

**FOR REVIEW
NOT FOR CONSTRUCTION**

DATE OF PRINT
JUNE 07 2021
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CLARK PROPERTIES, LLC

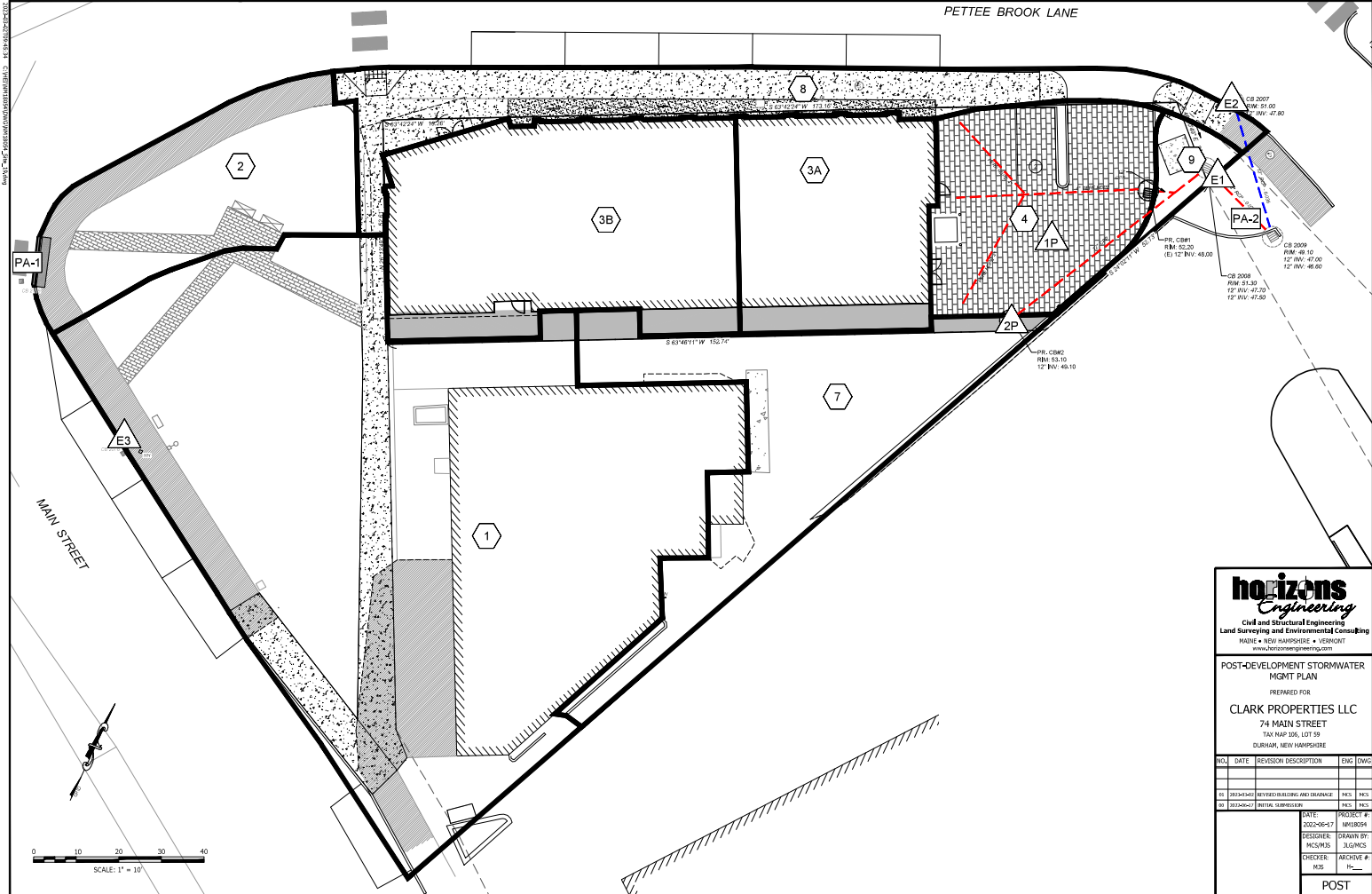
74 MAIN STREET
DURHAM, NEW HAMPSHIRE

DEMOLITION PLAN

NO.	DATE	REVISION DESCRIPTION	ENG.	DWG.

DATE	PROJECT #
3/2/21	2020004
DESIGNED BY: MJS	DRAWN BY: JLG
CHECKED BY: MJS	ARCHIVE #

C102



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POST-DEVELOPMENT STORMWATER
 MGMT PLAN
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 105, LOT 39
 BURLINGTON, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
01	2022-04-14	REVISED BUILDING AND DRAINAGE	NKS	NKS
02	2022-04-17	INITIAL SUBMISSION	NKS	NKS

DATE	PROJECT #
2022-04-17	NR18054
DESIGNER	DRAWN BY
INSURER	ISSUES
CHECKER	APPROVE #
NKS	PK

POST

CLARK PROPERTIES LLC

74 MAIN STREET

DURHAM NEW HAMPSHIRE

JULY 2022

REVISED MARCH 2023

OWNER:

CLARK PROPERTIES LLC
28 CEDAR POINT ROAD
DURHAM, NH 03824

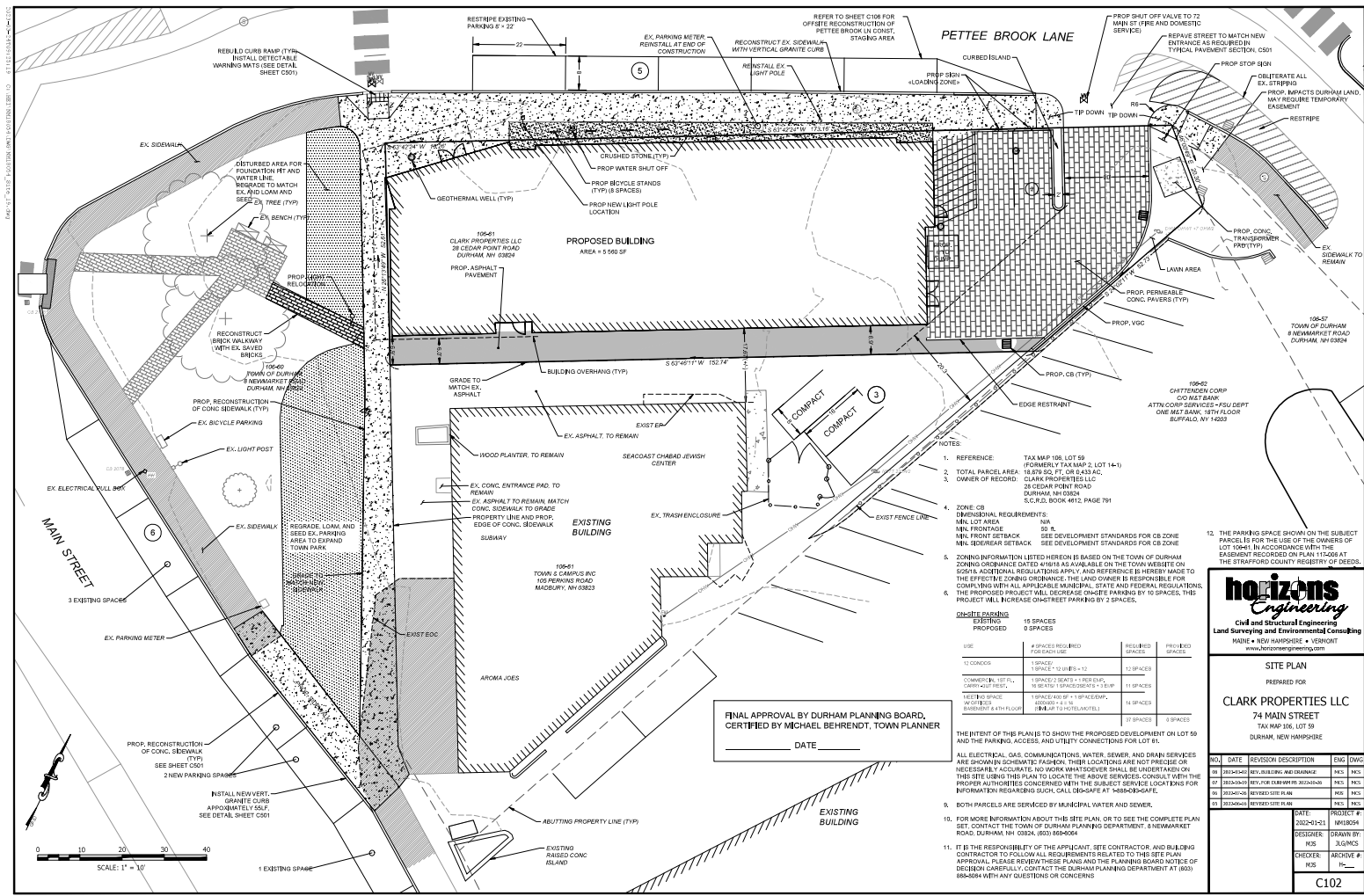
ENGINEER

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5 RAILROAD STREET
NEWMARKET, NH 03857
(603)659-4979



LOCATION PLAN
NOT TO SCALE



- NOTES**
1. REFERENCE: TAX MAP 106, LOT 59 FORMERLY TAX MAP 2, LOT 14-15
 2. TOTAL PARCEL AREA: 18,879 SQ. FT. OR 0.433 AC. CLARK PROPERTIES LLC, 26 CEDAR POINT ROAD, DURHAM, NH 03824
 3. OWNER OF RECORD: S.C.R.D. BOOK 4612, PAGE 791
 4. ZONE: CB DIMENSIONAL REQUIREMENTS: MIN. LOT AREA: 500 SF. MIN. FRONT SETBACK: SEE DEVELOPMENT STANDARDS FOR CB ZONE. MIN. SIDE/REAR SETBACK: SEE DEVELOPMENT STANDARDS FOR CB ZONE.
 5. ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE DATES AS AVAILABLE ON THE TOWN WEBSITE OR SCSH. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS. THE PROPOSED PROJECT WILL DECREASE ON-SITE PARKING BY 10 SPACES. THIS PROJECT WILL INCREASE ON-STREET PARKING BY 5 SPACES.
 12. THE PARKING SPACE SHOWN ON THE SUBJECT PARCEL IS FOR THE USE OF THE OWNERS OF LOT 106-11. IN ACCORDANCE WITH THE EASEMENT RECORDED ON PLAN 117-0208 AT THE STRAFFORD COUNTY REGISTERY OF DEEDS.

ON-SITE PARKING

EXISTING	PROPOSED	REQUIRED SPACES	PROVIDED SPACES
12 SPACES	2 SPACES (REQUIRED FOR EACH USE)	12 SPACES	12 SPACES
11 SPACES	11 SPACES (2 SEATS + 1 REAR SEAT, 10 BICYCLE STANDS + 1 BIKE RACK)	11 SPACES	11 SPACES
14 SPACES	14 SPACES (2 SEATS + 1 REAR SEAT, 1 BIKE RACK + 1 BIKE RACK)	14 SPACES	14 SPACES
9 SPACES	9 SPACES	9 SPACES	9 SPACES

FINAL APPROVAL BY DURHAM PLANNING BOARD, CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 _____ DATE _____

- THE BIRTH OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON LOT 59 AND THE PARKING, ACCESS AND UTILITY CONNECTIONS FOR LOT 59.
- ALL ELECTRICAL, GAS, COMMUNICATIONS, WATER, SEWER, AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE LOCAL UTILITY PROVIDERS CONCERNED WITH THE SUBJECT SERVICES LOCATIONS FOR INFORMATION REGARDING SUCH. CALL 800-SAFE AT 1-888-0-SAFE.
9. BOTH PARCELS ARE SERVICED BY MUNICIPAL WATER AND SEWER.
10. FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 2 NEWMARKET ROAD, DURHAM, NH 03824, (603) 869-0064.
11. IT IS THE RESPONSIBILITY OF THE APPLICANT, SITE CONTRACTOR, AND BUILDING CONTRACTOR TO FOLLOW ALL REQUIREMENTS RELATED TO THIS SITE PLAN APPROVAL. PLEASE REVIEW THESE PLANS AND THE PLANNING BOARD NOTICE OF DECISION CAREFULLY. CONTACT THE DURHAM PLANNING DEPARTMENT AT (603) 869-0064 WITH ANY QUESTIONS OR CONCERNS.

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SITE PLAN
 PREPARED FOR:
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 106, LOT 59
 DURHAM, NEW HAMPSHIRE

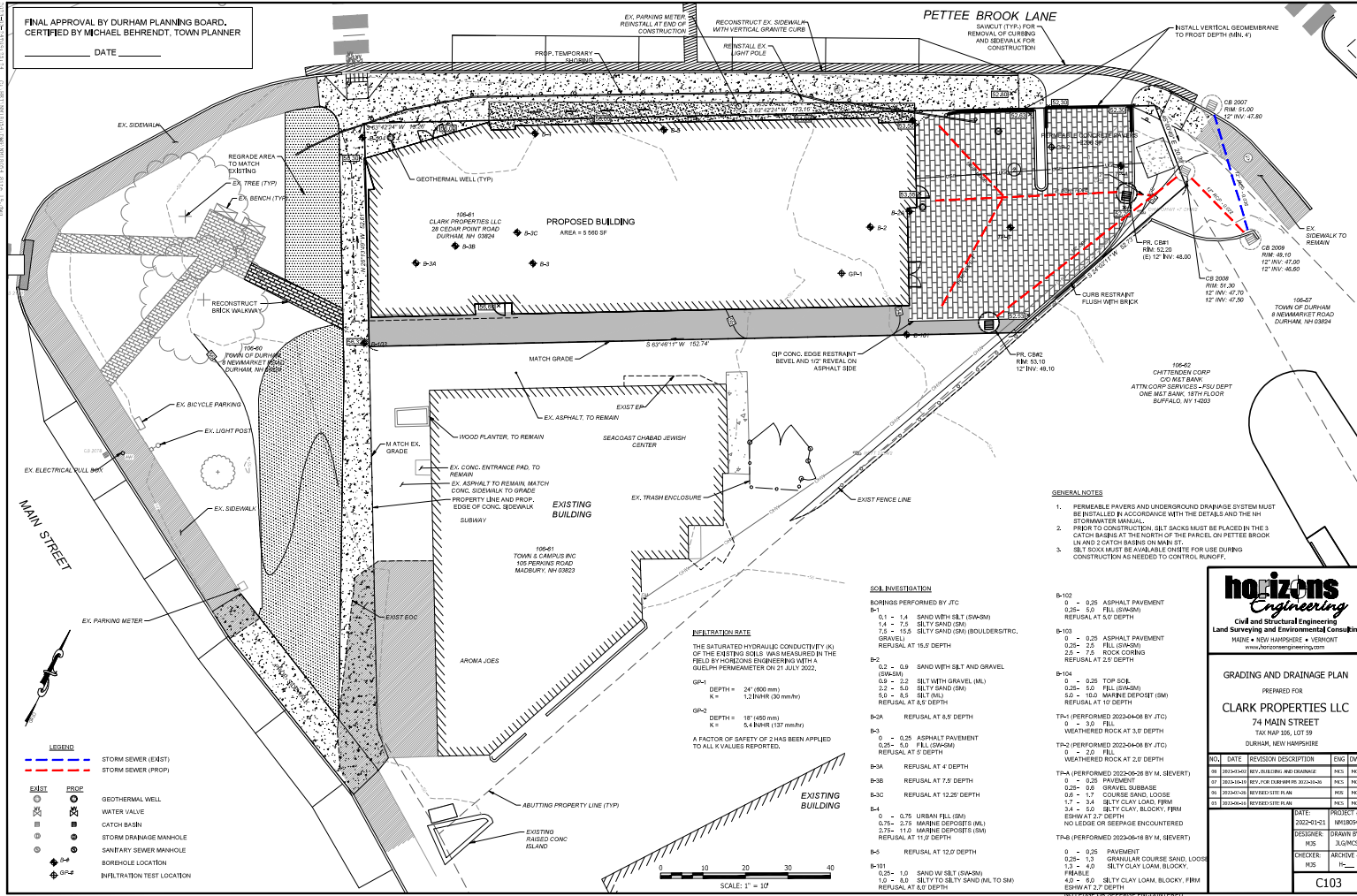
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
01	2022-04-11	REV. SUBMITTING MATERIALS	MKS	MKS
02	2022-04-11	REV. FOR DURHAM PER 2022-02-20	MKS	MKS
03	2022-04-11	REVISED SITE PLAN	MKS	MKS
04	2022-04-11	REVISED SITE PLAN	MKS	MKS

DATE: 2022-04-11
 DRAWN BY: MKS
 CHECKED: MKS
 PROJECT #:
 DRAWN BY: MKS
 CHECKED: MKS
 ARCHIVE #:
 PROJECT #:

C102

FINAL APPROVAL BY DURHAM PLANNING BOARD,
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

DATE _____



- LEGEND**
- STORM SEWER (EXIST)
 - STORM SEWER (PROP)
 - GEOTHERMAL WELL
 - WATER VALVE
 - CATCH BASIN
 - STORM DRAINAGE MANHOLE
 - SANITARY SEWER MANHOLE
 - BOREHOLE LOCATION
 - INFILTRATION TEST LOCATION

SATURATION RATE
THE SATURATED HYDRAULIC CONDUCTIVITY (K) OF THE EXISTING SOILS WAS MEASURED IN THE FIELD BY HORIZONS ENGINEERING WITH A GUELPH PERMEAMETER ON 21 JULY 2022.

GP#1 DEPTH = 2' (600 mm)
K = 1.2 IN/HR (30 mm/hr)

GP#2 DEPTH = 18" (450 mm)
K = 5.4 IN/HR (137 mm/hr)

A FACTOR OF SAFETY OF 2 HAS BEEN APPLIED TO ALL K VALUES REPORTED.

- SOIL INVESTIGATION**
BORINGS PERFORMED BY JTC
- B-1 0 - 1.4 SAND WITH SILT (SW/M)
 - 1.4 - 7.5 SILTY SAND (SM)
 - 7.5 - 15.5 SILTY SAND (SM) (BOULDER/STRC. GRAVEL)
 - REFUSAL AT 15.5' DEPTH
 - B-2 0 - 0.9 SAND WITH SILT AND GRAVEL (SW/M)
 - 0.9 - 2.2 SILT WITH GRAVEL (ML)
 - 2.2 - 4.0 SILTY SAND (SM)
 - 4.0 - 8.5 SILT (ML)
 - 8.5 - 10.0 SILTY SAND (SM)
 - REFUSAL AT 8.5' DEPTH
 - B-3A REFUSAL AT 8.5' DEPTH
 - B-3 0 - 0.25 ASPHALT PAVEMENT
 - 0.25 - 4.0 FILL (SW/MS)
 - REFUSAL AT 4' DEPTH
 - B-3A REFUSAL AT 4' DEPTH
 - B-3B REFUSAL AT 7.5' DEPTH
 - B-3C REFUSAL AT 12.25' DEPTH
 - B-4 0 - 0.75 USHAN FILL (SM)
 - 0.75 - 2.75 MARINE DEPOSITS (ML)
 - 2.75 - 11.0 MARINE DEPOSITS (SM)
 - REFUSAL AT 11.0' DEPTH
 - B-5 REFUSAL AT 12.2' DEPTH
 - B-101 0.25 - 1.0 SAND W/ SILT (SW/M)
 - 1.0 - 4.0 SILTY TO SILTY SAND (AL TO SM)
 - REFUSAL AT 8.0' DEPTH
 - B-102 0 - 0.25 ASPHALT PAVEMENT
 - 0.25 - 5.0 FILL (SW/MS)
 - REFUSAL AT 5.0' DEPTH
 - B-103 0 - 0.25 ASPHALT PAVEMENT
 - 0.25 - 2.5 FILL (SW/MS)
 - 2.5 - 7.5 ROCK CORING
 - REFUSAL AT 2.5' DEPTH
 - B-104 0 - 0.25 TOP SOIL
 - 0.25 - 5.0 FILL (SW/MS)
 - 5.0 - 10.0 MARINE DEPOSIT (SM)
 - REFUSAL AT 10' DEPTH
 - TR-1 (PERFORMED 2022-04-08 BY JTC) 0 - 3.0 FILL
 - WEATHERED ROCK AT 3.0' DEPTH
 - TR-2 (PERFORMED 2022-04-08 BY JTC) 0 - 2.0 FILL
 - WEATHERED ROCK AT 2.0' DEPTH
 - TR-3 (PERFORMED 2022-06-26 BY M. BEVERT) 0 - 0.25 PAVEMENT
 - 0.25 - 0.8 GRAVEL SUBBASE
 - 0.8 - 1.7 COURSE SAND, LOOSE
 - 1.7 - 3.4 SILTY CLAY LOAM, FIRM
 - 3.4 - 5.0 SILTY CLAY, BLOCKY, FIRM
 - 5.0 - 22' DEPTH
 - NO LEGGE OR SEEPAGE ENCOUNTERED
 - TR-6 (PERFORMED 2022-06-16 BY M. BEVERT) 0 - 0.25 PAVEMENT
 - 0.25 - 1.3 GRANULAR COURSE SAND, LOOSE
 - 1.3 - 4.0 SILTY CLAY LOAM, BLOCKY, FIRM
 - 4.0 - 8.0 SILTY CLAY LOAM, BLOCKY, FIRM
 - 8.0 - 22' DEPTH
 - NO LEGGE OR SEEPAGE ENCOUNTERED

- GENERAL NOTES**
1. PERMEABLE PAVEMENTS AND UNDERGROUND DRAINAGE SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND THE IN-STREAM WATER MANUAL.
 2. PRIOR TO CONSTRUCTION, SILT SOCKS MUST BE PLACED IN THE 3 CATCH BASINS AT THE NORTH OF THE PARCEL ON PETTEE BROOK AND 2 CATCH BASINS ON MAIN ST.
 3. SILT SOCKS MUST BE AVAILABLE ON-SITE FOR USE DURING CONSTRUCTION AS NEEDED TO CONTROL EROSION.

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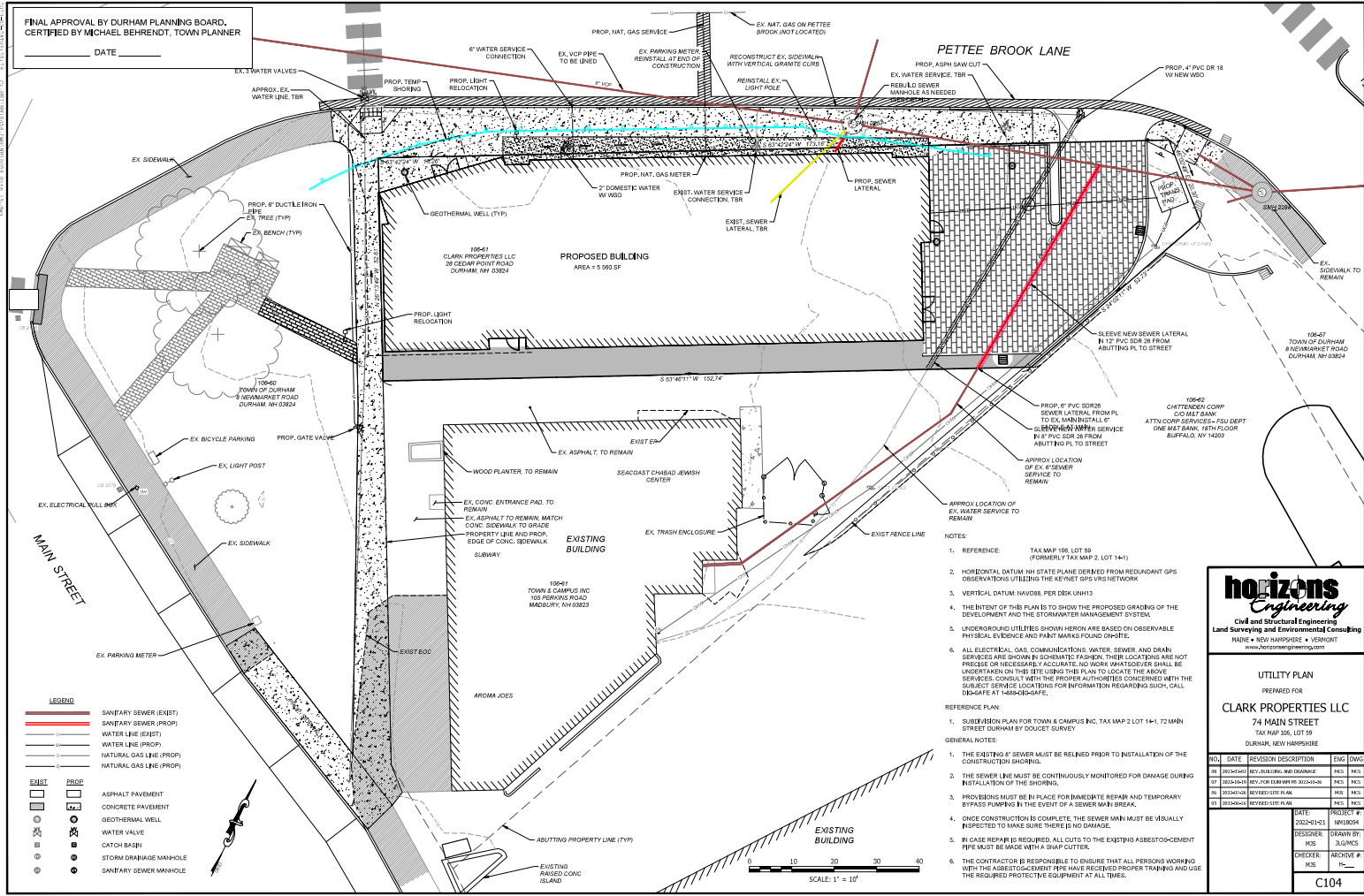
GRADING AND DRAINAGE PLAN
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG.	DWG.
01	2022-04-08	REV. FOR CLARK PROPERTIES	MKS	MKS
02	2022-04-08	REV. FOR CLARK PROPERTIES	MKS	MKS
03	2022-04-08	REVISED SITE PLAN	MKS	MKS
04	2022-04-08	REVISED SITE PLAN	MKS	MKS

DATE: 2022-01-11
DRAWN BY: MKS
CHECKED: MKS
PROJECT #:
C103

FINAL APPROVAL BY DURHAM PLANNING BOARD,
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

DATE _____



LEGEND

	SANITARY SEWER (EXIST.)
	SANITARY SEWER (PROP.)
	WATER LINE (EXIST.)
	WATER LINE (PROP.)
	NATURAL GAS LINE (EXIST.)
	NATURAL GAS LINE (PROP.)
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	GEOHERMAL WELL
	WATER VALVE
	CATCH BASIN
	STORM DRAINAGE MANHOLE
	SANITARY SEWER MANHOLE

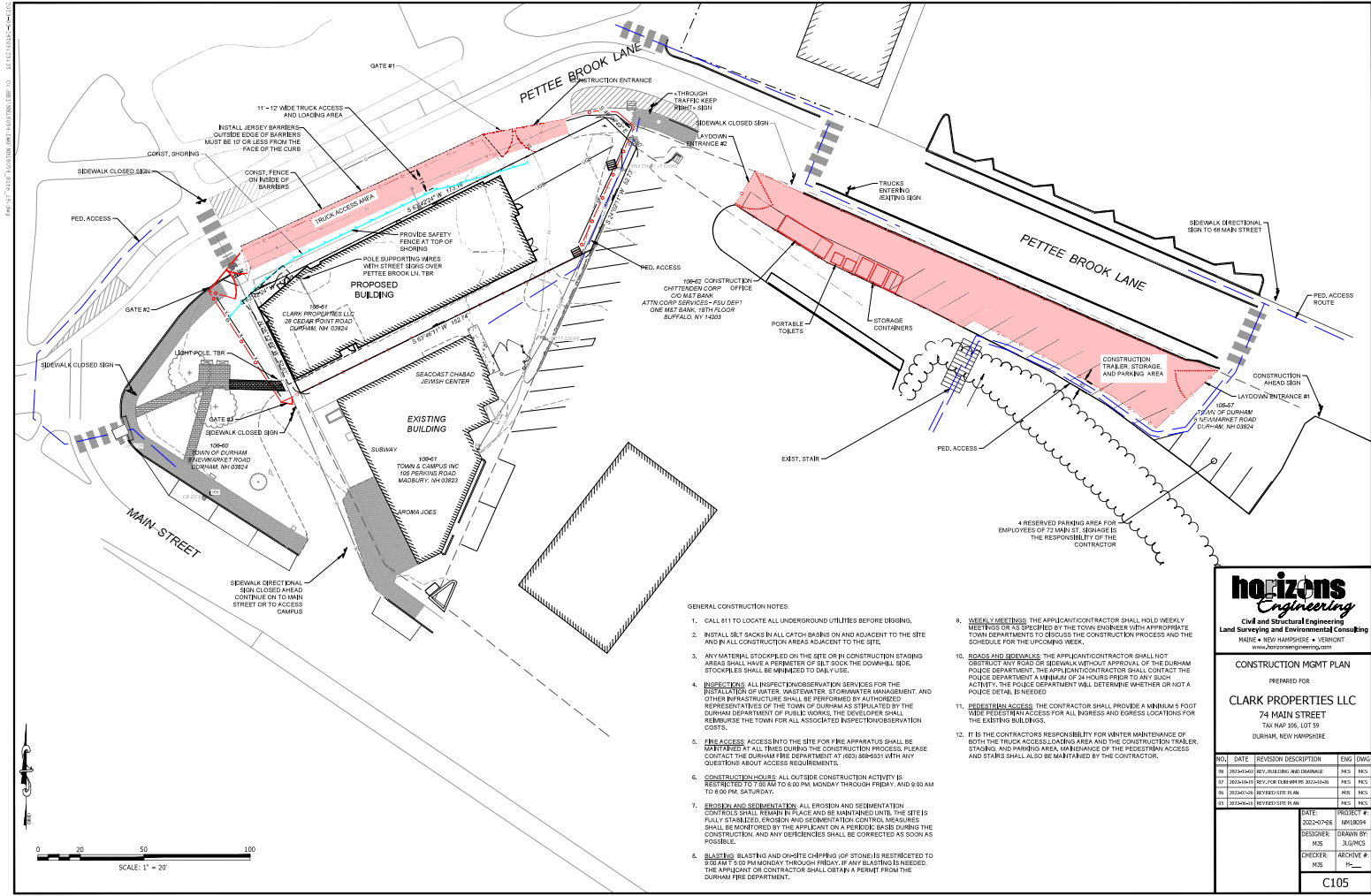
- NOTES:**
- REFERENCE: TAX MAP 108, LOT 59 (FORMERLY TAX MAP 2, LOT 14-1)
 - HORIZONTAL DATUM: NH STATE PLANE DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK
 - VERTICAL DATUM: NAVD83, PER DISK LNH13
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED GRADING OF THE DEVELOPMENT AND THE STORMWATER MANAGEMENT SYSTEM.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - ALL ELECTRICAL, GAS, COMMUNICATIONS, WATER, SEWER, AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH, CALL DIS-4SAFE AT 1-800-408-4SAFE.
- REFERENCE PLAN:**
- SUBDIVISION PLAN FOR TOWN & CAMPUS INC. TAX MAP 2 LOT 14-1 72 MAIN STREET DURHAM BY DODGE SURVEY
- GENERAL NOTES:**
- THE EXISTING 8" SEWER MUST BE RELIEVED PRIOR TO INSTALLATION OF THE CONSTRUCTION SHORING.
 - THE SEWER LINE MUST BE CONTINUOUSLY MONITORED FOR DAMAGE DURING INSTALLATION OF THE SHORING.
 - PROVISIONS MUST BE IN PLACE FOR IMMEDIATE REPAIR AND TEMPORARY BYPASS PUMPING IN THE EVENT OF A SEWER MAIN BREAK.
 - ONCE CONSTRUCTION IS COMPLETE, THE SEWER MAIN MUST BE VISUALLY INSPECTED TO MAKE SURE THERE IS NO DAMAGE.
 - IN CASE REPAIR IS REQUIRED, ALL CUTS TO THE EXISTING ASBESTOS-CEMENT PIPE MUST BE MADE WITH A SNAP CUTTER.
 - THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL PERSONS WORKING WITH THE ASBESTOS-CEMENT PIPE HAVE RECEIVED PROPER TRAINING AND USE THE REQUIRED PROTECTIVE EQUIPMENT AT ALL TIMES.

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UTILITY PLAN
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 108, LOT 39
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG.	DWG.
01	2022-01-11	REV. FOR DURHAM PER 2022-02-20	MSE	MCS
02	2022-01-11	REVISED SITE PLAN	MSE	MCS
03	2022-01-11	REVISED SITE PLAN	MSE	MCS

DATE: 2022-01-11
DRAWN BY: MKL/BSH
DESIGNER: MSE
CHECKER: ARCHIVE #
PROJECT #:
C104



GENERAL CONSTRUCTION NOTES:

- CALL 811 TO LOCATE ALL UNDERGROUND UTILITIES BEFORE DIGGING.
- INSTALL SBT SACKS IN ALL CATCH BASINS ON AND ADJACENT TO THE SITE AND IN ALL CONSTRUCTION AREAS ADJACENT TO THE SITE.
- ANY MATERIAL STOCKPILED ON THE SITE OR IN CONSTRUCTION STAGING AREAS SHALL HAVE A PERIMETER OF SBT SOCK THE DOWNHILL SIDE. STOCKPILES SHALL BE MINIMIZED TO DAILY USE.
- INSPECTIONS:** ALL INSPECTION/OBSERVATION SERVICES FOR THE INSTALLATION OF WATER, WASTEWATER, STORMWATER MANAGEMENT, AND OTHER INFRASTRUCTURE SHALL BE PERFORMED BY AUTHORIZED REPRESENTATIVES OF THE TOWN OF DURHAM AS STIPULATED BY THE DURHAM DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REIMBURSE THE TOWN FOR ALL ASSOCIATED INSPECTION/OBSERVATION COSTS.
- FIRE ACCESS:** ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE DURHAM FIRE DEPARTMENT AT (919) 896-5511 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
- CONSTRUCTION HOURS:** ALL OUTSIDE CONSTRUCTION ACTIVITY IS RESTRICTED TO 8:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, AND 9:00 AM TO 6:00 PM SATURDAY.
- EROSION AND SEDIMENTATION:** ALL EROSION AND SEDIMENTATION CONTROLS SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE SITES FULLY STABILIZED. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING THE CONSTRUCTION, AND ANY DEFICIENCIES SHALL BE CORRECTED AS SOON AS POSSIBLE.
- BLASTING:** BLASTING AND CHIPPING OF STONES IS RESTRICTED TO 10:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY. IF ANY BLASTING IS NEEDED, THE APPLICANT OR CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DURHAM FIRE DEPARTMENT.
- WEEKLY MEETINGS:** THE APPLICANT/CONTRACTOR SHALL HOLD WEEKLY MEETINGS OR AS SPECIFIED BY THE TOWN ENGINEER WITH APPROPRIATE TOWN DEPARTMENTS TO DISCUSS THE CONSTRUCTION PROCESS AND THE SCHEDULE FOR THE UPCOMING WEEK.
- ROADS AND SIDEWALKS:** THE APPLICANT/CONTRACTOR SHALL NOT OBSTRUCT ANY ROAD OR SIDEWALK WITHOUT APPROVAL OF THE DURHAM POLICE DEPARTMENT. THE APPLICANT/CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO ANY SUCH ACTIVITY. THE POLICE DEPARTMENT WILL DETERMINE WHETHER OR NOT A POLICE DETAIL IS NEEDED.
- PEDESTRIAN ACCESS:** THE CONTRACTOR SHALL PROVIDE A MINIMUM 5 FOOT WIDE PEDESTRIAN ACCESS FOR ALL BUILDINGS AND FORECAST LOCATIONS FOR THE EXISTING BUILDINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF BOTH THE TRUCK ACCESS/LOADING AREA AND THE CONSTRUCTION TRAILER, STAGING, AND PARKING AREA. MAINTENANCE OF THE PEDESTRIAN ACCESS AND STAIRS SHALL ALSO BE MAINTAINED BY THE CONTRACTOR.

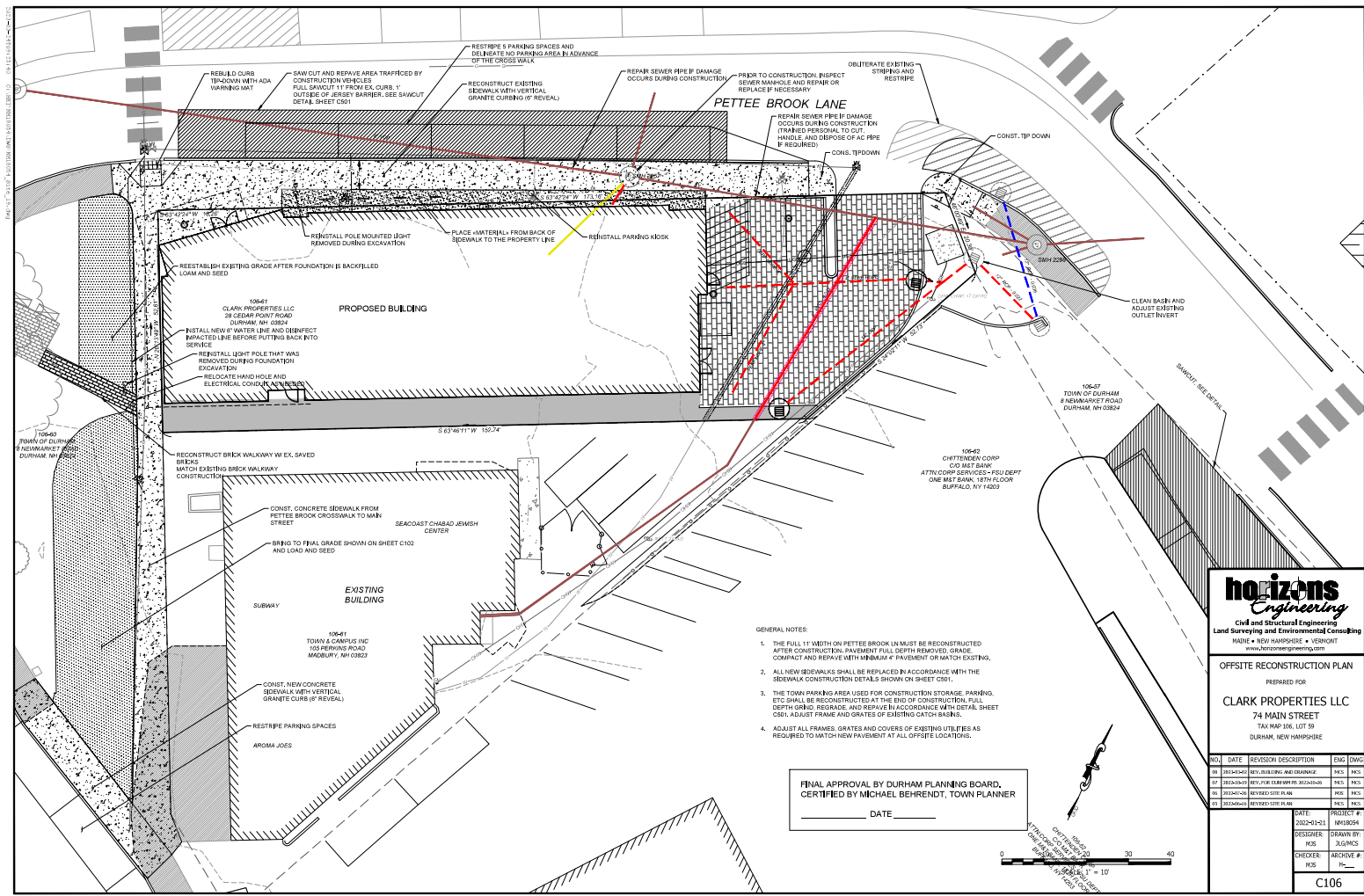
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CONSTRUCTION MGMT PLAN
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 156, LOT 59
 DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
01	2022-07-06	REV. FOR DURING MEETINGS	MCS	MCS
02	2022-07-06	REV. FOR DURHAM PER 2022-06-20	MCS	MCS
03	2022-07-06	REVISED SITE PLAN	MCS	MCS
04	2022-07-06	REVISED SITE PLAN	MCS	MCS
05	2022-07-06	REVISED SITE PLAN	MCS	MCS

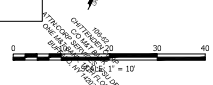
DATE	PROJECT #
2022-07-06	18418054
DESIGNER	DRAWN BY
MCS	JL GONZ
CHECKER	ARCHIVE #
MCS	PK_

C105



- GENERAL NOTES:
1. THE FULL 11' WIDTH ON PETTEE BROOK LANE MUST BE RECONSTRUCTED AFTER CONSTRUCTION. PAVEMENT FULL DEPTH REMOVED. GRADE COMPACT AND REPAIR WITH MINIMUM 4" PAVEMENT OR MATCH EXISTING.
 2. ALL NEW SIDEWALKS SHALL BE REPLACED IN ACCORDANCE WITH THE SIDEWALK CONSTRUCTION DETAILS SHOWN ON SHEET C301.
 3. THE TOWN PARKING AREA USED FOR CONSTRUCTION STORAGE, PARKING, ETC. SHALL BE RECONSTRUCTED AT THE END OF CONSTRUCTION. FULL DEPTH GRIND, REGRADE, AND REPAIR IN ACCORDANCE WITH DETAIL SHEET C301. ADJUST FRAMES AND GRATES OF EXISTING CATCH BASINS.
 4. ADJUST ALL FRAMES, GRATES AND COVERS OF EXISTING UTILITIES AS REQUIRED TO MATCH NEW PAVEMENT AT ALL OFFSITE LOCATIONS.

FINAL APPROVAL BY DURHAM PLANNING BOARD,
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 _____ DATE _____



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OFFSITE RECONSTRUCTION PLAN
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 556, LOT 5B
 DURHAM, NEW HAMPSHIRE

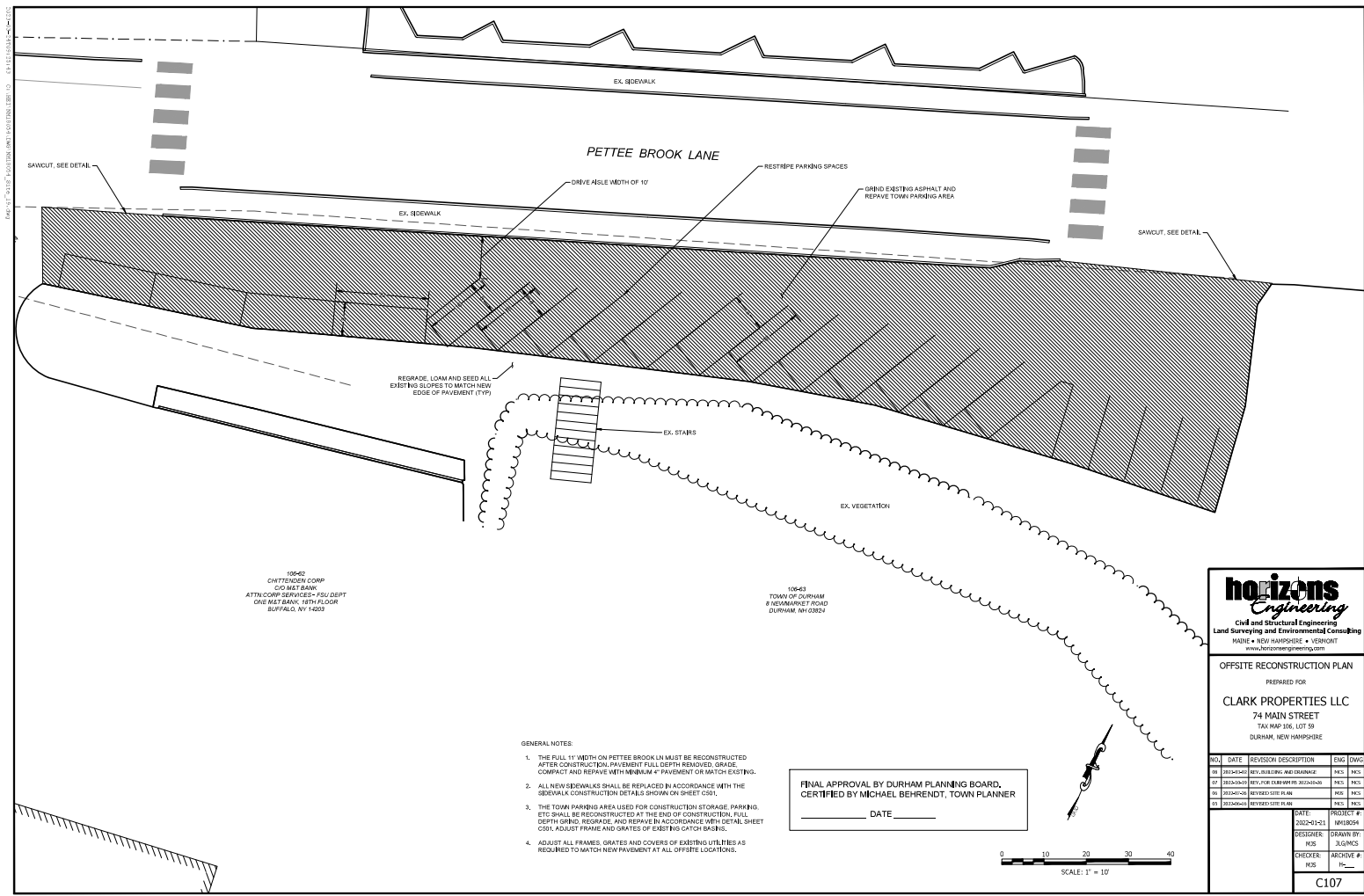
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
01	2022-04-04	REVISED FOR MEASUREMENTS	MSJ	MSJ
02	2022-04-04	REV. FOR DURHAM PER 2022-02-20	MSJ	MSJ
03	2022-04-04	REVISED SITE PLAN	MSJ	MSJ
04	2022-04-04	REVISED SITE PLAN	MSJ	MSJ

DATE	PROJECT #
2022-01-11	NR18054

DESIGNER	DRAWN BY
MSJ	JLONCINI

CHECKER	APPROVE #
MSJ	PK

C106



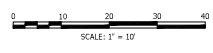
106-62
 CHYTOWEN CORP
 COO MAT SEAN
 ATTN: CORP SERVICES- FSU DEPT
 ONE BUL BANK, 18TH FLOOR
 BUFFALO, NY 14203

106-63
 TOWN OF DURHAM
 8 HIGHMARKET ROAD
 DURHAM NH 03824

GENERAL NOTES:

1. THE FULL 11' WIDTH ON PETTEE BROOK LN MUST BE RECONSTRUCTED. AFTER CONSTRUCTION PAVEMENT FULL DEPTH REMOVED, GRADE, COMPACT AND REPAVE WITH MINIMUM 4" PAVEMENT OR MATCH EXISTING.
2. ALL NEW SIDEWALKS SHALL BE REPLACED IN ACCORDANCE WITH THE SIDEWALK CONSTRUCTION DETAILS SHOWN ON SHEET CS01.
3. THE TOWN PARKING AREA USED FOR CONSTRUCTION STORAGE, PARKING, ETC. SHALL BE RECONSTRUCTED AT THE END OF CONSTRUCTION, FULL-DEPTH GRIND, REGRADE, AND REPAVE IN ACCORDANCE WITH DETAIL SHEET CS01. ADJUST FRAMES AND GRATES OF EXISTING UTILITIES.
4. ADJUST ALL FRAMES, GRATES AND COVERS OF EXISTING UTILITIES AS REQUIRED TO MATCH NEW PAVEMENT AT ALL OFFSITE LOCATIONS.

FINAL APPROVAL BY DURHAM PLANNING BOARD,
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 _____ DATE _____



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OFFSITE RECONSTRUCTION PLAN
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 556, LOT 5B
 DURHAM, NEW HAMPSHIRE

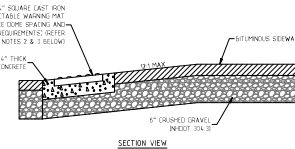
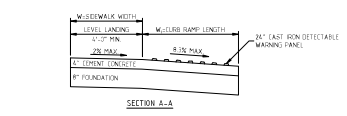
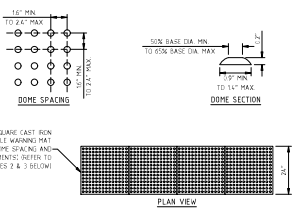
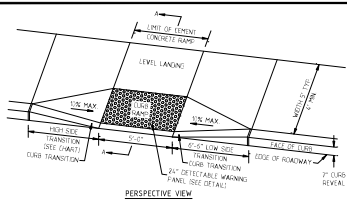
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
06	2022-04-20	REV. FOR DURHAM PER 2022-02-20	MKS	MKS
07	2022-04-20	REV. FOR DURHAM PER 2022-02-20	MKS	MKS
08	2022-04-20	REVISED SITE PLAN	MKS	MKS
09	2022-04-20	REVISED SITE PLAN	MKS	MKS

DATE	PROJECT #
2022-01-11	NH18054

DESIGNER	DRAWN BY
MKS	JLONCIS

CHECKER	APPROVE #
MKS	PK

C107



LEGEND

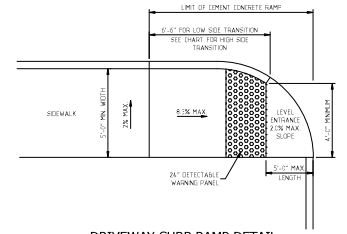
W = SIDEWALK WITH MIN 5' EXISTING CURB

M = PERPENDICULAR RAMP LENGTH

NOTE

LEVEL LANDING SHALL BE 60" MIN. IN DIRECTION OF FEEDSTRAIN CROSSING WHEN CONTRAINDICATED TO 45"

TYPICAL CURB RAMP DETAIL
NOT TO SCALE

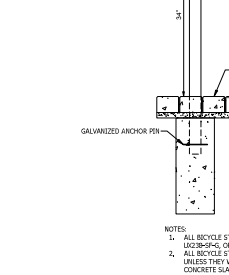
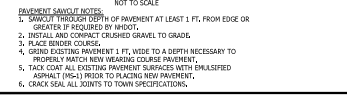
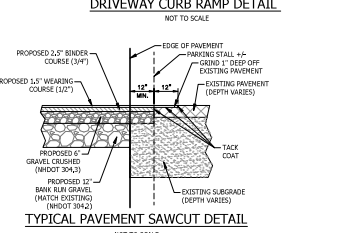


- NOTES**
1. ALL GAMES TO BE CONSTRUCTED OF CEMENT CONCRETE.
 2. ALL GAMES TO HAVE DETECTABLE WARNING PANELS CONFORMING TO TOWN DETAILS.
 3. FIELD LOCATION OF CURB GAMES TO BE APPROVED BY TOWN ENGINEER PRIOR TO CONSTRUCTION.

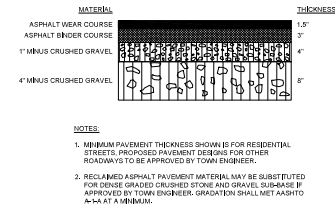
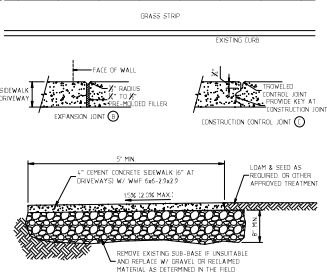
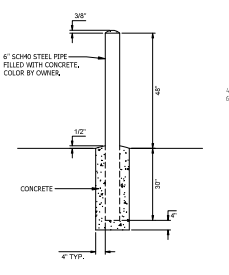
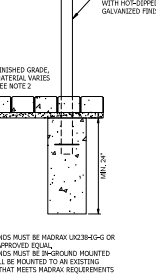
TABLE OF TRANSITION LENGTHS

ROADWAY PROFILE	TRANSITION LENGTH
GRADE 2%	0'-6"
+2-3	7'-0"
+3-4	9'-0"
+4-5	11'-0"
+5-6	13'-0"
+6-7	15'-0"

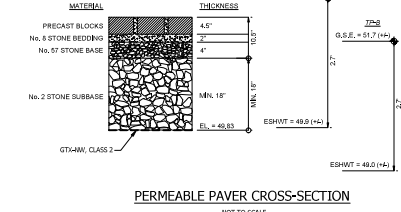
*BASED ON A DESIGN SLOPE OF 3.5% AND 6" OF CURB RISE.



- NOTES**
1. ALL BICYCLE STANDS MUST BE HADDAK L0230-S-6 OR APPROVED EQUAL.
 2. ALL BICYCLE STANDS MUST BE THINGKING MOUNTED UNLESS THEY WILL BE MOUNTED TO AN EXISTING CONCRETE SLAB THAT MEETS HADDAK REQUIREMENTS FOR SURFACE MOUNTING.



- NOTES**
1. MINIMUM PAVEMENT THICKNESS SHOWN IS FOR RESIDENTIAL STREETS. PROPOSED PAVEMENT DESIGNS FOR OTHER ROADWAYS TO BE APPROVED BY TOWN ENGINEER.
 2. RECLAIMED ASPHALT PAVEMENT MATERIAL MAY BE SUBSTITUTED FOR DENSE GRADED CRUSHED STONE AND GRAVEL SUBBASE IF APPROVED BY TOWN ENGINEER. GRAVITON SHALL MEET ASHRAE 2.4.4 AT A MINIMUM.



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CONSTRUCTION DETAILS

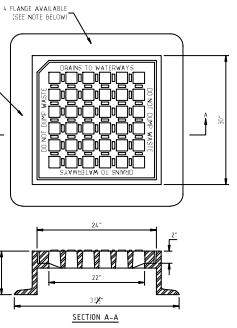
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
DUBURGH, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

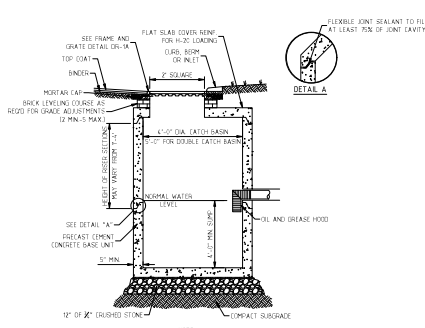
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DRAWN BY: HSE
CHECKED BY: HSE
PROJECT #:
DATE: 2024-04-19
INSTRUM: NHE0054
SCALE: AS SHOWN

C501

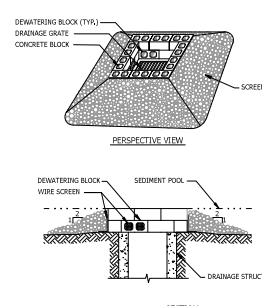
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CATCH BASIN FRAME & GRATE
NOT TO SCALE



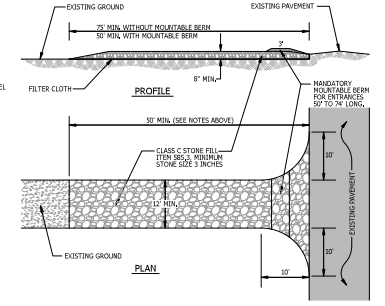
TYPICAL CATCH BASIN DETAIL
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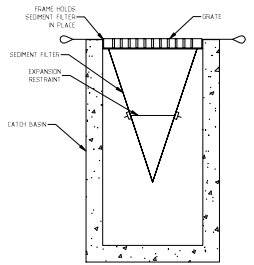
CATCH BASIN INLET PROTECTION DETAIL
NO SCALE

MATERIALS SPECIFICATIONS:
1. CONCRETE BLOCKS: PAVEMENT LOAD BEARING CONCRETE MASONRY UNITS, 8" x 8" x 16" DIMENSION.
2. WIRE SCREEN: HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENING.
3. SCREENED GRAVEL: UNIFORMLY GRADED 3/4" TO 1 1/2" DIA. STONE.

CONSTRUCTION SPECIFICATIONS:
1. INSTALL BLOCKS AND GRAVEL INLET PROTECTION WHERE INDICATED OR UNWRITTEN.
2. EXCAVATE 18" DEPTH x 12" BELOW RIM OF STORM DRAIN.
3. PLACE BOTTOM ROW OF BLOCKS AGAINST EDGE OF STORM DRAIN WITH ONE BLOCK ON EACH SIDE OF THE ROW BEING LAID ON ITS SIDE. PLACE TOP ROW OF BLOCKS.
4. INSTALL WIRE SCREEN OVER ALL DENATURING BLOCKS.
5. PLACE SCREENED GRAVEL AROUND EXTERIOR OF BLOCK HARDER TO 1" BELOW THE TOP OF THE BLOCKS.

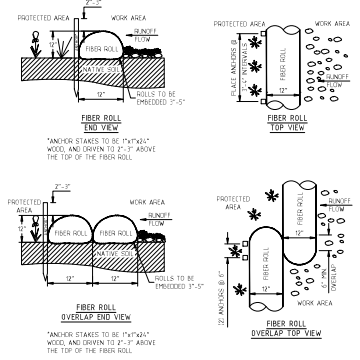


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

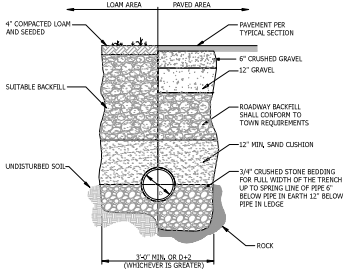


CATCH BASIN SILT SACK INSERT
NOT TO SCALE

NOTES:
1. SEDIMENT FILTER TRAP SHALL BE AEP REGULAR FLOW SETBACK OR APPROVED EQUAL.
2. FILTERS SHALL BE INSPECTED AFTER EVERY RAIN EVENT OF 2" OR GREATER AND SEDIMENTS SHALL BE REMOVED FROM TRAP WHEN SEDIMENT HAS REACHED TWO THICKS OF THE DEPTH OF THE TRAP. OR IF FLOWING WATER AT SURFACE BEGINS TO COAG. DO NOT PUNCTURE FILTER TRAP TO MITIGATE FLOWING.



EROSION CONTROL FIBER ROLL DETAIL
NOT TO SCALE



TYPICAL DRAINAGE TRENCH DETAIL
NOT TO SCALE

**FOR REVIEW
NOT FOR CONSTRUCTION**

DATE OF PRINT
24 MARCH 2023
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CONSTRUCTION DETAILS
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 136, LOT 59
DUNBAR, NEW HAMPSHIRE

NO.	DATE	REVISION/DESCRIPTION	ENG	DWG
01	03/20/23	ISSUE FOR CONSTRUCTION	MCS	MCS

DATE	PROJECT #
DESIGNER	DRAWN BY
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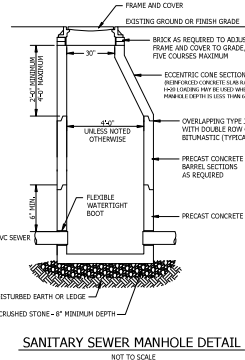
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SEWER NOTES

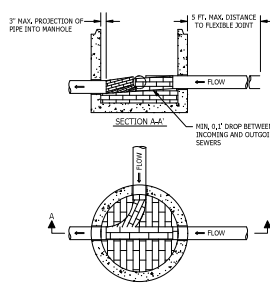
- GENERAL**
CONSTRUCTION OF ALL COMPONENTS OF THE SANITARY SEWER SYSTEM SHALL CONFORM TO THE MOST CURRENT EDITION OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES ENH400.700 AND TECHNICAL SPECIFICATIONS ENTITLED:
 - MINIMUM PIPE SIZE FOR GRAVITY SEWER MAINS SHALL BE 8 INCHES.
 - MINIMUM PIPE SIZE FOR GRAVITY SEWER SERVICES SHALL BE 4 INCHES.
 - MINIMUM PIPE SIZE FOR FORCE MAIN SEWER SERVICES SHALL BE 24 INCHES.
 - SANITARY SEWERS SHALL HAVE 6 FEET MINIMUM COVER IN ALL ROADWAY LOCATIONS AND 4 FEET MINIMUM COVER IN ALL CROSS-COUNTRY LOCATIONS.
- TYPES OF SEWERS**
A. THERE SHALL BE NO CONNECTION BETWEEN SANITARY SEWERS AND STORM SEWERS, RUNOFF FROM ROADS, STREETS, AND OTHER AREAS AND SUBDRAINERS FROM FOUNDATION DRAINS, SUMP PUMPS, OR OTHER SURFACE DRAINS SHALL BE EXCLUDED FROM SANITARY SEWERS.
- SEWER SIZE AND COVER**
A. MINIMUM PIPE SIZE FOR GRAVITY SEWER MAINS SHALL BE 8 INCHES.
B. MINIMUM PIPE SIZE FOR GRAVITY SEWER SERVICES SHALL BE 4 INCHES.
C. MINIMUM PIPE SIZE FOR FORCE MAIN SEWER SERVICES SHALL BE 24 INCHES.
D. SANITARY SEWERS SHALL HAVE 6 FEET MINIMUM COVER IN ALL ROADWAY LOCATIONS AND 4 FEET MINIMUM COVER IN ALL CROSS-COUNTRY LOCATIONS.
- PIPE AND FITTING MATERIALS**
A. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION:
(1) DUCTILE IRON PIPE FOR RATTLE IRON PIPE, CENTURALLY CAST IN METAL OR SAND LINED MOLDS, FOR WATER OR OTHER LIQUIDS.
(2) MANHOLE COVERS FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A 536 IRON CASTINGS, AND:
(3) JOINTS SHALL BE MECHANICAL TYPE, PUSH-IN TYPE, OR BALL-AND-SOCKET TYPE.
B. PVC (DOW) VINYL CHLORIDE PIPE
PVC PIPE AND FITTINGS SHALL BE APPROVED FOR GROUND SERVICE AND CONFORM TO THE FOLLOWING:
(1) PVC PIPE USED FOR GRAVITY SEWERS SHALL BE TYPE SDR 35 CONFORMING TO ASTM D3034.
(2) PVC PIPE USED FOR FORCE MAINS SHALL BE TYPE SDR 26 CONFORMING TO ASTM D2241 OR ASTM D3115.
(3) JOINTS SHALL BE PUSH-IN, BELLOWS-ROCKET TYPE HAVING OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3221.
C. **RECODING**
PIPE RECODING SHALL BE SCREENING GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 47. RECODING SHALL EXTEND FROM THE SPRAIN LINE OF THE PIPE TO A MINIMUM DEPTH OF 6" BELOW THE BOTTOM OF THE PIPE OUTSIDE SURFACE.
100% PASSING 1/2 INCH SCREEN
20-50% PASSING 3/4 INCH SCREEN
0-5% PASSING #8 SIEVE
0-5% PASSING #8 SIEVE
D. **MANHOLES**
A. PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C476.
B. MANHOLES SHALL BE DESIGNED FOR 140' LOADING.
C. HORIZONTAL JOINTS BETWEEN BARREL SECTIONS SHALL BE OF AN OVERLAPPING TYPE WHICH SHALL EXTEND DOWN A MINIMUM ROW OF ELASTOMERIC OR RUBBER-LIKE SEALANT FOR WATER TIGHTNESS.
D. PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
(1) ELASTOMERIC RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
(2) CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
(3) ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING, AND
(4) NONHORIZONTAL GASKETED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
E. MANHOLES SHALL HAVE A BRICK RAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW, AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAD OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLayment OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
F. **PROTECTION OF WATER SUPPLIES**
A. THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCES WHICH WOULD PERMIT THE INGRESS OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
B. NO SEWERS SHALL BE LOCATED WITHIN THE WELL PROTECTIVE RADIUS ESTABLISHED IN ENH400.300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL.
C. SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.
D. A SEPARATION FROM THE SEPARATION REQUIREMENTS OF (B) OR (C) ABOVE SHALL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENH400.704.06.
E. WHEREVER SEWERS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
(1) VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL BE NOT LESS THAN 30 INCHES WITH WATER ABOVE SEWER, AND
(2) SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.

STANDARD TRENCH NOTES - SEWER

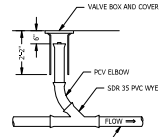
- CRUSHED LOCATION OF UNSUITABLE MATERIAL** BELOW GRADE SHALL BE REPLACED WITH RECODING MATERIAL. SEE ALSO NOTE 4.
- RECODING** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 47.
100% PASSING 1/2 INCH SCREEN
20-50% PASSING 3/4 INCH SCREEN
0-5% PASSING #8 SIEVE
0-5% PASSING #8 SIEVE
- SAND BARRETT** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #20 SIEVE.
- SUITABLE MATERIAL** IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELEDWAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION. AFTER EXCLUDING TREES, PIECES OF FURNITURE, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.
TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE EXCEPT THAT TOP SOIL, LOAM MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE RECORDED TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. **BASE COURSE AND TRENCH BEDDING** SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
6. **SHIELDING** ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.
7. **TRENCH DIMENSIONS:** W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE, FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR CRACKED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.
8. **PIPE INSULATION AT STREET CROSSINGS** INSTALL 2" THICK RIGID FOAM INSULATION OVER SEWER AT STREET CROSSINGS EXCEPT INSULATION 4 FEET EITHER SIDE OF STORM DRAIN ALONG SEWER.



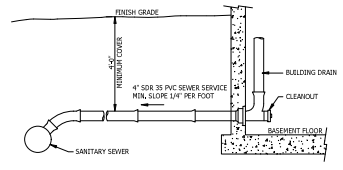
SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE



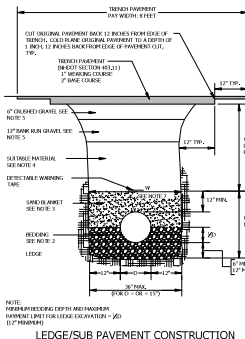
MANHOLE INVERT DETAILS
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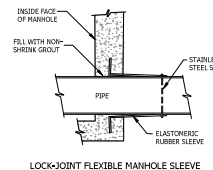
SEWER CLEANOUT DETAIL
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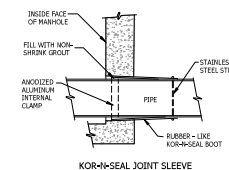
SEWER SERVICE DETAIL
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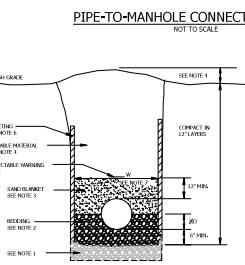
LEGE/SUB PAVEMENT CONSTRUCTION



LOCK-JOINT FLEXIBLE MANHOLE SLEEVE



KOR-N-SEAL JOINT SLEEVE



PIPE-TO-MANHOLE CONNECTION DETAIL
NOT TO SCALE

EARTH CONSTRUCTION WITH OR WITHOUT SHEETING

STANDARD TRENCH SECTIONS

DATE OF PRINT
24 MARCH 2023
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CONSTRUCTION DETAILS

PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
DUBLIN, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	CHK
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02	03/03/23	REVISED FOR CONSTRUCTION	MS	MS

DATE	PROJECT #
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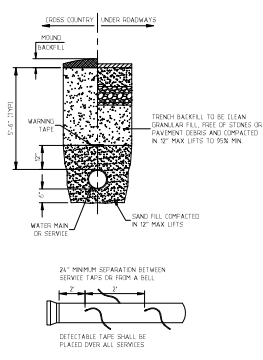
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MS	MS

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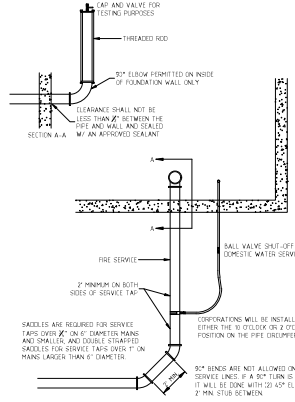
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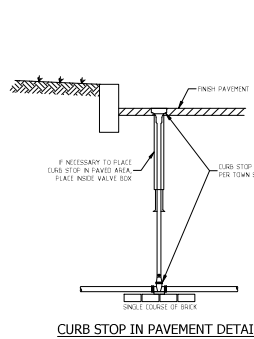
horizons Engineering, Inc. 10/20/2024



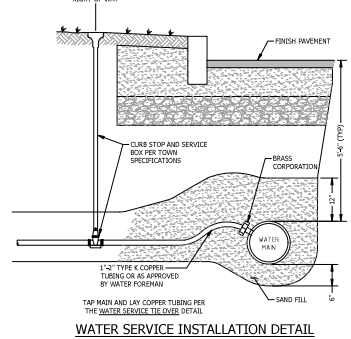
WATER MAIN TRENCH DETAIL
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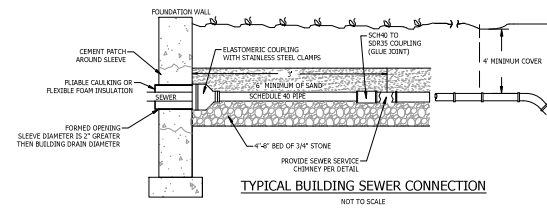
BUILDING FIRE AND DOMESTIC WATER SERVICE DETAIL
NOT TO SCALE



CURB STOP IN PAVEMENT DETAIL
NOT TO SCALE



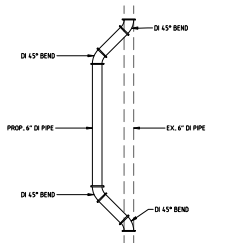
WATER SERVICE INSTALLATION DETAIL
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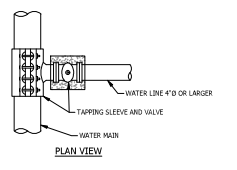
TYPICAL BUILDING SEWER CONNECTION
NOT TO SCALE

POTABLE WATER DISTRIBUTION SYSTEM NOTES
THE WATER DISTRIBUTION SYSTEM MUST COMPLY WITH THE US SAFE DRINKING WATER ACT, WHO'S ADMINISTRATIVE RULES, AND ALL MUNICIPAL REGULATIONS.

- DESIGN CRITERIA**
 - DESIGN LIFE EXPECTANCY: 100 YEAR
 - DESIGN FLOW: 100 GPM
 - DESIGN PRESSURE: 200 PSI (1.4 MPa)
 - MAX. OPERATING TEMPERATURE: 73 °F (23 °C)
- REFERENCE SPECIFICATIONS**
 - DUCTILE IRON DIPIPES: AWWA C900/A2151, AWWA C900/A2150
 - PPR: AWWA C900/A2151
 - 7\"/>
- GENERAL NOTES**
 - A. IF CONTAMINATED SOILS ARE FOUND DURING EXCAVATION, CONTACT DURHAM FIRE DEPT IMMEDIATELY. CONTACT ENGINEER OF RECORD TO DETERMINE REQUIRED NEXT STEPS BEFORE WORK CAN RESUME.
- DISINFECTION**
 - A. ALL PIPES THAT WILL BE DEPRESSURIZED OR NEWLY INSTALLED MUST BE DISINFECTED.
 - B. CONTACT DURHAM DPW TO DETERMINE THE REQUIRED LAR TESTING. IF DURHAM DPW DOES NOT HAVE AN ACCEPTANCE CRITERIA, THE WATER MUST BE TESTED FOR FCAL AND TOTAL COLIFORMS AND HETEROLOGOUS FCAL. ONLY THE SYSTEM CAN ONLY GO INTO SERVICE IF NO COLIFORMS ARE PRESENT AND THE HPC < 100 CFU/GAL IN TWO SETS OF SAMPLES TAKEN AT LEAST 16 HOURS AFTER DISINFECTION AND 30 MINUTES APART.
- PRESSURE TESTING**
 - A. WATER SYSTEM MUST BE PRESSURE TESTED USING THE METHODS DESCRIBED IN AWWA C600.
 - B. WATER DISTRIBUTION SYSTEM MUST BE TESTED WITH WATER TO THE GREATER OF 150 PSI OR 100 PSI. DO NOT USE AIR TO PRESSURE TEST SYSTEM.



POTABLE WATER PIPE RELOCATION
NOT TO SCALE



WATER MAIN TAPPING SLEEVE CONNECTION
NOT TO SCALE

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CONSTRUCTION DETAILS
PREPARED FOR:
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 136, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION/DESCRIPTION	ENG.	DWG.
01	10/20/24	ISSUED FOR BIDDING DESIGN	MSJ	MSJ

DATE: 2024-10-19	PROJECT #
DRAWN BY: MSJ	04181004
CHECKER: ARCHIVE #	
MSJ	

CS04