

CLARK PROPERTIES LLC

74 MAIN STREET

DURHAM NEW HAMPSHIRE

JULY 2022

REVISED APRIL 2023

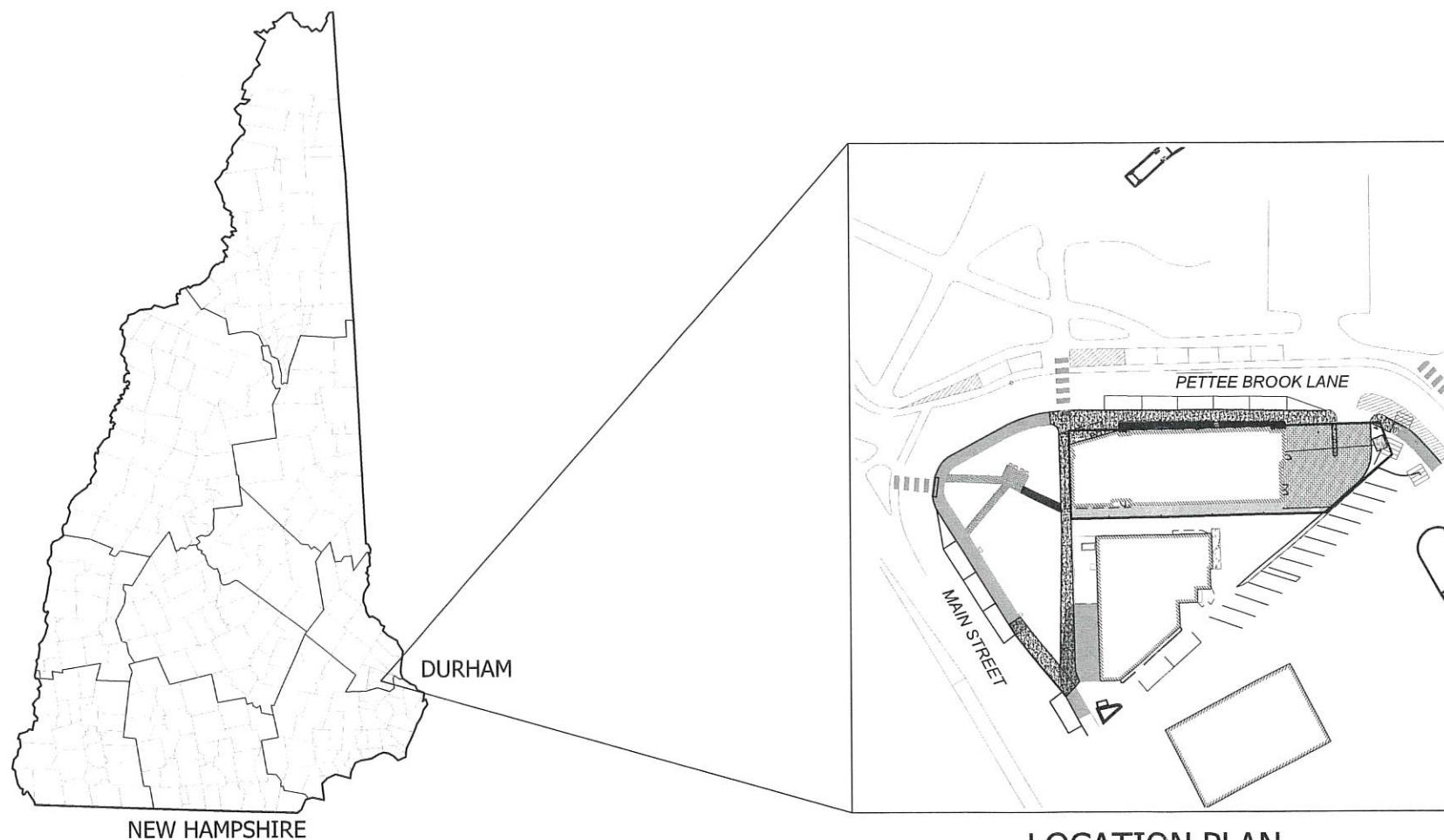
OWNER:

CLARK PROPERTIES LLC
28 CEDAR POINT ROAD
DURHAM, NH 03824

ENGINEER

horizons
Engineering

5 RAILROAD STREET
NEWMARKET, NH 03857
(603)659-4979



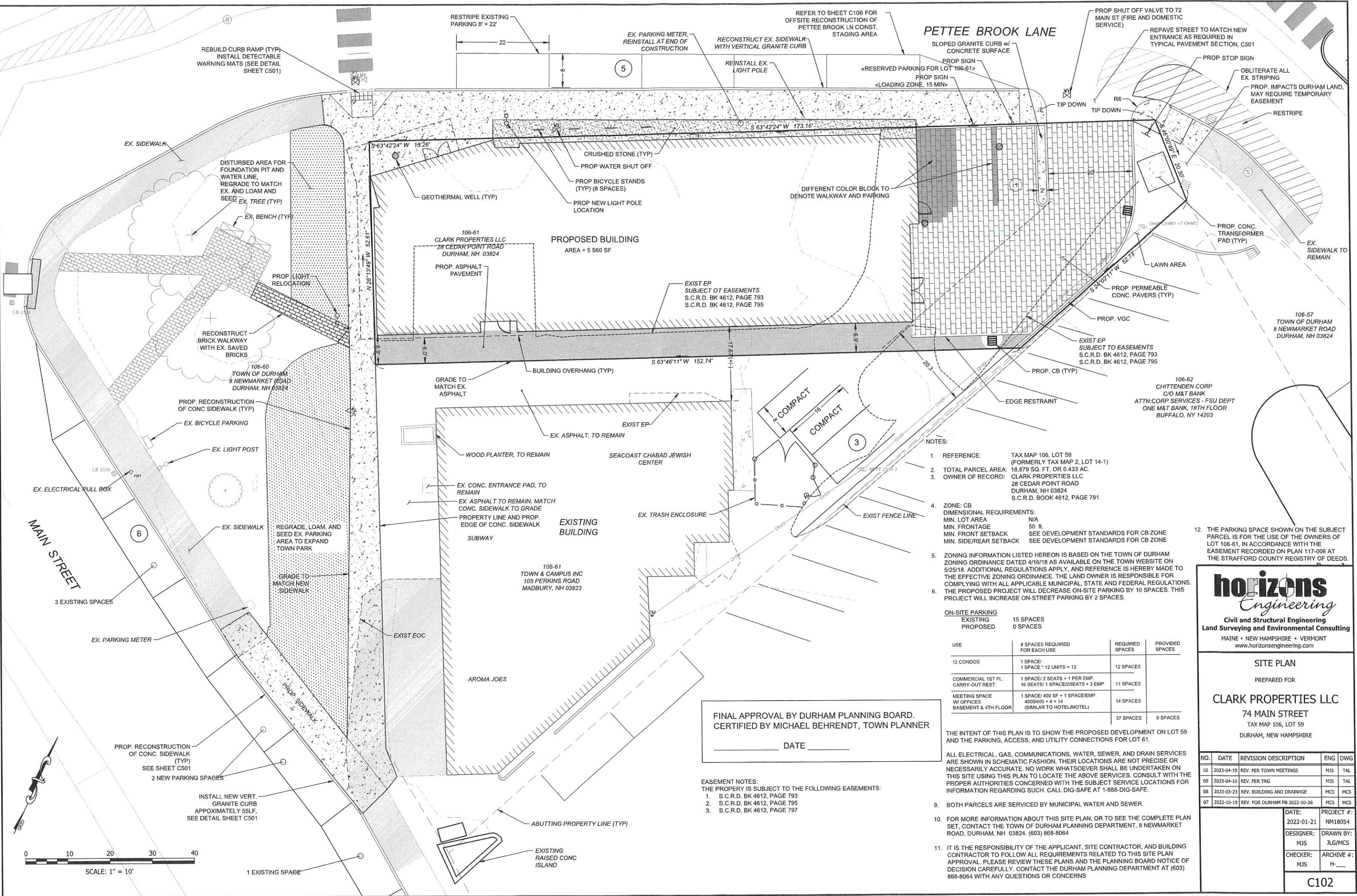
NEW HAMPSHIRE

DURHAM

LOCATION PLAN

NOT TO SCALE

2023-04-20T15:46:16 3:\proj\2021\NM18054-74 Main Street\Internal\Drawing\110a\NM18054_316_20.dwg



- NOTES:**
- REFERENCE: TAX MAP 106, LOT 59 (FORMERLY TAX MAP 2, LOT 14-1)
 - TOTAL PARCEL AREA: 18,879 SQ. FT. OR 0.433 AC.
 - OWNER OF RECORD: CLARK PROPERTIES LLC 28 CEDAR POINT ROAD DURHAM, NH 03824 S.C.R.D. BOOK 4612, PAGE 791
 - ZONE: CB DIMENSIONAL REQUIREMENTS:
 MIN. LOT AREA N/A
 MIN. FRONTAGE 50 FT.
 MIN. FRONT SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
 MIN. SIDE/REAR SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
 - ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE DATED 4/16/18 AS AVAILABLE ON THE TOWN WEBSITE ON 5/25/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS. THE PROPOSED PROJECT WILL DECREASE ON-SITE PARKING BY 10 SPACES. THIS PROJECT WILL INCREASE ON-STREET PARKING BY 2 SPACES.
 - THE PARKING SPACE SHOWN ON THE SUBJECT PARCEL IS FOR THE USE OF THE OWNERS OF LOT 106-61, IN ACCORDANCE WITH THE EASEMENT RECORDED ON PLAN 117-006 AT THE STRAFFORD COUNTY REGISTRY OF DEEDS.

USE	# SPACES REQUIRED FOR EACH USE	REQUIRED SPACES	PROVIDED SPACES
EXISTING		15 SPACES	
PROPOSED		0 SPACES	
12 CONDOS	1 SPACE/ 1 SPACE * 12 UNITS = 12	12 SPACES	
COMMERCIAL 1ST FL. CARRY-OUT REST.	1 SPACE/ 2 SEATS + 1 PER EMP. 16 SEATS/ 1 SPACE/2SEATS + 3 EMP	11 SPACES	
MEETING SPACE W/ OFFICES BASEMENT & 4TH FLOOR	1 SPACE/ 400 SF + 1 SPACE/EMP. 4000/400 + 4 = 14 (SIMILAR TO HOTEL/MOTEL)	14 SPACES	
		37 SPACES	0 SPACES

FINAL APPROVAL BY DURHAM PLANNING BOARD.
 CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER
 _____ DATE _____

- EASEMENT NOTES:**
 THE PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS:
- S.C.R.D. BK 4612, PAGE 793
 - S.C.R.D. BK 4612, PAGE 795
 - S.C.R.D. BK 4612, PAGE 797

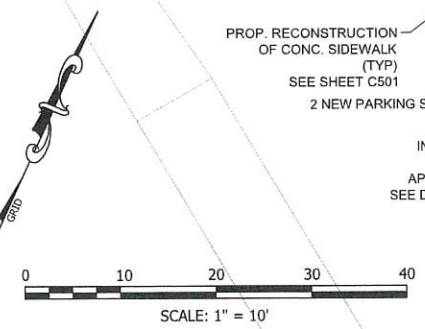
- BOTH PARCELS ARE SERVICED BY MUNICIPAL WATER AND SEWER.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM, NH 03824. (603) 868-8064
- IT IS THE RESPONSIBILITY OF THE APPLICANT, SITE CONTRACTOR, AND BUILDING CONTRACTOR TO FOLLOW ALL REQUIREMENTS RELATED TO THIS SITE PLAN APPROVAL. PLEASE REVIEW THESE PLANS AND THE PLANNING BOARD NOTICE OF DECISION CAREFULLY. CONTACT THE DURHAM PLANNING DEPARTMENT AT (603) 868-8064 WITH ANY QUESTIONS OR CONCERNS

horizons
Engineering
 Civil and Structural Engineering
 Land Surveying and Environmental Consulting
 MAINE • NEW HAMPSHIRE • VERMONT
 www.horizonsengineering.com

SITE PLAN
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 106, LOT 59
 DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

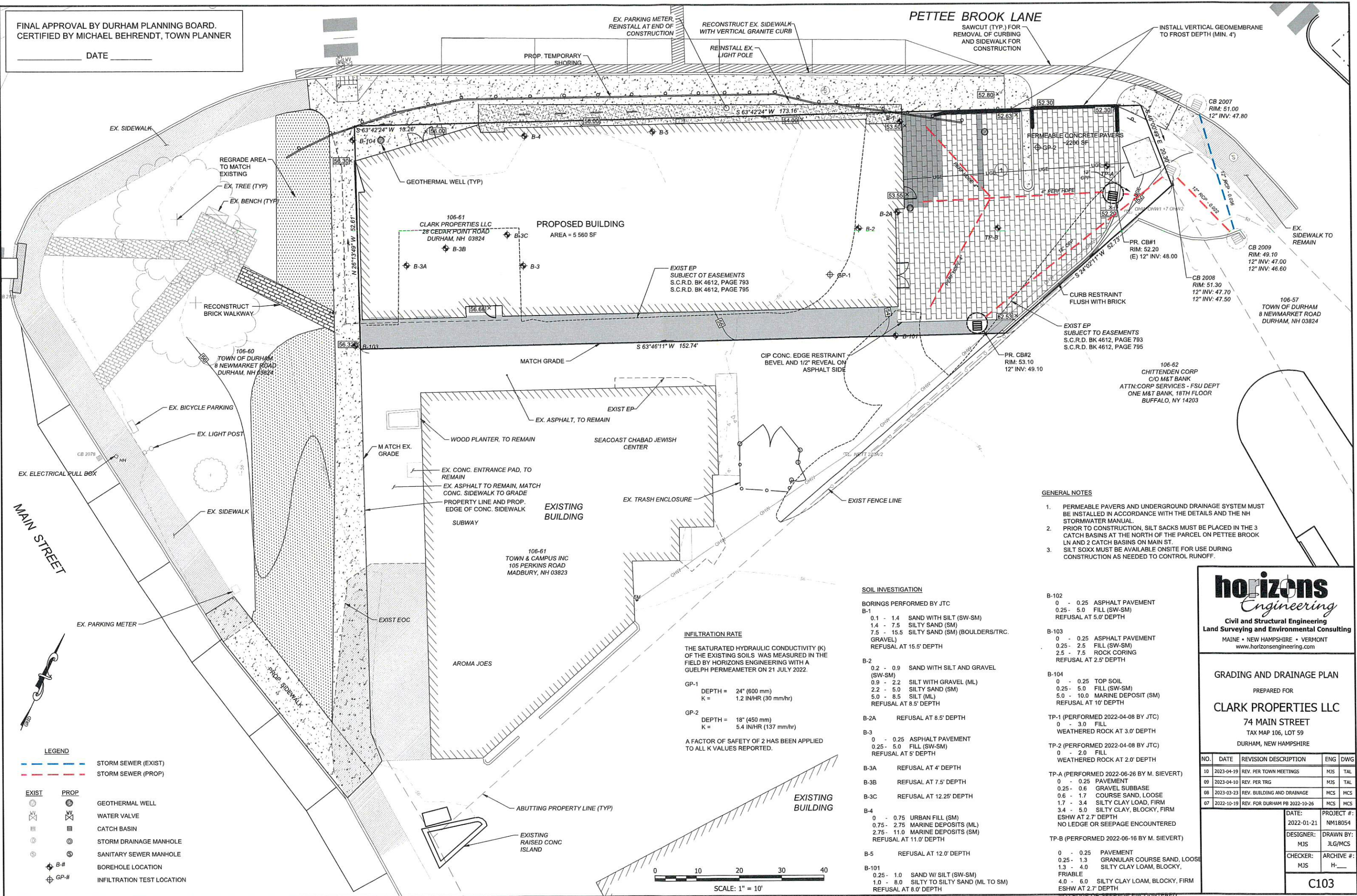
DATE:	PROJECT #:
2022-01-21	NM18054
DESIGNER:	DRAWN BY:
MJS	JLG/MCS
CHECKER:	ARCHIVE #:
MJS	H_



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

DATE _____

2023-04-20T15:46:23 C:\proj\2021\18018054-74 Main Street\external\drawing files\18018054_Site_20.dwg



- GENERAL NOTES**
- PERMEABLE PAVERS AND UNDERGROUND DRAINAGE SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND THE NH STORMWATER MANUAL.
 - PRIOR TO CONSTRUCTION, SILT SACKS MUST BE PLACED IN THE 3 CATCH BASINS AT THE NORTH OF THE PARCEL ON PETTEE BROOK LN AND 2 CATCH BASINS ON MAIN ST.
 - SILT SOXX MUST BE AVAILABLE ONSITE FOR USE DURING CONSTRUCTION AS NEEDED TO CONTROL RUNOFF.

SOIL INVESTIGATION

BORINGS PERFORMED BY JTC

B-1

0.1 - 1.4 SAND WITH SILT (SW-SM)
1.4 - 7.5 SILTY SAND (SM)
7.5 - 15.5 SILTY SAND (SM) (BOULDERS/TRC. GRAVEL)
REFUSAL AT 15.5' DEPTH

B-2

0.2 - 0.9 SAND WITH SILT AND GRAVEL (SW-SM)
0.9 - 2.2 SILT WITH GRAVEL (ML)
2.2 - 5.0 SILTY SAND (SM)
5.0 - 8.5 SILT (ML)
REFUSAL AT 8.5' DEPTH

B-2A REFUSAL AT 8.5' DEPTH

B-3

0 - 0.25 ASPHALT PAVEMENT
0.25 - 5.0 FILL (SW-SM)
REFUSAL AT 5' DEPTH

B-3A REFUSAL AT 4' DEPTH

B-3B REFUSAL AT 7.5' DEPTH

B-3C REFUSAL AT 12.25' DEPTH

B-4

0 - 0.75 URBAN FILL (SM)
0.75 - 2.75 MARINE DEPOSITS (ML)
2.75 - 11.0 MARINE DEPOSITS (SM)
REFUSAL AT 11.0' DEPTH

B-5 REFUSAL AT 12.0' DEPTH

B-101

0.25 - 1.0 SAND W/ SILT (SW-SM)
1.0 - 8.0 SILTY TO SILTY SAND (ML TO SM)
REFUSAL AT 8.0' DEPTH

INFILTRATION RATE

THE SATURATED HYDRAULIC CONDUCTIVITY (K) OF THE EXISTING SOILS WAS MEASURED IN THE FIELD BY HORIZONS ENGINEERING WITH A GUELPH PERMEAMETER ON 21 JULY 2022.

GP-1

DEPTH = 24" (600 mm)
K = 1.2 IN/HR (30 mm/hr)

GP-2

DEPTH = 18" (450 mm)
K = 5.4 IN/HR (137 mm/hr)

A FACTOR OF SAFETY OF 2 HAS BEEN APPLIED TO ALL K VALUES REPORTED.

B-102

0 - 0.25 ASPHALT PAVEMENT
0.25 - 5.0 FILL (SW-SM)
REFUSAL AT 5.0' DEPTH

B-103

0 - 0.25 ASPHALT PAVEMENT
0.25 - 2.5 FILL (SW-SM)
2.5 - 7.5 ROCK CORING
REFUSAL AT 2.5' DEPTH

B-104

0 - 0.25 TOP SOIL
0.25 - 5.0 FILL (SW-SM)
5.0 - 10.0 MARINE DEPOSIT (SM)
REFUSAL AT 10' DEPTH

TP-1 (PERFORMED 2022-04-08 BY JTC)

0 - 3.0 FILL
WEATHERED ROCK AT 3.0' DEPTH

TP-2 (PERFORMED 2022-04-08 BY JTC)

0 - 2.0 FILL
WEATHERED ROCK AT 2.0' DEPTH

TP-A (PERFORMED 2022-06-26 BY M. SIEVERT)

0 - 0.25 PAVEMENT
0.25 - 0.6 GRAVEL SUBBASE
0.6 - 1.7 COURSE SAND, LOOSE
1.7 - 3.4 SILTY CLAY LOAD, FIRM
3.4 - 5.0 SILTY CLAY, BLOCKY, FIRM
ESHW AT 2.7' DEPTH
NO LEDGE OR SEEPAGE ENCOUNTERED

TP-B (PERFORMED 2022-06-16 BY M. SIEVERT)

0 - 0.25 PAVEMENT
0.25 - 1.3 GRANULAR COURSE SAND, LOOSE
1.3 - 4.0 SILTY CLAY LOAM, BLOCKY, FRIABLE
4.0 - 6.0 SILTY CLAY LOAM, BLOCKY, FIRM
ESHW AT 2.7' DEPTH
NO LEDGE OR SEEPAGE ENCOUNTERED

horizons Engineering
Civil and Structural Engineering
Land Surveying and Environmental Consulting
MAINE • NEW HAMPSHIRE • VERMONT
www.horizonsengineering.com

GRADING AND DRAINAGE PLAN

PREPARED FOR

CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

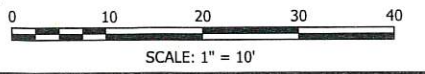
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

DATE:	PROJECT #:
2022-01-21	NM18054
DESIGNER:	DRAWN BY:
MJS	JLG/MCS
CHECKER:	ARCHIVE #:
MJS	H-

C103

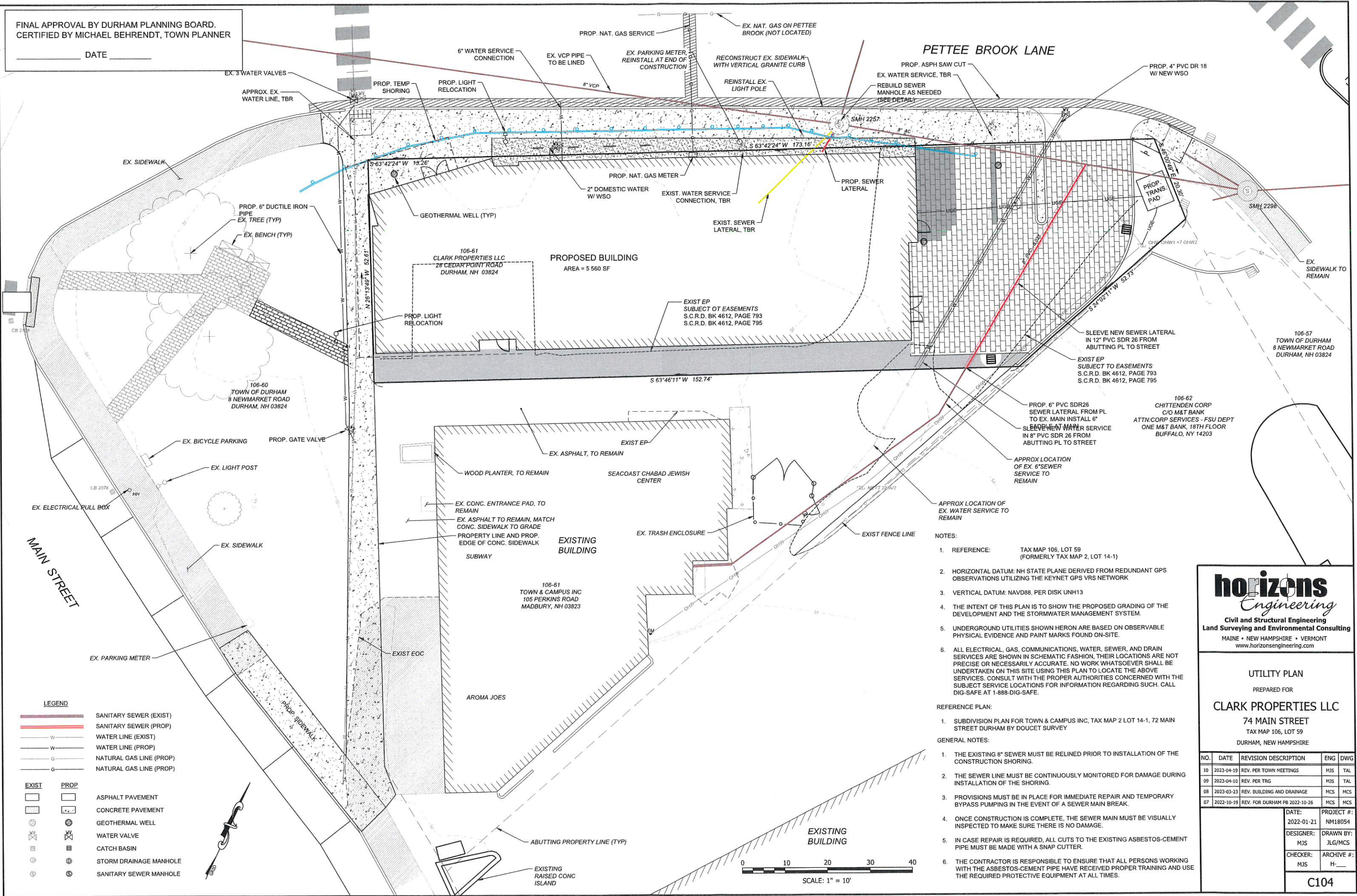
LEGEND

	STORM SEWER (EXIST)
	STORM SEWER (PROP)
	GEOTHERMAL WELL
	WATER VALVE
	CATCH BASIN
	STORM DRAINAGE MANHOLE
	SANITARY SEWER MANHOLE
	BOREHOLE LOCATION
	INFILTRATION TEST LOCATION



FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

DATE _____



NOTES:

- REFERENCE: TAX MAP 106, LOT 59 (FORMERLY TAX MAP 2, LOT 14-1)
- HORIZONTAL DATUM: NH STATE PLANE DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK
- VERTICAL DATUM: NAVD88, PER DISK UNH13
- THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED GRADING OF THE DEVELOPMENT AND THE STORMWATER MANAGEMENT SYSTEM.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- ALL ELECTRICAL, GAS, COMMUNICATIONS, WATER, SEWER, AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

REFERENCE PLAN:

- SUBDIVISION PLAN FOR TOWN & CAMPUS INC, TAX MAP 2 LOT 14-1, 72 MAIN STREET DURHAM BY DOUCET SURVEY

GENERAL NOTES:

- THE EXISTING 8" SEWER MUST BE RELINED PRIOR TO INSTALLATION OF THE CONSTRUCTION SHORING.
- THE SEWER LINE MUST BE CONTINUOUSLY MONITORED FOR DAMAGE DURING INSTALLATION OF THE SHORING.
- PROVISIONS MUST BE IN PLACE FOR IMMEDIATE REPAIR AND TEMPORARY BYPASS PUMPING IN THE EVENT OF A SEWER MAIN BREAK.
- ONCE CONSTRUCTION IS COMPLETE, THE SEWER MAIN MUST BE VISUALLY INSPECTED TO MAKE SURE THERE IS NO DAMAGE.
- IN CASE REPAIR IS REQUIRED, ALL CUTS TO THE EXISTING ASBESTOS-CEMENT PIPE MUST BE MADE WITH A SNAP CUTTER.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL PERSONS WORKING WITH THE ASBESTOS-CEMENT PIPE HAVE RECEIVED PROPER TRAINING AND USE THE REQUIRED PROTECTIVE EQUIPMENT AT ALL TIMES.

LEGEND

	SANITARY SEWER (EXIST)
	SANITARY SEWER (PROP)
	WATER LINE (EXIST)
	WATER LINE (PROP)
	NATURAL GAS LINE (PROP)
	NATURAL GAS LINE (PROP)

	EXIST		PROP
	ASPHALT PAVEMENT		CONCRETE PAVEMENT
	GEOTHERMAL WELL		WATER VALVE
	CATCH BASIN		STORM DRAINAGE MANHOLE
	SANITARY SEWER MANHOLE		

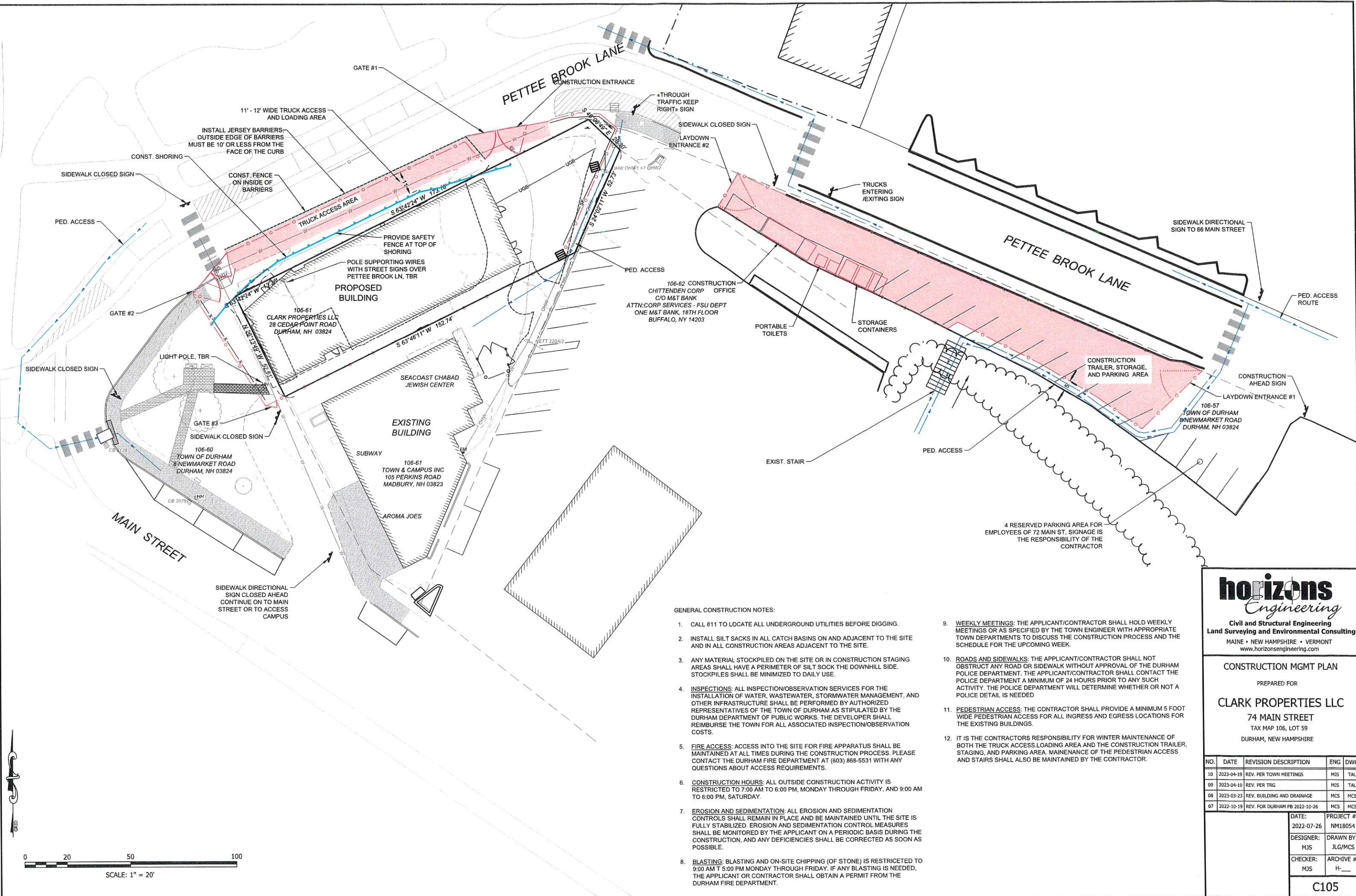
horizons Engineering
Civil and Structural Engineering
Land Surveying and Environmental Consulting
MAINE • NEW HAMPSHIRE • VERMONT
www.horizonsengineering.com

UTILITY PLAN
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

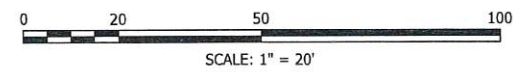
DATE: 2022-01-21 PROJECT #: NM18054
DESIGNER: MJS DRAWN BY: JLG/MCS
CHECKER: MJS ARCHIVE #: H_

2023-04-20T15:46:45 Z:\proj\2021\NM18054-74 Main Street\Internal\Drawing Files\NM18054_Site_20.dwg



GENERAL CONSTRUCTION NOTES:

1. CALL 811 TO LOCATE ALL UNDERGROUND UTILITIES BEFORE DIGGING.
2. INSTALL SILT SACKS IN ALL CATCH BASINS ON AND ADJACENT TO THE SITE AND IN ALL CONSTRUCTION AREAS ADJACENT TO THE SITE.
3. ANY MATERIAL STOCKPILED ON THE SITE OR IN CONSTRUCTION STAGING AREAS SHALL HAVE A PERIMETER OF SILT SOCK THE DOWNHILL SIDE. STOCKPILES SHALL BE MINIMIZED TO DAILY USE.
4. INSPECTIONS: ALL INSPECTION/OBSERVATION SERVICES FOR THE INSTALLATION OF WATER, WASTEWATER, STORMWATER MANAGEMENT, AND OTHER INFRASTRUCTURE SHALL BE PERFORMED BY AUTHORIZED REPRESENTATIVES OF THE TOWN OF DURHAM AS STIPULATED BY THE DURHAM DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REIMBURSE THE TOWN FOR ALL ASSOCIATED INSPECTION/OBSERVATION COSTS.
5. FIRE ACCESS: ACCESS INTO THE SITE FOR FIRE APPARATUS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. PLEASE CONTACT THE DURHAM FIRE DEPARTMENT AT (603) 868-5531 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
6. CONSTRUCTION HOURS: ALL OUTSIDE CONSTRUCTION ACTIVITY IS RESTRICTED TO 7:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY, AND 9:00 AM TO 6:00 PM, SATURDAY.
7. EROSION AND SEDIMENTATION: ALL EROSION AND SEDIMENTATION CONTROLS SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED BY THE APPLICANT ON A PERIODIC BASIS DURING THE CONSTRUCTION, AND ANY DEFICIENCIES SHALL BE CORRECTED AS SOON AS POSSIBLE.
8. BLASTING: BLASTING AND ON-SITE CHIPPING (OF STONE) IS RESTRICTED TO 9:00 AM T 5:00 PM MONDAY THROUGH FRIDAY. IF ANY BLASTING IS NEEDED, THE APPLICANT OR CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DURHAM FIRE DEPARTMENT.
9. WEEKLY MEETINGS: THE APPLICANT/CONTRACTOR SHALL HOLD WEEKLY MEETINGS OR AS SPECIFIED BY THE TOWN ENGINEER WITH APPROPRIATE TOWN DEPARTMENTS TO DISCUSS THE CONSTRUCTION PROCESS AND THE SCHEDULE FOR THE UPCOMING WEEK.
10. ROADS AND SIDEWALKS: THE APPLICANT/CONTRACTOR SHALL NOT OBSTRUCT ANY ROAD OR SIDEWALK WITHOUT APPROVAL OF THE DURHAM POLICE DEPARTMENT. THE APPLICANT/CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO ANY SUCH ACTIVITY. THE POLICE DEPARTMENT WILL DETERMINE WHETHER OR NOT A POLICE DETAIL IS NEEDED.
11. PEDESTRIAN ACCESS: THE CONTRACTOR SHALL PROVIDE A MINIMUM 5 FOOT WIDE PEDESTRIAN ACCESS FOR ALL INGRESS AND EGRESS LOCATIONS FOR THE EXISTING BUILDINGS.
12. IT IS THE CONTRACTORS RESPONSIBILITY FOR WINTER MAINTENANCE OF BOTH THE TRUCK ACCESS, LOADING AREA AND THE CONSTRUCTION TRAILER, STAGING, AND PARKING AREA. MAINTENANCE OF THE PEDESTRIAN ACCESS AND STAIRS SHALL ALSO BE MAINTAINED BY THE CONTRACTOR.



horizons
Engineering
Civil and Structural Engineering
Land Surveying and Environmental Consulting
MAINE • NEW HAMPSHIRE • VERMONT
www.horizonsengineering.com

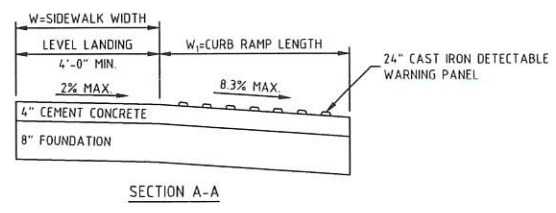
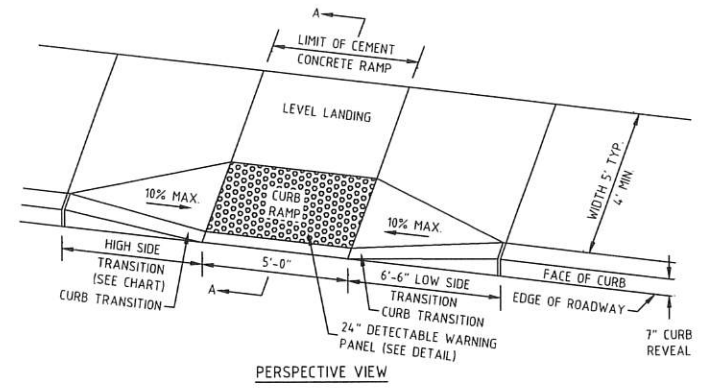
CONSTRUCTION MGMT PLAN
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

DATE:	PROJECT #:
2022-07-26	NM18054
DESIGNER:	DRAWN BY:
MJS	JLG/MCS
CHECKER:	ARCHIVE #:
MJS	H_

C105

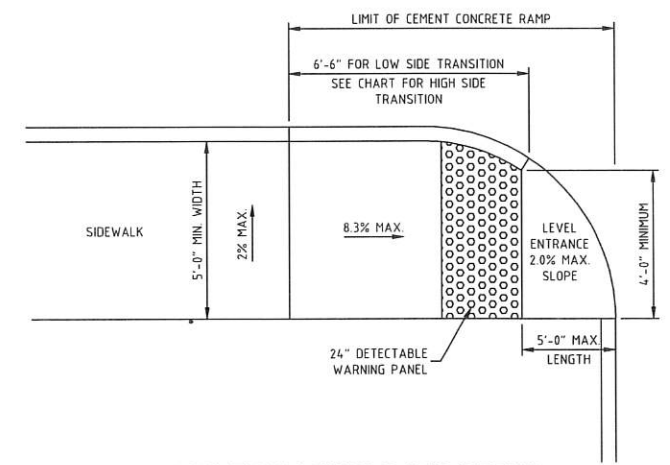
2023-04-20 15:45:12 2:\proj\2021\MM18054-74 Main Street\Internal\Drawing Files\MM18054_Detail_08.dwg



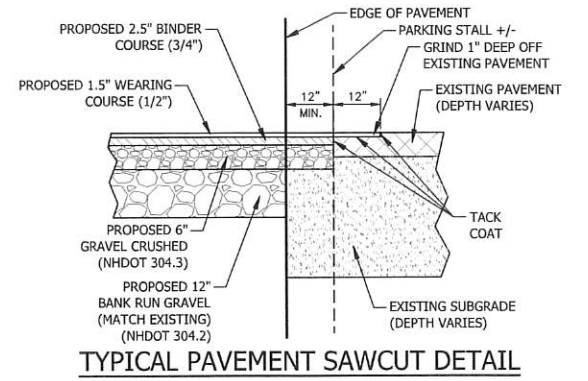
LEGEND:
 W = SIDEWALK WIDTH (MIN. 5' EXCLUDING CURB)
 W₁ = PERPENDICULAR RAMP LENGTH

NOTE:
 LEVEL LANDING SHALL BE 60" MIN. IN DIRECTION OF PEDESTRIAN CROSSING WHEN CONSTRAINED. RECOMMENDED 60"x60".

TYPICAL CURB RAMP DETAIL
NOT TO SCALE

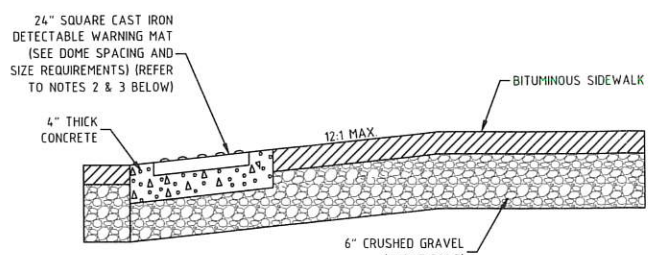
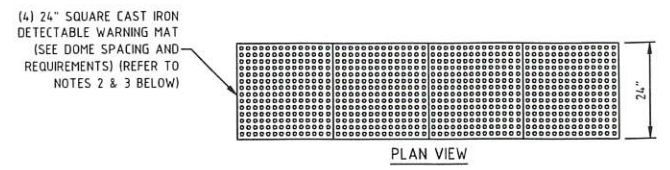
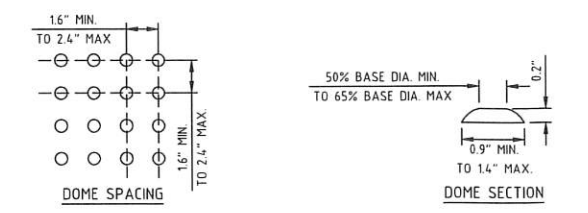


TYPICAL PAVEMENT SAWCUT DETAIL
NOT TO SCALE



PAVEMENT SAWCUT NOTES:

- SAWCUT THROUGH DEPTH OF PAVEMENT AT LEAST 1 FT. FROM EDGE OR GREATER IF REQUIRED BY NHDOT.
- INSTALL AND COMPACT CRUSHED GRAVEL TO GRADE.
- PLACE BINDER COURSE.
- GRIND EXISTING PAVEMENT 1 FT. WIDE TO A DEPTH NECESSARY TO PROPERLY MATCH NEW WEARING COURSE PAVEMENT.
- TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.
- CRACK SEAL ALL JOINTS TO TOWN SPECIFICATIONS.



NOTES:

- MAXIMUM CROSS SLOPE OF SIDEWALK TO BE 2%.
- CONCRETE TO BE 4,000 PSF.
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF DETECTABLE WARNING MATS.

TYPICAL ADA WARNING MAT DETAIL
NOT TO SCALE

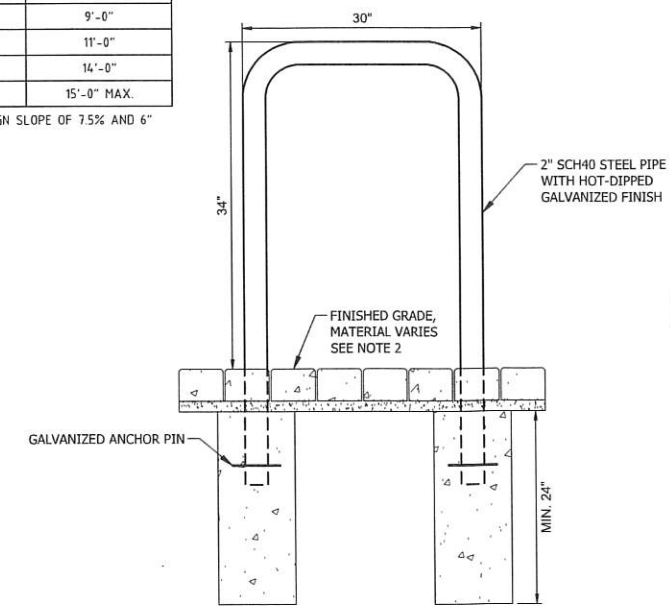
NOTES:

- ALL RAMPS TO BE CONSTRUCTED OF CEMENT CONCRETE.
- ALL RAMPS TO HAVE DETECTABLE WARNING PANELS CONFORMING TO TOWN DETAILS.
- FIELD LOCATION OF CURB RAMPS TO BE APPROVED BY TOWN ENGINEER PRIOR TO CONSTRUCTION.

TABLE OF TRANSITION LENGTHS

ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH
0	6'-6"
>0-1	7'-8"
+1-2	9'-0"
+2-3	11'-0"
+3-4	14'-0"
+4	15'-0" MAX.

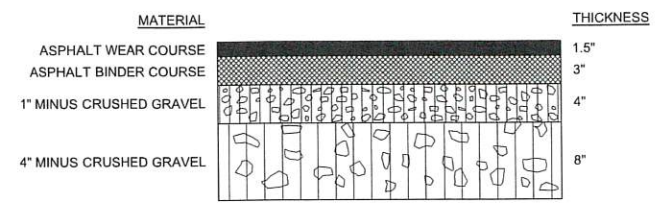
*BASED ON A DESIGN SLOPE OF 7.5% AND 6" OF CURB REVEAL.



NOTES:

- ALL BICYCLE STANDS MUST BE MADRAX UX238-IG-G OR UX238-SF-G, OR APPROVED EQUAL.
- ALL BICYCLE STANDS MUST BE IN-GROUND MOUNTED UNLESS THEY WILL BE MOUNTED TO AN EXISTING CONCRETE SLAB THAT MEETS MADRAX REQUIREMENTS FOR SURFACE MOUNTING.

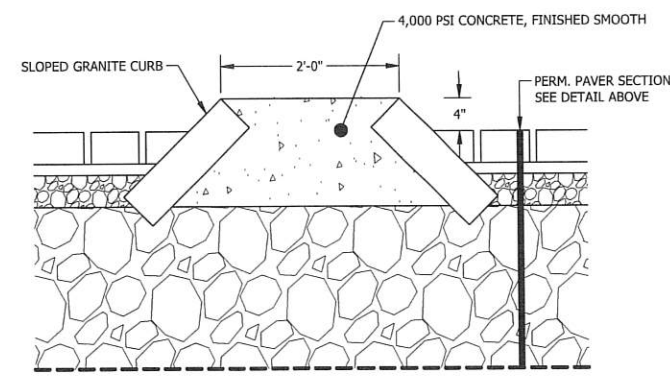
SHEFFIELD BICYCLE STAND DETAIL
NOT TO SCALE



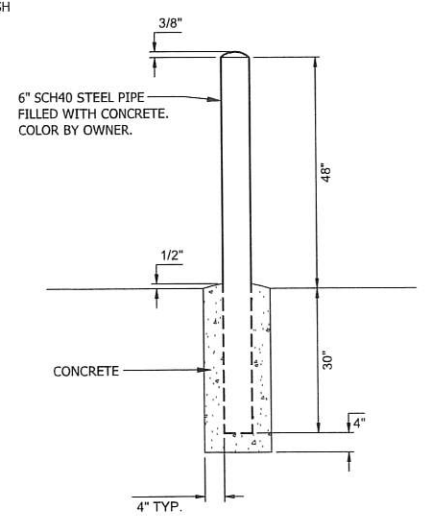
NOTES:

- MINIMUM PAVEMENT THICKNESS SHOWN IS FOR RESIDENTIAL STREETS, PROPOSED PAVEMENT DESIGNS FOR OTHER ROADWAYS TO BE APPROVED BY TOWN ENGINEER.
- RECLAIMED ASPHALT PAVEMENT MATERIAL MAY BE SUBSTITUTED FOR DENSE GRADED CRUSHED STONE AND GRAVEL SUB-BASE IF APPROVED BY TOWN ENGINEER. GRADATION SHALL MET AASHTO A-1-A AT A MINIMUM.

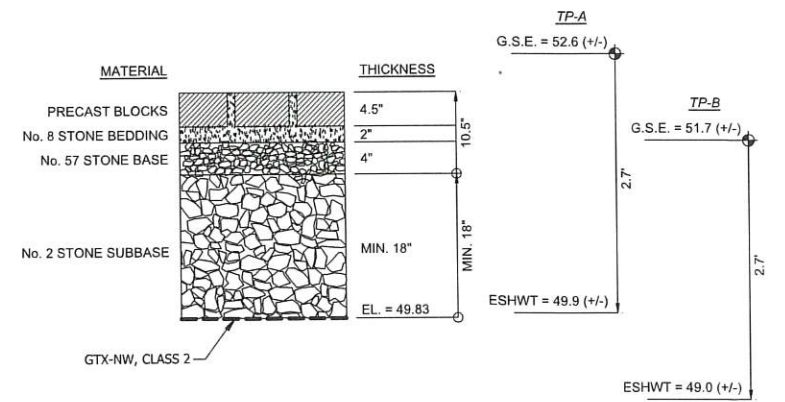
TYPICAL PAVEMENT SECTION
NOT TO SCALE



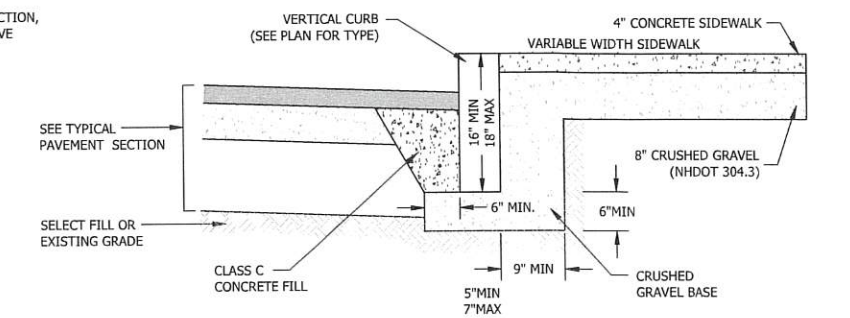
TYPICAL SLOPED GRANITE CURB DETAIL
NOT TO SCALE



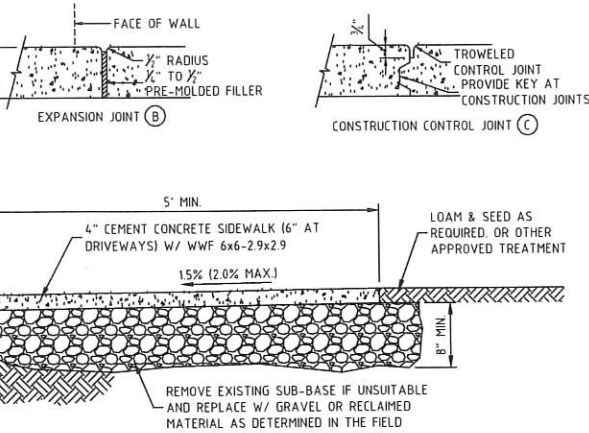
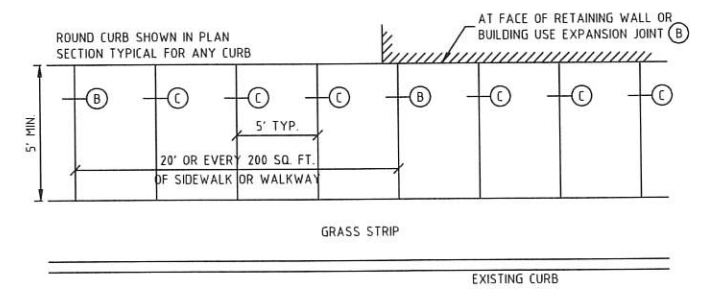
CONCRETE FILLED BOLLARD DETAIL
NOT TO SCALE



PERMEABLE PAVER CROSS-SECTION
NOT TO SCALE



TYPICAL VERTICAL CURB DETAIL
NOT TO SCALE



TYPICAL CONCRETE SIDEWALK DETAIL
NOT TO SCALE

horizons Engineering
 Civil and Structural Engineering
 Land Surveying and Environmental Consulting
 MAINE • NEW HAMPSHIRE • VERMONT
 www.horizonsengineering.com

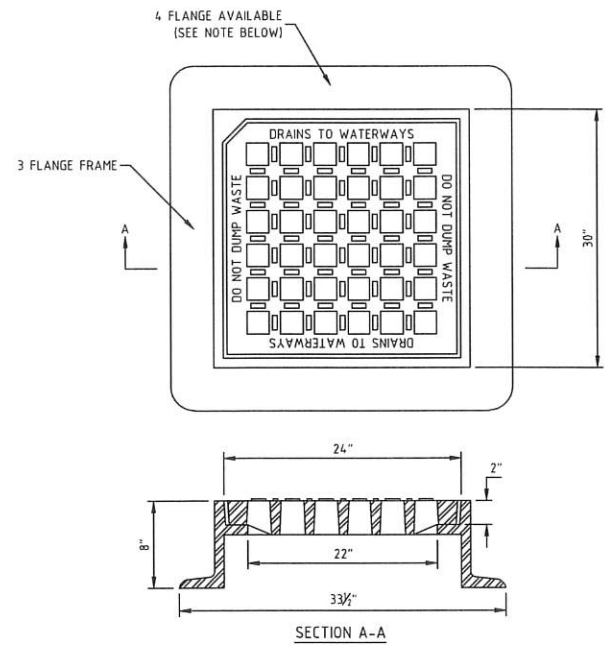
CONSTRUCTION DETAILS
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 106, LOT 59
 DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

DATE: 2021-07-19 PROJECT #: NM18054
 DESIGNER: MJS DRAWN BY: MCS
 CHECKER: MJS ARCHIVE #: H_

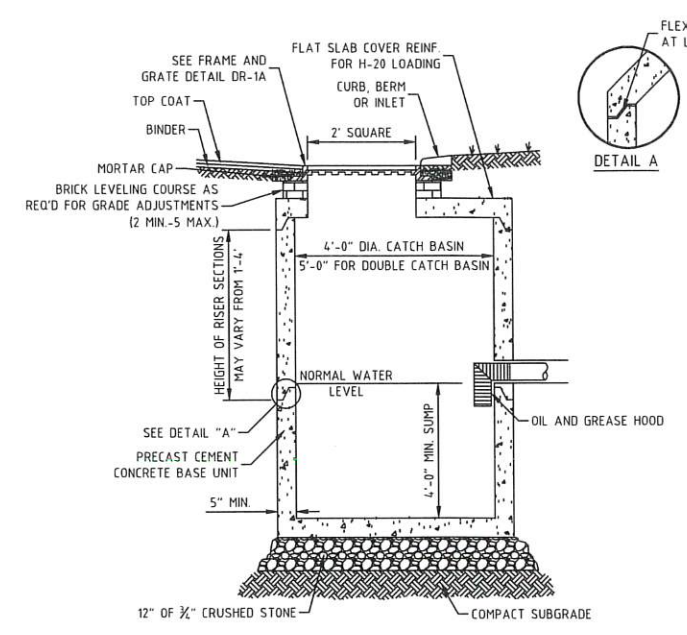
C501

2023-04-20 15:45:02 3:10:01 2021.NM18054-74 Main Street Internal Drawing Files.NM18054_Details_08.dwg



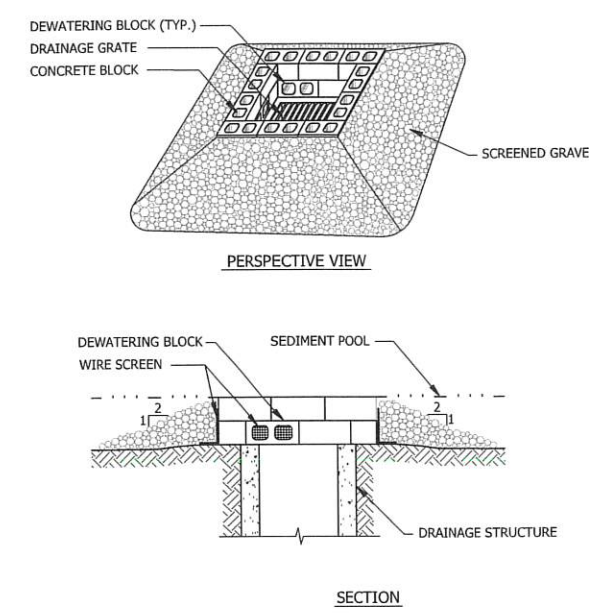
NOTE:
 1. 3 FLANGE FRAMES TO BE USED WHERE INLET IS ADJACENT TO CURB STONES, 4 FLANGE FRAME TO BE USED ELSEWHERE.
 2. "DO NOT DUMP WASTE, DRAINS TO WATERWAYS" SHALL BE FORGED INTO THE GRATE.

CATCH BASIN FRAME & GRATE
 NOT TO SCALE



NOTE:
 PRECAST REINFORCED CONCRETE CATCH BASIN TO BE CAPABLE OF SUPPORTING H-20 LOADING.

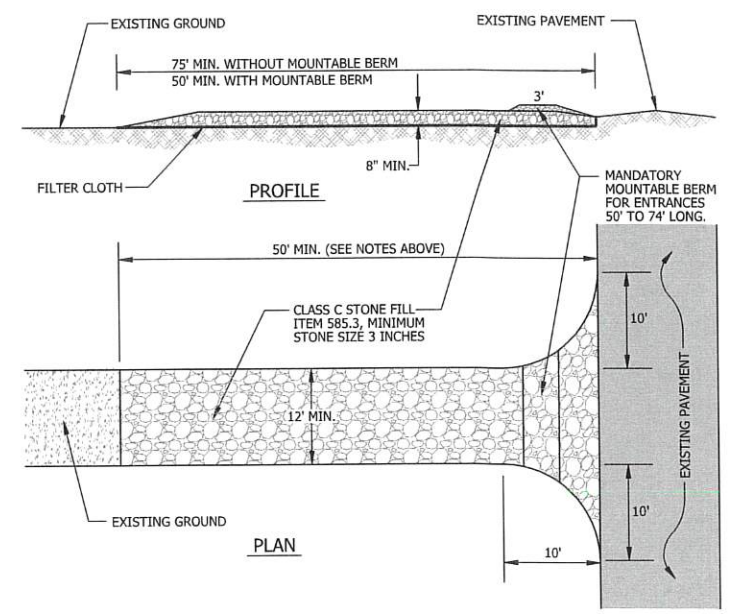
TYPICAL CATCH BASIN DETAIL
 NOT TO SCALE



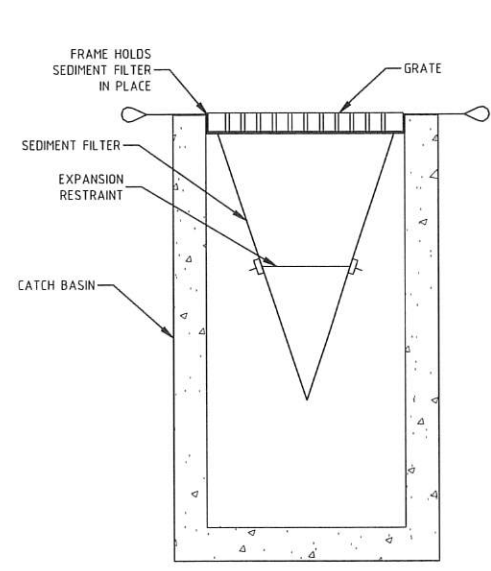
MATERIALS SPECIFICATIONS:
 1. CONCRETE BLOCKS: HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, 8" x 8" x 16" DIMENSION.
 2. WIRE SCREEN: HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS.
 3. SCREENED GRAVEL: UNIFORMLY GRADED 3/8" TO 1-1/2" DIA. STONE.

CONSTRUCTION SPECIFICATIONS:
 1. INSTALL BLOCK AND GRAVEL INLET PROTECTION WHERE INDICATED OR WARRANTED.
 2. EXCAVATE FOUNDATION 2" BELOW RIM OF STORM DRAIN.
 3. PLACE BOTTOM ROW OF BLOCKS AGAINST EDGE OF STORM DRAIN WITH ONE BLOCK ON EACH SIDE OF THE ROW BEING LAID ON ITS SIDE. PLACE TOP ROW OF BLOCKS.
 4. INSTALL WIRE SCREEN OVER ALL DEWATERING BLOCKS.
 5. PLACE SCREENED GRAVEL AROUND EXTERIOR OF BLOCK BARRIER TO 1" BELOW THE TOP OF THE BLOCKS.

CATCH BASIN INLET PROTECTION DETAIL
 NO SCALE

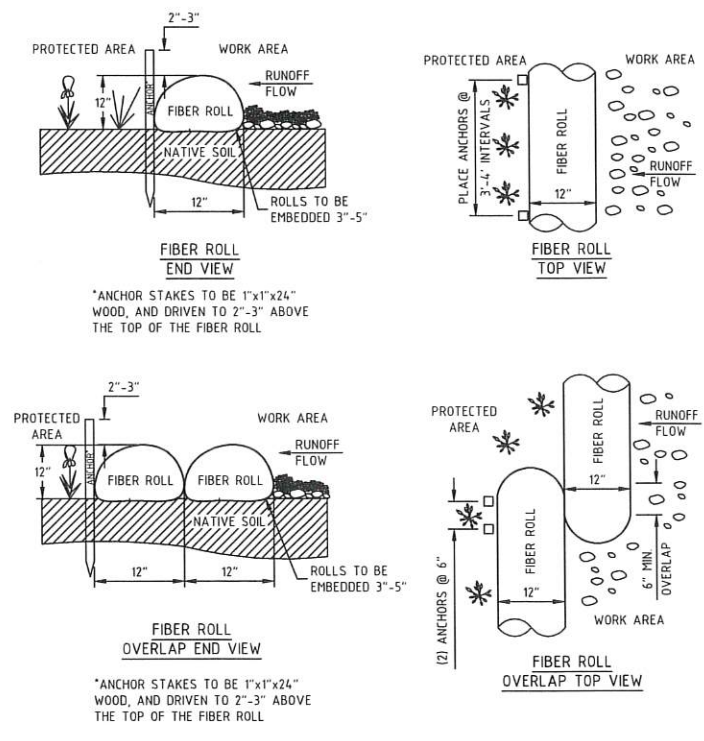


STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

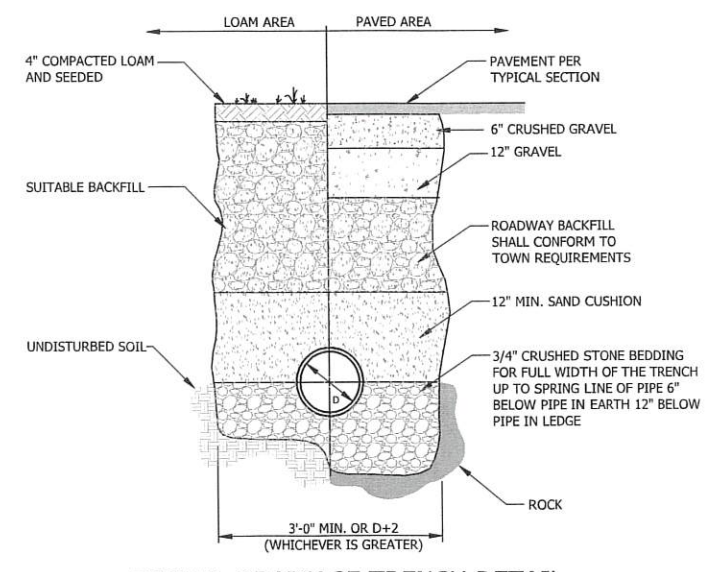


NOTES:
 1. SEDIMENT FILTER TRAP SHALL BE ACF REGULAR FLOW SILTSACK OR APPROVED EQUAL.
 2. FILTERS SHALL BE INSPECTED AFTER EVERY RAIN EVENT OF 0.25" OR GREATER AND SEDIMENTS SHALL BE REMOVED FROM TRAP WHEN SEDIMENT HAS REACHED TWO THIRDS OF THE DEPTH OF THE TRAP, OR IF PONDING OF WATER AT SURFACE BEGINS TO OCCUR. DO NOT PUNCTURE FILTER TRAP TO MITIGATE PONDING.

CATCH BASIN SILT SACK INSERT
 NOT TO SCALE



EROSION CONTROL FIBER ROLL DETAIL
 NOT TO SCALE



TYPICAL DRAINAGE TRENCH DETAIL
 NOT TO SCALE

**FOR REVIEW
 NOT FOR CONSTRUCTION**

DATE OF PRINT
 20 APRIL 2023
 HORIZONS ENGINEERING

horizons Engineering
 Civil and Structural Engineering
 Land Surveying and Environmental Consulting
 MAINE • NEW HAMPSHIRE • VERMONT
 www.horizonsengineering.com

CONSTRUCTION DETAILS
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 106, LOT 59
 DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

DATE: 2021-07-19
 PROJECT #: NM18054
 DESIGNER: MJS
 DRAWN BY: MCS
 CHECKER: MJS
 ARCHIVE #: H-___

SEWER NOTES

1. GENERAL

CONSTRUCTION OF ALL COMPONENTS OF THE SANITARY SEWER SYSTEM SHALL CONFORM TO THE MOST CURRENT VERSION OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES ENV-WQ 700 AND TECHNICAL SPECIFICATIONS ENTITLED "_____".

2. TYPES OF SEWERS

- A. THERE SHALL BE NO CONNECTION BETWEEN SANITARY SEWERS AND STORM SEWERS.
- B. RUNOFF FROM ROOFS, STREETS, AND OTHER AREAS AND GROUNDWATER FROM FOUNDATION DRAINS, SUMP PUMPS, OR OTHER SUBSURFACE DRAINS SHALL BE EXCLUDED FROM SANITARY SEWERS.

3. SEWER SIZE AND COVER

- A. MINIMUM PIPE SIZE FOR GRAVITY SEWER MAINS SHALL BE 8 INCHES.
- B. MINIMUM PIPE SIZE FOR GRAVITY SEWER SERVICES SHALL BE 4 INCHES.
- C. MINIMUM PIPE SIZE FOR FORCE MAIN SEWER SERVICES SHALL BE 2 INCHES.
- D. SANITARY SEWERS SHALL HAVE 6 FEET MINIMUM COVER IN ALL ROADWAY LOCATIONS AND 4 FEET MINIMUM COVER IN ALL CROSS-COUNTRY LOCATIONS.

4. PIPE AND FITTING MATERIALS:

A. DUCTILE IRON PIPE

DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION:

- (1) AWWA C151 FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL OR SAND LINED MOLDS, FOR WATER OR OTHER LIQUIDS;
- (2) AWWA C150 FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A 536 IRON CASTINGS; AND
- (3) JOINTS SHALL BE MECHANICAL TYPE, PUSH-ON TYPE, OR BALL-AND-SOCKET TYPE;

B. PVC (POLY VINYL CHLORIDE) PIPE

PVC PIPE AND FITTINGS SHALL BE APPROVED FOR SEWAGE SERVICE AND CONFORM TO THE FOLLOWING:

- (1) PVC PIPE USED FOR GRAVITY SEWERS SHALL BE TYPE SDR 35 CONFORMING TO ASTM D3034;
- (2) PVC PIPE USED FOR FORCE MAINS SHALL BE TYPE SDR 26 CONFORMING TO ASTM D2241 OR ASTM D1785;
- (3) JOINTS SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE HAVING OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3212.

5. BEDDING

PIPE BEDDING SHALL BE SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67. BEDDING SHALL EXTEND FROM THE SPRING LINE OF THE PIPE TO A MINIMUM DEPTH OF 6" BELOW THE BOTTOM OF THE PIPE OUTSIDE SURFACE.

100% PASSING	1 INCH SCREEN
90-100% PASSING	3/4 INCH SCREEN
20-55% PASSING	3/8 INCH SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE

6. MANHOLES

- A. PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C478.
- B. MANHOLES SHALL BE DESIGNED FOR H-20 LOADING.
- C. HORIZONTAL JOINTS BETWEEN BARREL SECTIONS SHALL BE OF AN OVERLAPPING TYPE WHICH SHALL DEPEND UPON A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT FOR WATER TIGHTNESS.
- D. PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
 - (1) ELASTOMERIC, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES;
 - (2) CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS;
 - (3) ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING; AND
 - (4) NON-SHRINK GROUTED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.

- E. MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.

7. PROTECTION OF WATER SUPPLIES

- A. THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
- B. NO SEWER SHALL BE LOCATED WITHIN THE WELL PROTECTIVE RADI established in ENV-W5 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL.
- C. SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.
- D. A DEVIATION FROM THE SEPARATION REQUIREMENTS OF (B) OR (C) ABOVE SHALL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06.
- E. WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - (1) VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND
 - (2) SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.

STANDARD TRENCH NOTES - SEWER

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE SHALL BE REPLACED WITH BEDDING MATERIAL. SEE ALSO NOTE 4.

2. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90-100% PASSING	3/4 INCH SCREEN
20-55% PASSING	3/8 INCH SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE

3. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #200 SIEVE.

4. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION, AFTER EXCLUDING DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.

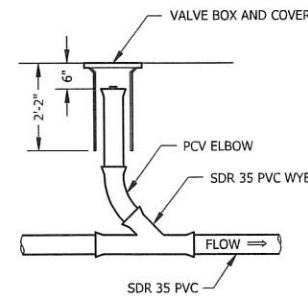
TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE, EXCEPT THAT TOP SOIL, LOAM, MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE MOUND TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.

5. BASE COURSE FOR TRENCH REPAIR SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

6. SHEETING: ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.

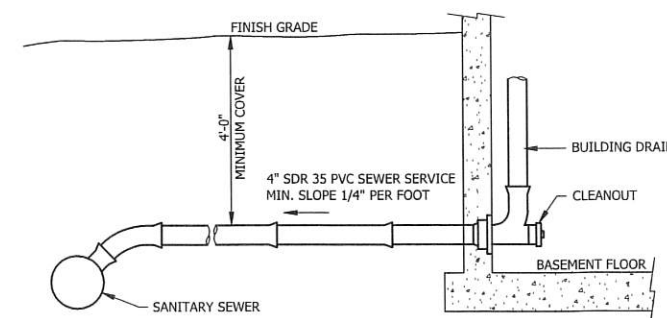
7. TRENCH DIMENSIONS: W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAVEMENT PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.

8. PIPE INSULATION AT STORM DRAIN CROSSING: INSTALL 2" THICK RIGID FOAM INSULATION OVER SEWER AT STORM DRAIN CROSSINGS, EXTEND INSULATION 4 FEET EITHER SIDE OF STORM DRAIN ALONG SEWER.



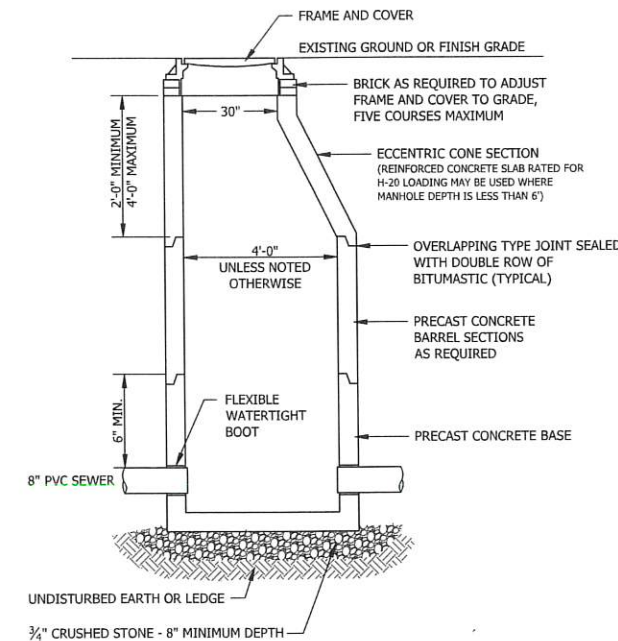
SEWER CLEANOUT DETAIL

NOT TO SCALE



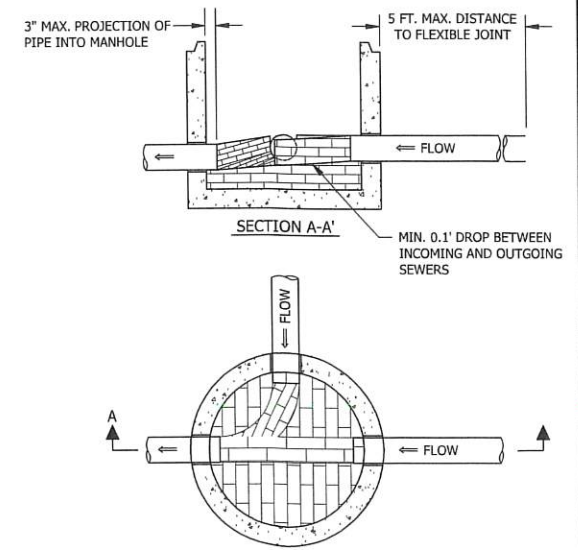
SEWER SERVICE DETAIL

NOT TO SCALE



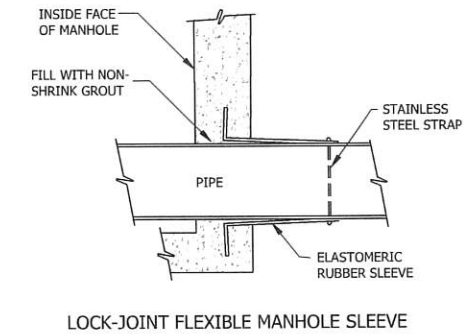
SANITARY SEWER MANHOLE DETAIL

NOT TO SCALE

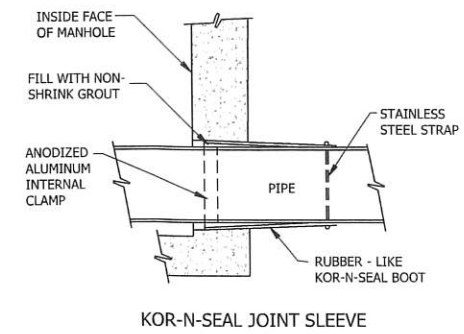


MANHOLE INVERT DETAILS

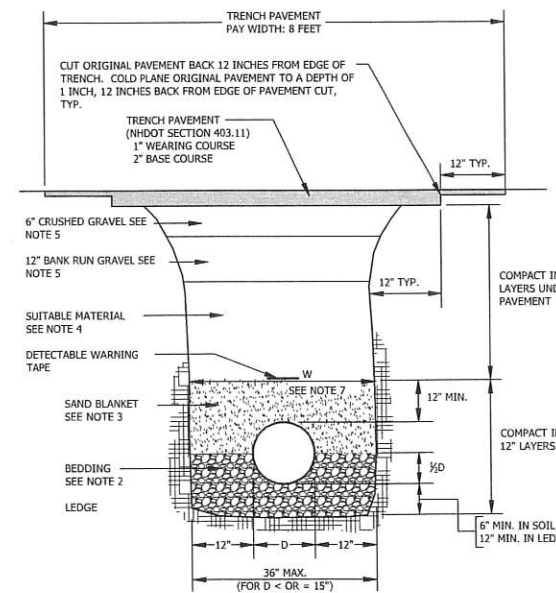
NOT TO SCALE



LOCK-JOINT FLEXIBLE MANHOLE SLEEVE



KOR-N-SEAL JOINT SLEEVE



NOTE: MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT LIMIT FOR LEDGE EXCAVATION = 1/2 D (12\"/>

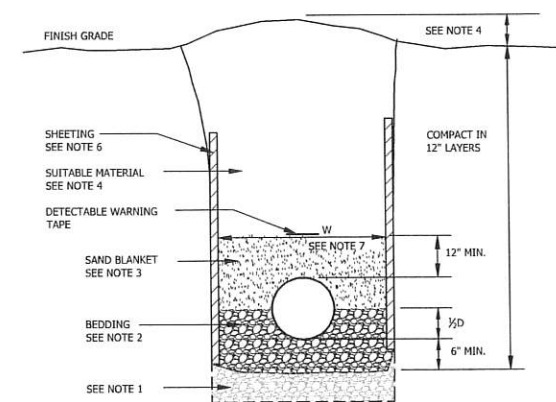
LEDGE/SUB PAVEMENT CONSTRUCTION

STANDARD TRENCH SECTIONS

NOT TO SCALE

PIPE-TO-MANHOLE CONNECTION DETAIL

NOT TO SCALE



EARTH CONSTRUCTION WITH OR WITHOUT SHEETING

DATE OF PRINT
20 APRIL 2023
HORIZONS ENGINEERING

© 2022
horizons
Engineering
All rights reserved

horizons
Engineering
Civil and Structural Engineering
Land Surveying and Environmental Consulting
MAINE • NEW HAMPSHIRE • VERMONT
www.horizonsengineering.com

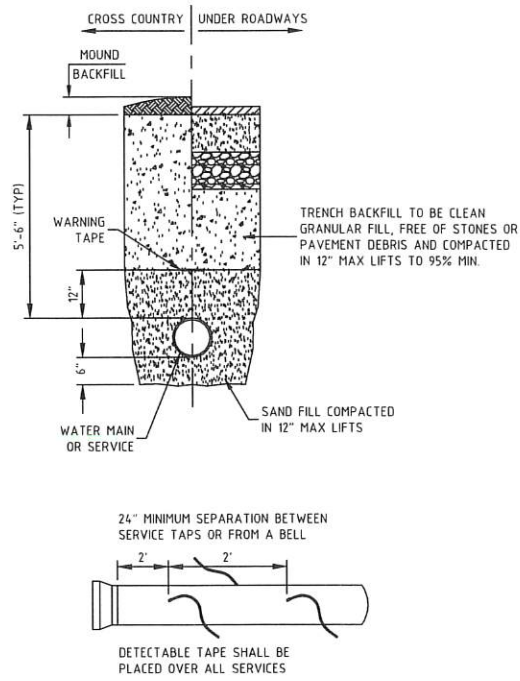
CONSTRUCTION DETAILS
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

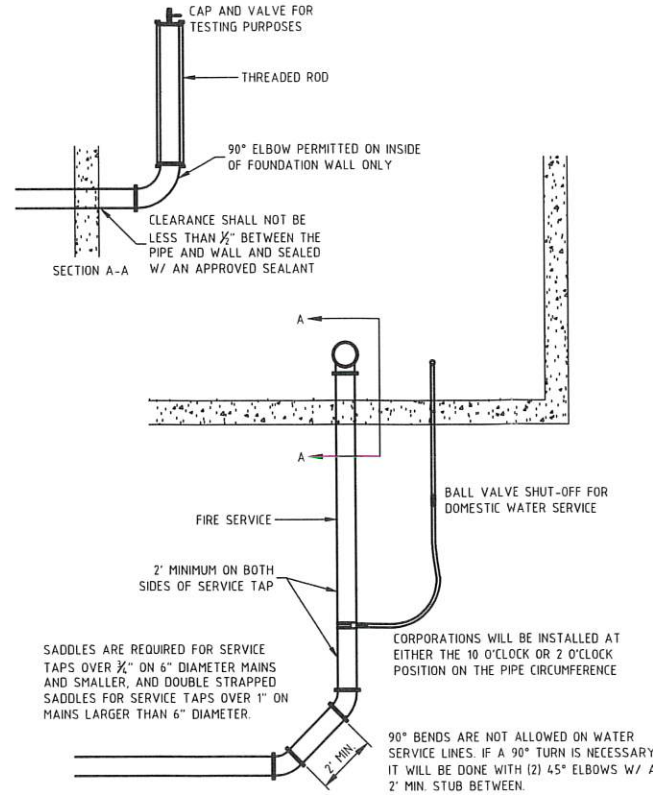
DATE: 2021-07-19	PROJECT #: NM18054
DESIGNER: MJS	DRAWN BY: MCS
CHECKER: MJS	ARCHIVE #: H-

C503

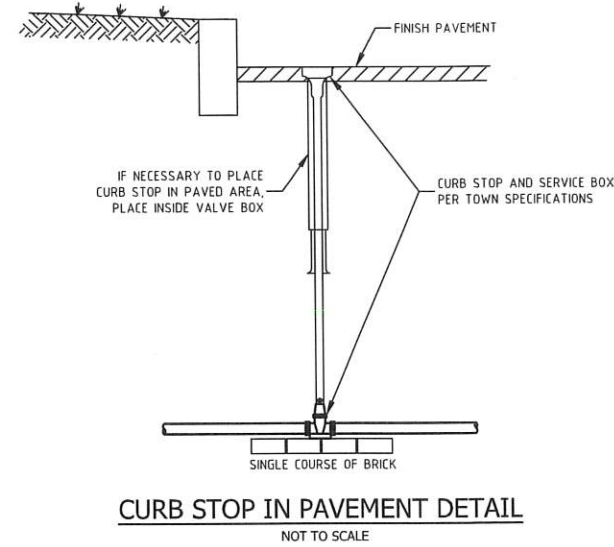
2023-04-20 15:45:40 Z:\proj\2021\NM18054-74 Main Street\Internal\Drawing files\NM18054_Details_08.dwg



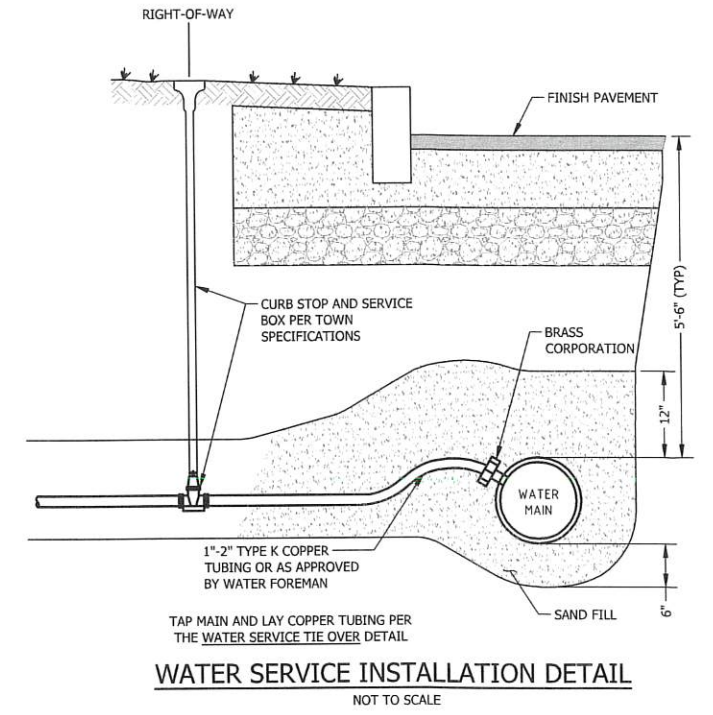
WATER MAIN TRENCH DETAIL
NOT TO SCALE



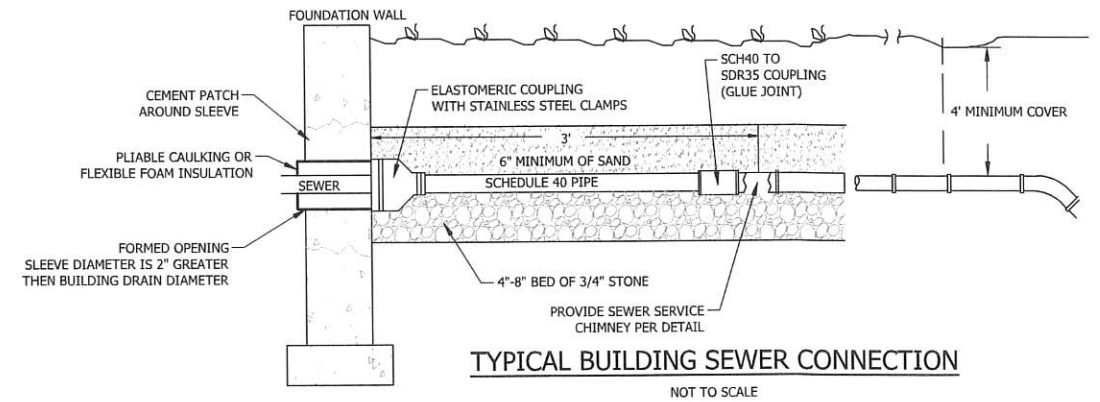
BUILDING FIRE AND DOMESTIC WATER SERVICE DETAIL
NOT TO SCALE



CURB STOP IN PAVEMENT DETAIL
NOT TO SCALE



WATER SERVICE INSTALLATION DETAIL
NOT TO SCALE



TYPICAL BUILDING SEWER CONNECTION
NOT TO SCALE

POTABLE WATER DISTRIBUTION SYSTEM NOTES

THE WATER DISTRIBUTION SYSTEM MUST COMPLY WITH THE US SAFE DRINKING WATER ACT, NHDES ADMINISTRATIVE RULES, AND ALL MUNICIPAL REGULATIONS.

1. PIPELINE DESIGN CRITERIA

DESIGN LIFE EXPECTANCY	100 YEAR
DESIGN LIVE LOADS	HS-20
DESIGN PRESSURE	200 PSI (1.4 MPa)
MAX. OPERATING TEMPERATURE	73 °F (23 °C)

2. REFERENCE SPECIFICATIONS

DUCTILE IRON (DI) PIPES	AWWA C151/A2151, AWWA C150/A2150
PIPE	AWWA C153/A2153
2"-16" FITTINGS	AWWA C111/A2111
GASKETS	

GATE VALVES AWWA C515

DRY-BARREL HYDRANTS AWWA C502

WATER MAIN DISINFECTION AWWA C651

ALL MATERIALS MUST BE NSF/ANSI 61 CERTIFIED AND BE INTENDED FOR USE WITH POTABLE WATER.

3. GENERAL NOTES

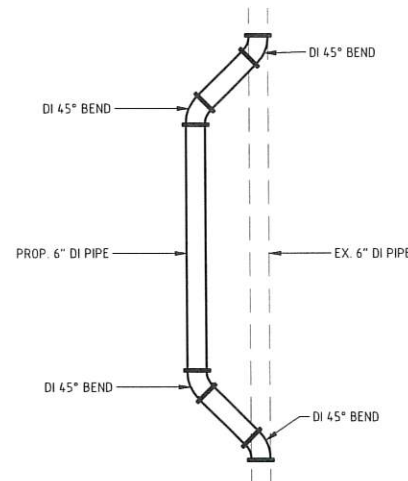
A. IF CONTAMINATED SOILS ARE FOUND DURING EXCAVATION, CONTACT DURHAM FIRE DEPT IMMEDIATELY. CONTACT ENGINEER OF RECORD TO DETERMINE REQUIRED NEXT STEPS BEFORE WORK CAN RESUME.

4. DISINFECTION

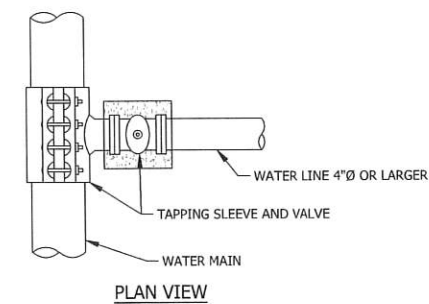
A. ALL PIPES THAT WILL BE DEPRESSURIZED OR NEWLY INSTALLED MUST BE DISINFECTED.
 B. CONTACT DURHAM DPW TO DETERMINE THE REQUIRED LAB TESTING. IF DURHAM DPW DOES NOT HAVE AN ACCEPTANCE CRITERIA, THE WATER MUST BE TESTED FOR FECAL - AND TOTAL COLIFORMS, AND HETEROTROPHS PER AWWA C651. THE SYSTEM CAN ONLY GO INTO SERVICE IF NO COLIFORMS ARE PRESENT AND THE HPC < 500 CFU/ml IN TWO SETS OF SAMPLES TAKEN AT LEAST 16 HOURS AFTER DISINFECTION AND 15 MINUTES APART.

6. PRESSURE TESTING

A. WATER SYSTEM MUST BE PRESSURE TESTED USING THE METHODS DESCRIBED IN AWWA C605.
 B. WATER DISTRIBUTION SYSTEM MUST BE TESTED WITH WATER TO THE GREATER OF MAOPx1.5 OR 150 PSI. DO NOT USE AIR TO PRESSURE TEST SYSTEM.



POTABLE WATER PIPE RELOCATION
NOT TO SCALE



WATER MAIN TAPPING SLEEVE CONNECTION
NOT TO SCALE

NOTES:
 1. USE JCM 459 MJ OUTLET OR EQUAL APPROVED BY ENGINEER OF RECORD.

horizons
Engineering
 Civil and Structural Engineering
 Land Surveying and Environmental Consulting
 MAINE • NEW HAMPSHIRE • VERMONT
 www.horizonsengineering.com

CONSTRUCTION DETAILS

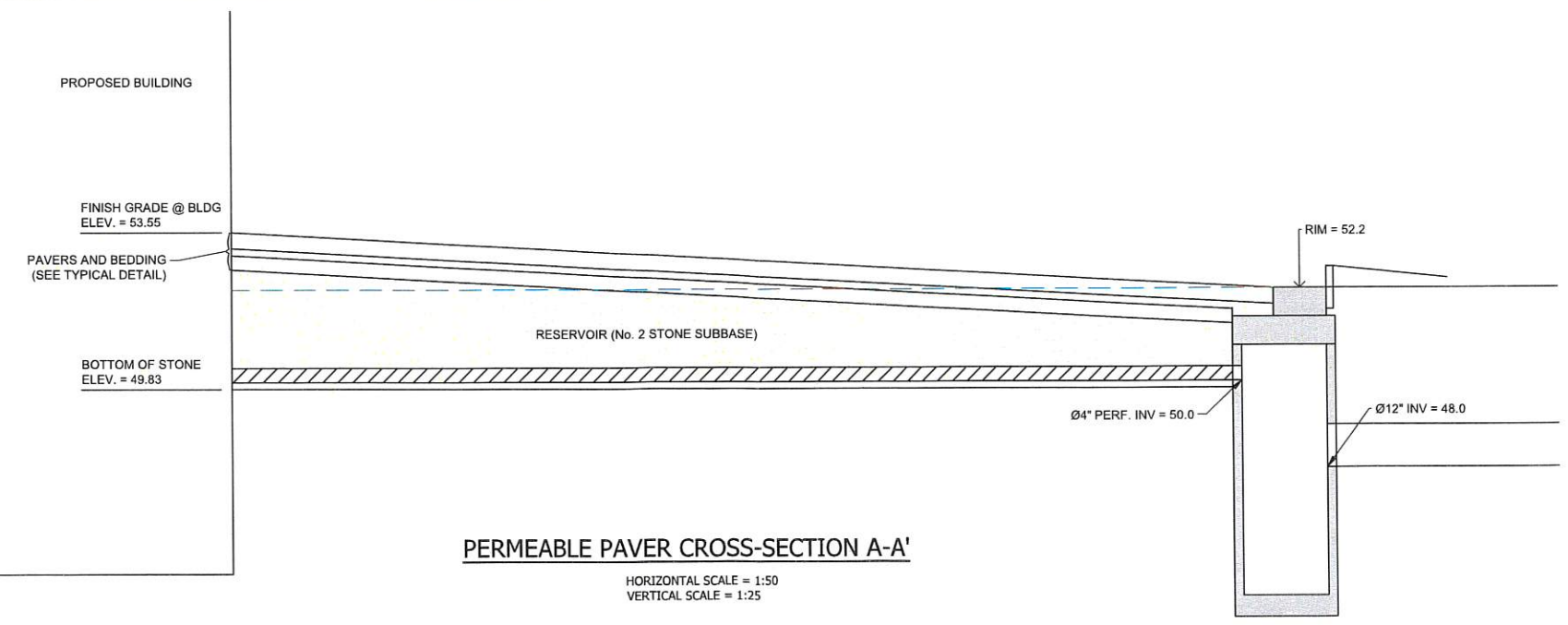
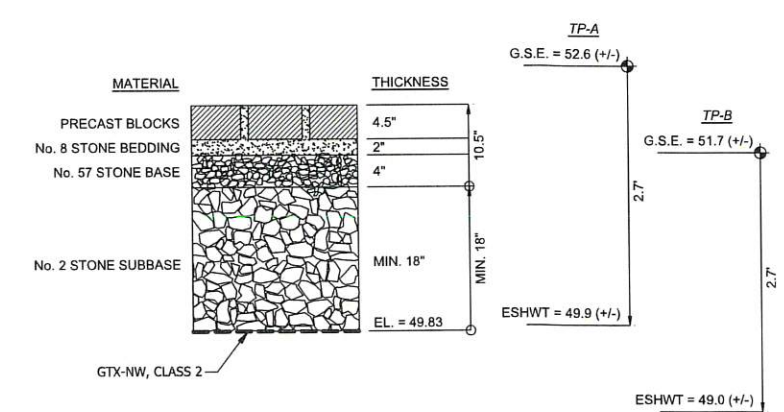
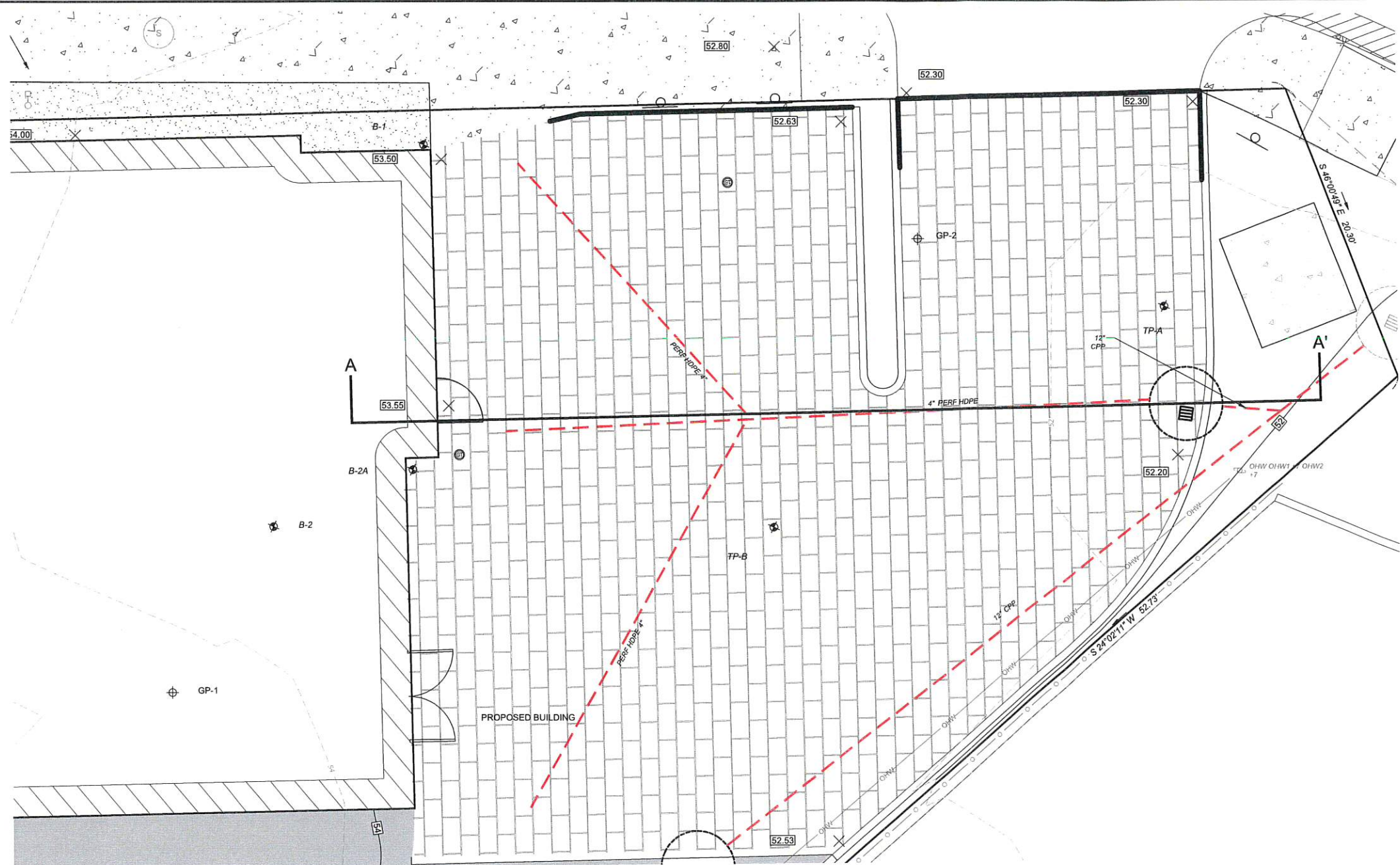
PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 106, LOT 59
 DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

DATE:	PROJECT #:
2021-07-19	NM18054
DESIGNER:	DRAWN BY:
MJS	MCS
CHECKER:	ARCHIVE #:
MJS	H_

C504

2023-04-18 13:51:16 C:\HEI\NM18054\DWG\NM18054_S1C19.dwg



horizons
Engineering
Civil and Structural Engineering
Land Surveying and Environmental Consulting
MAINE • NEW HAMPSHIRE • VERMONT
www.horizonsengineering.com

PERMEABLE PAVER DETAIL
 PREPARED FOR
CLARK PROPERTIES LLC
 74 MAIN STREET
 TAX MAP 106, LOT 59
 DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
00	2023-04-18	INITIAL SUBMISSION	MJS	MCS

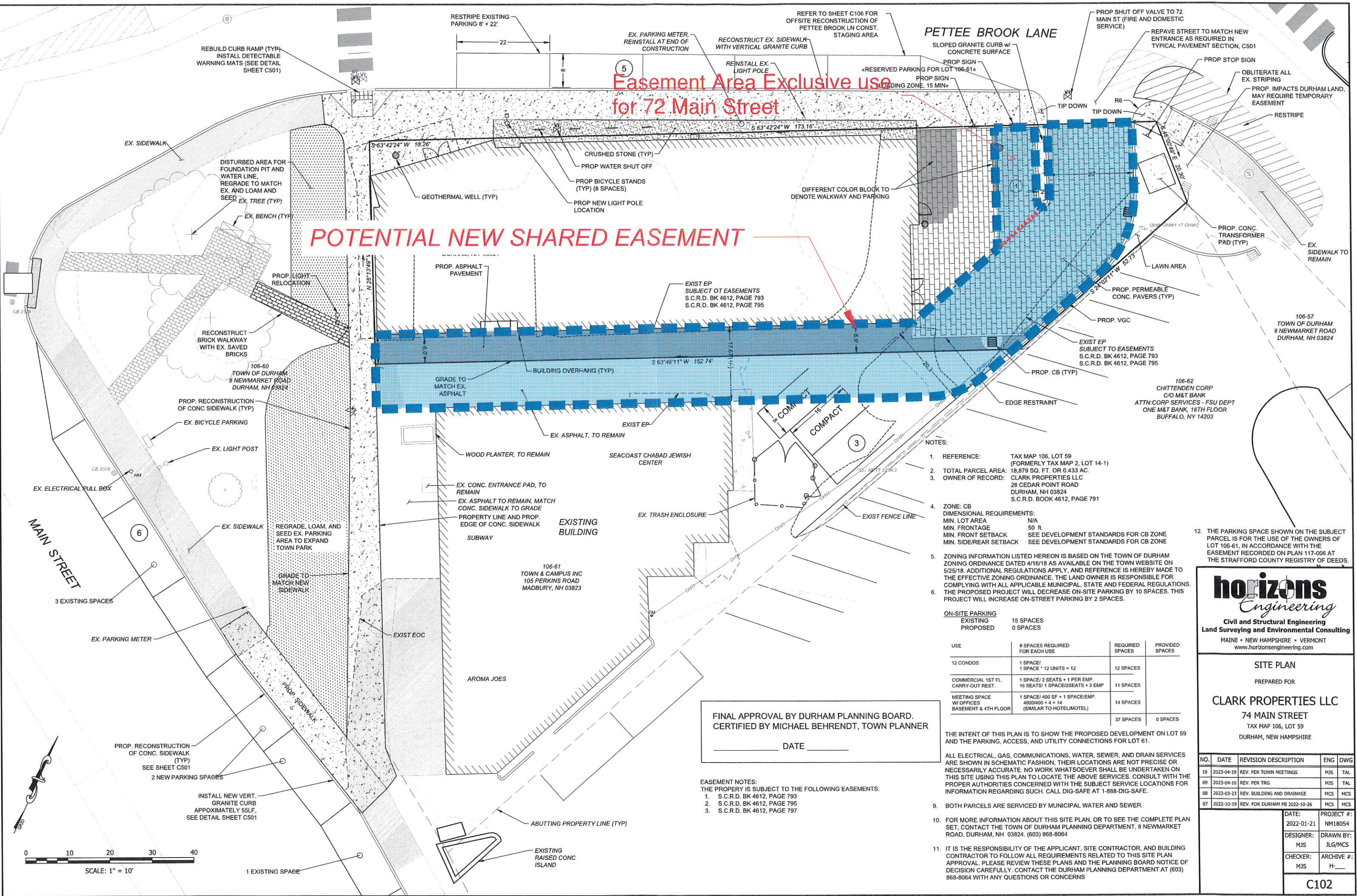
DATE:	PROJECT #:
2022-01-21	NM18054
DESIGNER:	DRAWN BY:
MJS	MCS
CHECKER:	ARCHIVE #:
MJS	H-___

C505

2023-04-20 16:03:34 2: \proj_2021\NM18054-74 Main Street\Internal\Drawing Files\NM18054_21ew_20.dwg

Easement Area Exclusive use for 72 Main Street

POTENTIAL NEW SHARED EASEMENT



- NOTES:**
- REFERENCE: TAX MAP 106, LOT 59 (FORMERLY TAX MAP 2, LOT 14-1)
 - TOTAL PARCEL AREA: 18,879 SQ. FT. OR 0.433 AC.
 - OWNER OF RECORD: CLARK PROPERTIES LLC 28 CEDAR POINT ROAD DURHAM, NH 03824 S.C.R.D. BOOK 4612, PAGE 791
 - ZONE: CB DIMENSIONAL REQUIREMENTS: MIN. LOT AREA N/A, MIN. FRONTAGE 50 ft., MIN. FRONT SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE, MIN. SIDE/REAR SETBACK SEE DEVELOPMENT STANDARDS FOR CB ZONE
 - ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF DURHAM ZONING ORDINANCE DATED 4/16/18 AS AVAILABLE ON THE TOWN WEBSITE ON 5/25/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS. THE PROPOSED PROJECT WILL DECREASE ON-SITE PARKING BY 10 SPACES. THIS PROJECT WILL INCREASE ON-STREET PARKING BY 2 SPACES.
 - THE PARKING SPACE SHOWN ON THE SUBJECT PARCEL IS FOR THE USE OF THE OWNERS OF LOT 106-61, IN ACCORDANCE WITH THE EASEMENT RECORDED ON PLAN 117-006 AT THE STRAFFORD COUNTY REGISTRY OF DEEDS.

ON-SITE PARKING	EXISTING	PROPOSED
	15 SPACES	0 SPACES

USE	# SPACES REQUIRED FOR EACH USE	REQUIRED SPACES	PROVIDED SPACES
12 CONDOS	1 SPACE/ 1 SPACE * 12 UNITS = 12	12 SPACES	
COMMERCIAL 1ST FL. CARRY-OUT REST.	1 SPACE/ 2 SEATS + 1 PER EMP 16 SEATS/ 1 SPACE/2SEATS + 3 EMP	11 SPACES	
MEETING SPACE W/ OFFICES BASEMENT & 4TH FLOOR	1 SPACE/ 400 SF + 1 SPACE/EMP 4000/400 + 4 = 14 (SIMILAR TO HOTEL/MOTEL)	14 SPACES	
		37 SPACES	0 SPACES

FINAL APPROVAL BY DURHAM PLANNING BOARD.
CERTIFIED BY MICHAEL BEHRENDT, TOWN PLANNER

_____ DATE _____

- EASEMENT NOTES:**
THE PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS:
- S.C.R.D. BK 4612, PAGE 793
 - S.C.R.D. BK 4612, PAGE 795
 - S.C.R.D. BK 4612, PAGE 797

- BOTH PARCELS ARE SERVICED BY MUNICIPAL WATER AND SEWER.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE TOWN OF DURHAM PLANNING DEPARTMENT, 8 NEWMARKET ROAD, DURHAM, NH 03824. (603) 868-8064
- IT IS THE RESPONSIBILITY OF THE APPLICANT, SITE CONTRACTOR, AND BUILDING CONTRACTOR TO FOLLOW ALL REQUIREMENTS RELATED TO THIS SITE PLAN APPROVAL. PLEASE REVIEW THESE PLANS AND THE PLANNING BOARD NOTICE OF DECISION CAREFULLY. CONTACT THE DURHAM PLANNING DEPARTMENT AT (603) 868-8064 WITH ANY QUESTIONS OR CONCERNS

horizons Engineering
Civil and Structural Engineering
Land Surveying and Environmental Consulting
MAINE • NEW HAMPSHIRE • VERMONT
www.horizonsengineering.com

SITE PLAN
PREPARED FOR
CLARK PROPERTIES LLC
74 MAIN STREET
TAX MAP 106, LOT 59
DURHAM, NEW HAMPSHIRE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
10	2023-04-19	REV. PER TOWN MEETINGS	MJS	TAL
09	2023-04-10	REV. PER TRG	MJS	TAL
08	2023-03-23	REV. BUILDING AND DRAINAGE	MCS	MCS
07	2022-10-19	REV. FOR DURHAM PB 2022-10-26	MCS	MCS

DATE: 2022-01-21 PROJECT #: NM18054
DESIGNER: MJS DRAWN BY: JLG/MCS
CHECKER: MJS ARCHIVE #: H-_____