE FOR DRAINAGE, TO DRAIN TO DOWNSPOUTS BELOW



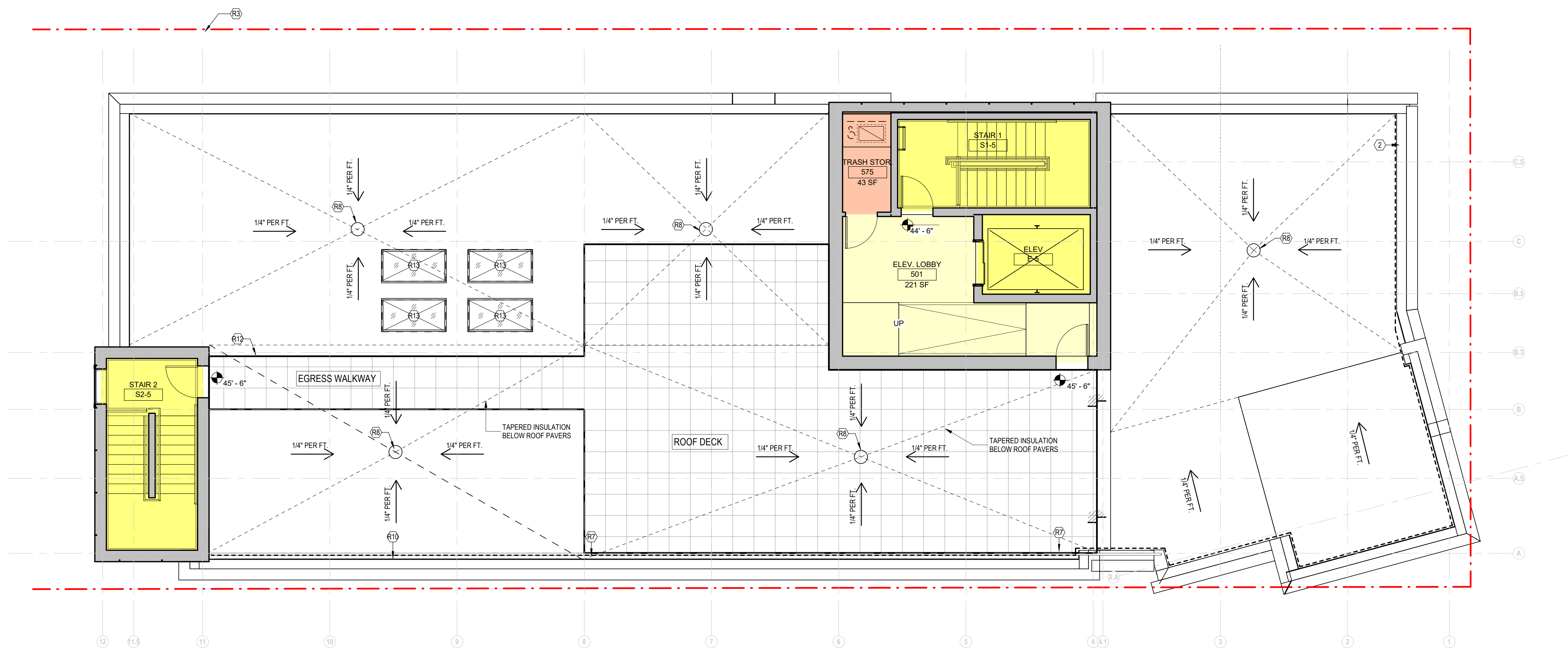
2 THIRD FLOOR PLAN
3/16" = 1'-0"



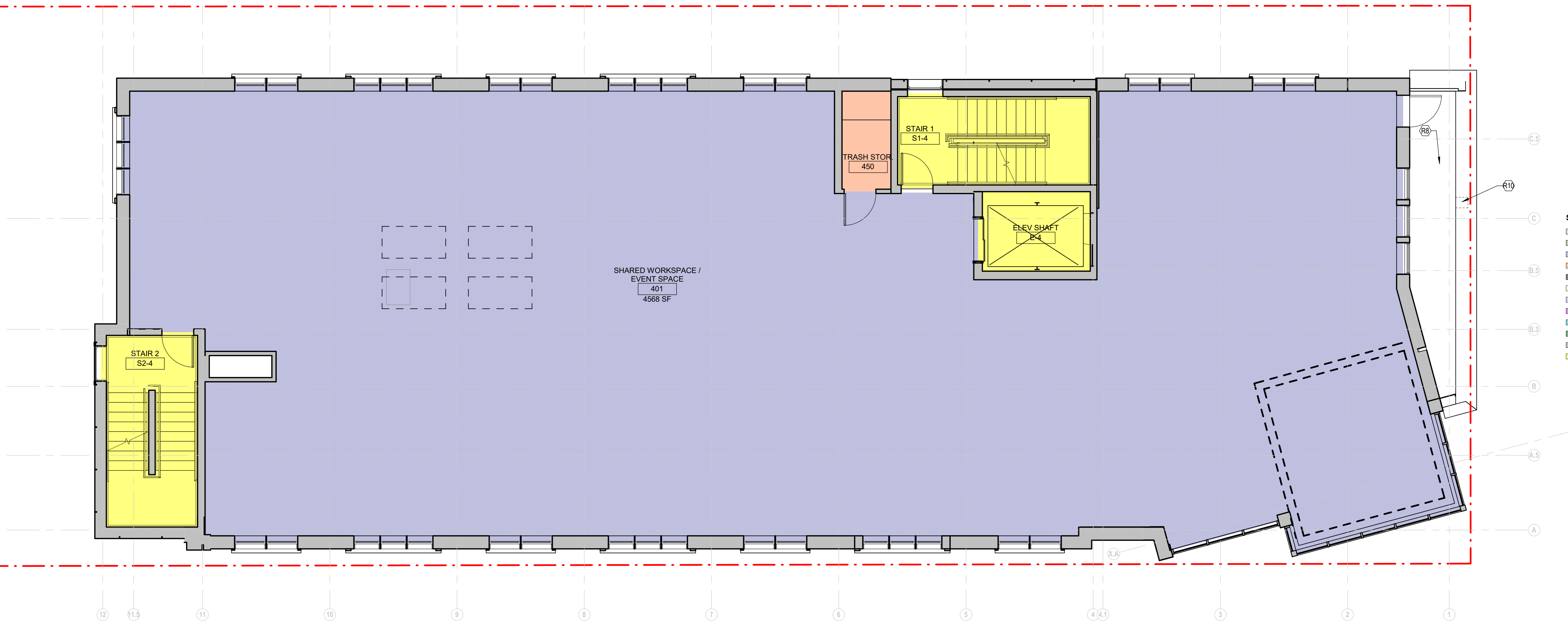
1 SECOND FLOOR PLAN
3/16" = 1'-0"



3/29/2023 4:00:13 PM: BM 360/74 Main Street Durham NH 74 MAIN ST_2023_ARCH-BBERG_RVT20-04



2 ROOF & PENTHOUSE PLAN
3/16" = 1'-0"



1 FOURTH FLOOR PLAN
3/16" = 1'-0"

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CONSTRUCTION PLAN GENERAL NOTES

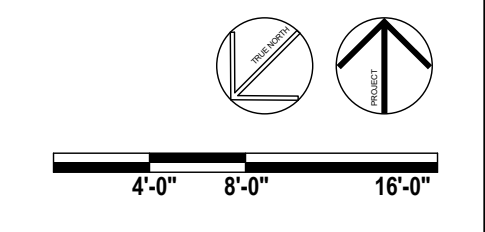
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CONSTRUCTION PLAN KEYNOTES

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- ③ MOP SINK
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- ⑤ 96 GA. TRASH TOTE, PROVIDED BY OWNER

ROOF PLAN KEYNOTES

- Ⓡ1 FULLY ADHERED TPO ROOFING SYSTEM OVER TAPERED BOARD INSULATION. R30 MINIMUM. PROVIDE CANTS AND CRICKETS AS REQ'D AT ALL PENETRATIONS.
- Ⓡ2 PREFINISHED ALUMINUM PARAPET CAP/DRIP EDGE W/GUTTER. SEE SECTION DETAILS FOR PROFILE(S).
- Ⓡ3 PREFINISHED ALUMINUM CORNICE W/INTEGRAL GUTTER.
- Ⓡ4 MECHANICAL EQUIPMENT ON DUNNAGE. COORD. W/ MECHANICAL & STRUCTURAL.
- Ⓡ5 NOT USED.
- Ⓡ6 PRIVACY SCREEN AT MECHANICAL AREA.
- Ⓡ7 EXTENT OF FINISH ON BACKSIDE OF PARAPET.
- Ⓡ8 ROOF DRAIN - SEE PLUMBING DWGS.
- Ⓡ9 METAL CAP FLASHING AT PARAPET & CORNICE. SEE SECTION DETAILS FOR PROFILE(S).
- Ⓡ10 PREFINISHED ALUMINUM OVERFLOW SCUPPER.
- Ⓡ11 LADDER TO ROOF HATCH.
- Ⓡ12 SCREEN WALL TO CONCEAL MECH AREAS FROM VIEW.
- Ⓡ13 ALUMINUM CURB MOUNTED SKYLIGHT.



Bergmeyer
 LA
 51 Shaguel St.
 6th Floor
 Boston, MA 02210
 617.542.1025
 www.bergmeyer.com

FOR REFERENCE ONLY

NO.	BY	DATE	DESCRIPTION
74 MAIN STREET 74 MAIN STREET DURHAM, NH			
Durham, NH			
FOURTH FLOOR AND ROOF CONSTRUCTION PLAN			
DRAWN BY:			CS
REVIEWED BY:			Checker
JOB NO:			19096.00
A103			

Context Rendering

