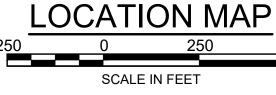
Proposed Restaurant at 3 Dover Road Site Plans **3 Dover Road** Durham, New Hampshire 03824 Tax Map 108, Lot 38

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_atest Issue November 1, 2024 December 23, 2024 February 18, 2025





SIGNATURE

PLANNING BOARD APPROVAL BLOCK

DATE



DESIGNED BY	MWP
DRAWN BY	PJG
CHECKED BY	CPR
DATE	2/19/2025
SCALE	AS NOTED

OWNER/APPLICANT

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

ISSUED FOR

Permitting

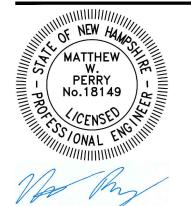
PROJECT TITLE

Proposed Restaurant at 3 Dover Road

PROJECT LOCATION

3 Dover Road Durham, NH 03824

DRAWING TITLE Title & **General Notes**



PROJECT NO. T1573 TEC CAD FILE T1573_COV DRAWING NO. C-1

SHEET 1 OF 11

GENERAL NOTES

- 1. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER &
- SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO
- ADJACENT PROPERTIES OR THE RIGHT OF WAY. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAINLINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION
- ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS. 4. HANDICAP ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT/ARCHITECTURAL ACCESS BOARD (ADA/AAB), AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 5. WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALK, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION, LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED).
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE
- ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. 12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT
- ADVERSE IMPACTS TO OFF-SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO THE OWNER. 13. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY
- TEC, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- 14. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
- 15. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND TEC THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.

GENERAL DRAINAGE & UTILITY NOTES

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES.
- 2. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION. THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS, AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES, AND JOINTS.
- 5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- 6. UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED.
- 7. INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY, DPW, AND STATE STANDARDS.
- 8. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL OF RECORD AND TEC ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS. 9. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY
- UPON PRIOR APPROVAL OF THE OWNER. 10. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.
- 11. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

- 16. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND
- OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- 18. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND TEC, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING THE PROFESSIONAL OF RECORD AND TEC WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND TEC, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- 19. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS,
- UNLESS NOTED CLEARLY OTHERWISE. 20. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- 21. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN. 22. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE
- PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. 23. THE CONTRACTOR MUST REPAIR, AT THE CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO
- ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH THE SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- 12. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTFNANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL. INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT
- 13. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED. 14. INSULATE SANITARY PIP.ES WHERE INVERT DEPTH IS LESS THAN FIVE (5) FEET BELOW
- FINISHED GRADE. 15. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO
- 16. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS INDICATED ON THE PLANS OTHERWISE.
- 17. ALL WATER AND SEWER UTILITY WORK SHALL CONFORM TO LOCAL DPW, WATER DIVISION SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET OF MINIMUM COVER. GAS. ELECTRIC. AND TELEPHONE LOCATIONS AND ROUTING ARE SUBJECT TO
- REVIEW AND APPROVAL BY THE APPROPRIATE UTILITY COMPANIES. 18. UNLESS INDICATED OTHERWISE, ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC., MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER
- INSTALLATION SPECIFICATIONS AND STANDARDS. 19. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL
- ARCHITECTURAL PLANS 20. FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY THE FIRE DEPARTMENT OR BUILDING INSPECTOR.
- 21. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL BY THE LOCAL APPROVING
- AUTHORITY. 22. EXCAVATION REQUIRED IN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE
- OWNER. 23. THE CONTRACTOR SHALL SCHEDULE THEIR WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING.
- 24. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE
- APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION. 25. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL GAS PROVIDER.

ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE

ORIGINAL CONDITION (AT NO ADDITIONAL COST TO THE OWNER) BY THE CONTRACTOR

24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN TEC'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. TEC WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND TEC HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. TEC WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS ANY DOCUMENT DOCUMENTING TEC'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT TEC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. TEC IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO TEC'S ATTENTION. TEC IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND TEC FOR ALL DEVIATIONS WITHIN THE PROFESSIONAL OF RECORD'S AND TEC SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND TEC PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.

26. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY

- 27. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- 28. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.
- 29. FOR ANY SITE WHERE DEVELOPMENT ACTIVITY WOULD OCCUR WITHIN 300 FEET OF ANY RESIDENTIAL DWELLING UNIT, OUTSIDE CONSTRUCTION IS RESTRICTED TO THE FOLLOWING HOURS:
- BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH FRIDAY, AND • BETWEEN 8:00 A.M. TO 6:00 P.M., SATURDAY.
- 30. FOR BLASTING, CHIPPING OF STONE, AND USE OF HOE OR ROCK HAMMERS, HOURS ARE RESTRICTED TO 9:00 A.M. TO 4:00 P.M. MONDAY THROUGH FRIDAY.

UTILITIES

AC

CB

CA

CIF

CIT

CL

CO

DC

DIF

F&

F&

FE

VC

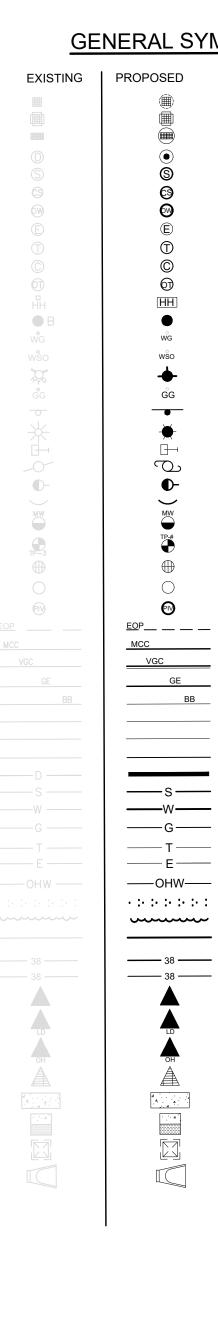
ABBREVIATIONS

<u>GENERAL</u>	
ABAN	ABANDON
AC	ACRES
ADJ	ADJUST
APPROX	APPROXIMATE
BCB	BITUMINOUS CONCRETE BERM
BIT	BITUMINOUS
BLDG	BUILDING
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BS	BOTTOM OF STAIRS
BR	BOTTOM OF RAMP
CC	CONCRETE CURB
CCB	CEMENT CONCRETE BERM
CEM	CEMENT
CI	CURB INLET
CLF	CHAIN LINK FENCE
CIT	CHANGE IN TYPE
CONC	CONCRETE
CW	CROSSWALK
DIA	DIAMETER
	ELEVATION
ELEV	
EOP	EDGE OF PAVEMENT
EX	EXISTING
FFE	FIRST FLOOR ELEVATION
FND	FOUNDATION
FDC	FIRE DEPT. CONNECTION
GC	GRANITE CURB
GE	GRANITE EDGING
HMA	HOT MIX ASPHALT
LA	LANDSCAPE AREA
LF	LINEAR FEET
MAX	MAXIMUM
MCC	MONOLITHIC CONCRETE CURB
MGC	MOUNTABLE GRANITE CURB
	MINIMUM
MIN	
NTS	NOT TO SCALE
PCC	PRECAST CONRETE CURB
PROP	PROPOSED
PVMT	PAVEMENT
R	RADIUS
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SLOPE
SF	SQUARE FEET
SW	SIDEWALK
SWL	SOLID WHITE LINE
SGC	SLOPED GRANITE CURB
TOS	TOP OF SLOPE
TS	TOP OF STAIRS
TR	TOP OF RAMP
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VGC	VERTICAL GRANITE CURB
WCR	WHEELCHAIR RAMP

CMP	ASPHALT COATED CORRUGATED METAL PIPE
)	AREA DRAIN
)	BOTTOM OF CHANNEL
3	CATCH BASIN
۱P	CORRUGATED ALUMINUM PIPE
Р	CAST IRON PIPE
Т	CHANGE IN TYPE
DI	CEMENT LINED DUCTILE IRON
DND	CONDUIT
В	DOUBLE CATCH BASIN
Р	DUCTILE IRON PIPE
ЛН	DRAINAGE MANHOLE
C	ELECTRIC, TELEPHONE, & CABLE
G	FRAME AND GRATE
	FRAME AND COVER
S	FLARED END SECTION
/	GAS VALVE
DPE	HIGH DENSITY POLYETHYLENE PIPE
/D	HYDRANT
V	INVERT ELEVATION
HW	OVERHEAD WIRE
/C	POLYVINYL CHLORIDE PIPE
	PAVED WATER WAY
CP	REINFORCED CONCRETE PIPE (CLASS III)
M	RIM ELEVATION
ЛΗ	SEWER MANHOLE
)	TRENCH DRAIN
MR	TRANSFORMER
SV	TAPPING SLEEVE AND VALVE
2	UTILITY POLE
CP	VITRIFIED CLAY PIPE

ALIGNM	<u>1ENT/GRADING</u>
C PC PCC PCC PCC PCC PCC PCC PCC PCC PC	CENTER OF CURVE POINT OF CURVE POINT OF COMPOUND CURVE POINT OF INTERSECTION POINT POINT OF REVERSE CURVE POINT OF TANGENT

WATER VALVE



PAVEMENT MARKINGS AND SIGNING SYMBOLS

EXISTING	PROPOSED
CW	CW
SL	SL
SL	SWL, SWI
BWLL	BWLL
DWLL	DWLL
SYL	SYL
DYL	DYCL
EV	EV

GENERAL SYMBOLS

CATCH BASIN SILT SACK WITHIN CATCH BASIN DOUBLE CATCH BASIN DRAIN MANHOLE SEWER MANHOLE COMBINED SEWER MANHOLE **OIL WATER SEPARATOR** ELECTRIC MANHOLE TELEPHONE MANHOLE CATV MANHOLE UNKNOWN STRUCTURE HANDHOLE BOLLARD WATER GATE WATER SHUT OFF FIRE HYDRANT GAS GATE STREET SIGN LIGHT POLE WALL MOUNTED LIGHT UTILITY POLE GUY POLE GUY WIRE MONITORING WELL TEST PIT (W/ I.D.) AREA DRAIN DRAINAGE CLEANOUT POST INDICATOR VALVE EDGE OF PAVEMENT MONOLITHIC CONCRETE CURB GRANITE CURB GRANITE EDGING **BITUMINOUS BERM GUARDRAIL - METAL POSTS GUARD RAIL - WOODEN POSTS** CHAIN LINK FENCE DRAINAGE LINE SEWER LINE WATER LINE GAS LINE **TELEPHONE/CATV CONDUIT** ELECTRIC CONDUIT OVERHEAD WIRE STONE WALL TREE LINE FEMA ZONE X (AREA OF MINIMAL FLOOD HAZARD) MAJOR CONTOUR MINOR CONTOUR ENTRANCE/EXIT PEDESTRIAN DOOR LOADING DOCK DOOR OVERHEAD DOOR

FUTURE USE ENTRANCE/EXIT PEDESTRIAN DOOR CONCRETE PAVEMEN WHEELCHAIR RAMP ELEVATOR FLARED END SECTION

,
'L, SWLL
LL
'LL
L
CL

CROSSWALK, 12" WHITE LINE (WIDTH NOTED)
STOP LINE, 12" WHITE LINE 4' BEHIND CW (TYP.)
SOLID WHITE LINE/SOLID WHITE LANE LINE-4"
BROKEN WHITE LANE LINE-4"
DOTTED WHITE LANE LINE-4"
SOLID YELLOW LINE-4"
DOUBLE YELLOW CENTER LINE- 2-4" LINES
ADA-ACCESSIBLE PARKING SPACE
ELECTRIC VEHICLE



DESIGNED BY	MWP
DRAWN BY	PJG
CHECKED BY	CPR
DATE	2/19/2025
SCALE	AS NOTED

OWNER/APPLICANT

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

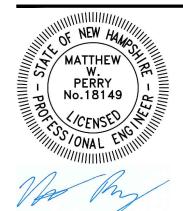
REVISIONS

ISSUED FOR Permitting

PROJECT TITLE Proposed Restaurant at 3 Dover Road

PROJECT LOCATION 3 Dover Road Durham, NH 03824

DRAWING TITLE Legend & **General Notes**

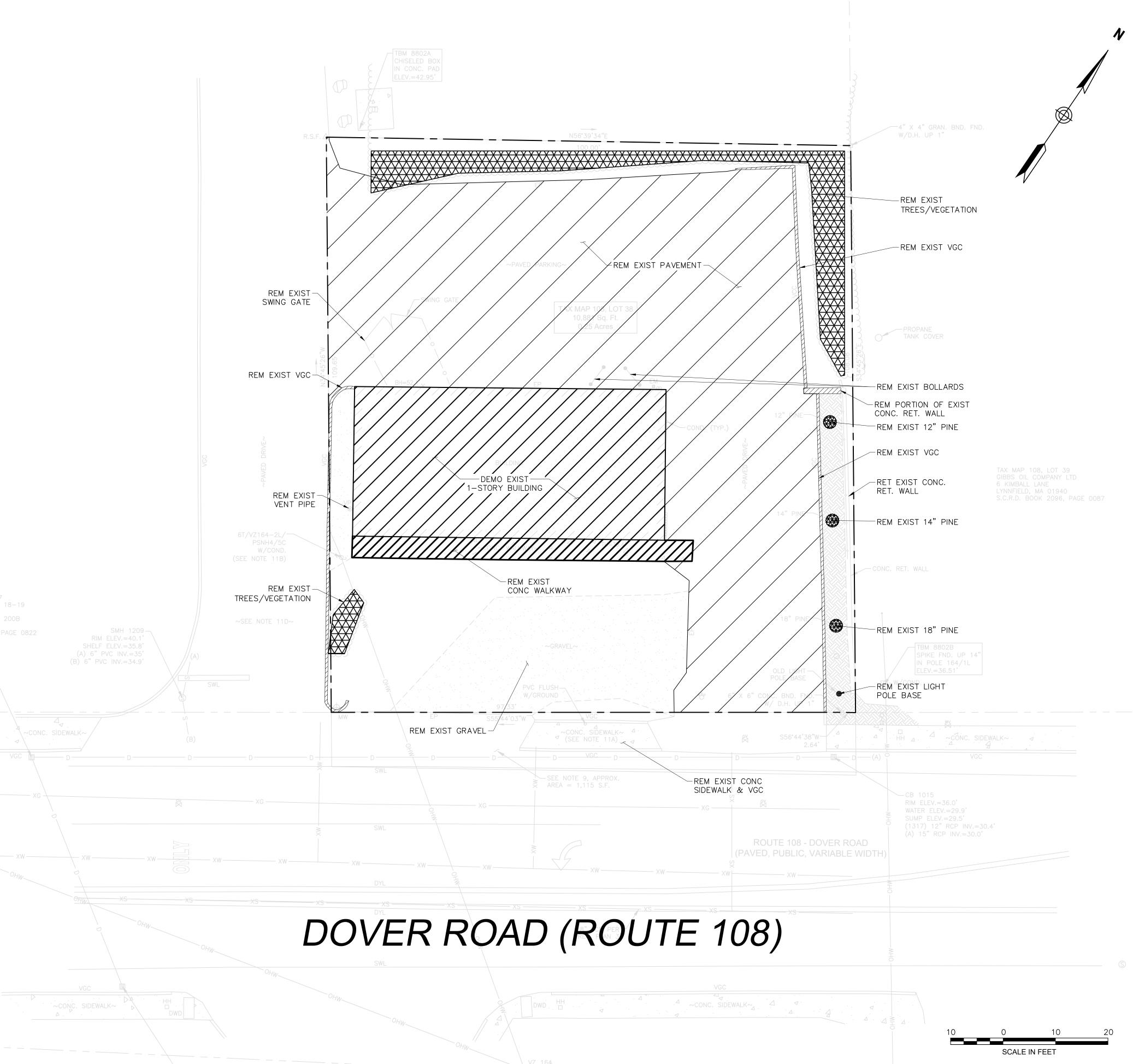


PROJECT NO. T1573 TEC CAD FILE T1573 LEG DRAWING NO. C-2

SHEET 2 OF 11

DEMOLITION NOTES:

- 1. ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF EACH UTILITY PRIOR TO REMOVING OR RELOCATING. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
- 2. THE CONTRACTOR SHALL DISCONNECT ALL UTILITIES FROM THE BUILDING PRIOR TO DEMOLITION.
- 3. THE CONTRACTOR IS TO REMOVE AND TO DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMITS OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS, AND UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING FOOTPRINT, TEN FEET BEYOND AND BENEATH PROPOSED EXTERIOR COLUMNS, AND CONFLICTING WITH ANY PROPOSED SITE WORK, PER DRAWINGS AND SPECIFICATIONS.
- 4. LOCATIONS OF UTILITY SERVICES TO THE EXISTING BUILDINGS SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND CUT AND CAPPED AT THE MAIN. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANIES' STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 5. THE CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND STATUTES.
- 6. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED PRIOR TO DEMOLITION.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAIN LINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
- 8. ALL EXISTING DRAINAGE STRUCTURES SHALL REMAIN IN PLACE AND FUNCTIONAL UNTIL THE PROPOSED DRAINAGE SYSTEM IS OPERATIONAL, UNLESS OTHERWISE NOTED BY THE ENGINEER.
- 9. THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 72 HOURS PRIOR TO BEGINNING ANY DEMOLITION.
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.



The Engineering Corp TEC, Inc. 282 Merrimack St, | 169 Ocean Boulevard 2nd Floor Unit 101, PO Box 249 Lawrence, MA 01843 | Hampton, NH 03842 (978) 794-1792 (603) 601-8154 www.TheEngineeringCorp.com DESIGNED BY MWP DRAWN BY PJG

CHECKED BY CPR DATE 2/19/2025 SCALE AS NOTED

OWNER/APPLICANT

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

REVISIONS

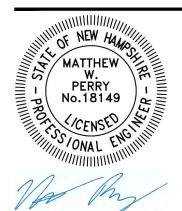
ISSUED FOR

Permitting

PROJECT TITLE

Proposed Restaurant at 3 Dover Road

PROJECT LOCATION 3 Dover Road Durham, NH 03824 DRAWING TITLE **Demolition Plan**



PROJECT NO. T1573 TEC CAD FILE T1573_DEMO DRAWING NO. **C-3**

SHEET 3 OF 11

	TRAFFIC SIGN SUMMARY							
	SIZE OF	SIGN (in)		TEXT DIMENSIONS (in)				
ID NUMBER	WIDTH	HEIGHT	SYMBOL	LETTER HEIGHT	VERTICAL SPACING	ROUTE MARKER	NUMBER OF SIGNS REQUIRED	NUMBER OF POSTS/ BOLLARDS REQUIRED
R1-1	30	30	STOP	SEE MU	TCD SIGN ST	ANDARDS	2	2
R7-8	12	18	RESERVED PARKING				2	2 POSTS
R7-8SP	12	6	VAN				1	0
R3–1	24	24					1	0
R3-2	24	24					2	1
R10-20A	24	18	7AM-9AM 4PM-6PM		¥		1	0

* HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH TOWN OF DURHAM STANDARDS, AND ADA REGULATIONS. ** VAN SIGNS SHALL BE LOCATED AT ALL ADA SPACES. PER ADA ACCESSIBILITY GUIDELINES (AMENDED 2010) ANY SPACE WITH A VAN SIGN IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS.

PARKING TABLE					
PARKING REQUIREMENTS	REQUIRED	PROVIDED			
RESTAURANT: 1,520 SF	1 SPACE / 100 SF OF SEATING AREA, PLUS 1 PER EMPLOYEE ON MAXIMUM SHIFT 7 SPACES	15 SPACES			
HANDICAP ACCESSIBLE SPACES	2 SPACES	2 SPACES			
STALL WIDTH	9 FT	9 FT			
LENGTH OF SPACE	18 FT	18 FT			
AISLE WIDTH	24 FT	24 FT			

ZONING TABLE				
ZONING DISTRICT	COURTHOUSE DISTRICT (CH)			
PROPOSED USE	RESTAU	RESTAURANT*		
DIMENSIONAL REQUIREMENTS	REQUIRED PROVIDED			
LOT SIZE (SF)	5,000 (0.11AC) 10,881 (0.25AC)			
MIN LOT FRONTAGE (FT)	50 100			
FRONT YARD SETBACK (FT)	15 15			
REAR YARD SETBACK (FT)	15 55			
SIDE YARD SETBACK (FT)	10 10			
MAX BUILDING HEIGHT (FT)	35 <35			
MAX IMPERVIOUS AREA (%)	80 78			

* ALL DRIVE-THROUGH FACILITIES ARE PROHIBITED OTHER THAN AS AN ACCESSORY TO A FINANCIAL INSTITUTION.

NOTES:

1. PAVEMENT MARKINGS SHOWN FOR REFERENCE ONLY.

2. SNOW STORAGE TO BE LOCATED IN LANDSCAPED AREAS. EXCESS SNOW TO BE REMOVED FROM SITE. 3. THE SITE IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE EX) (MAP 33017C0318E, EFF.

9/30/2015.) 4. THE EXISTING BUILDING AREA IS 1,700 SF WITH RETAIL USE.

5. TOTAL AREA OF DISTURBANCE IS 11,827 SF.

6. VARIANCE OBTAINED ON 2/11/25 GRANTING RELIEF FROM ARTICLE XII.1 SECTION 175-54 TO PERMIT

PARKING SPACES (STRUCTURE) TO BE LOCATED WITHIN THE FRONT, SIDE, AND REAR SETBACKS. 7. WAIVER REQUESTED FROM SECTION 5.8.9 OF THE SITE PLAN REGULATIONS SEEKING RELIEF FROM THE

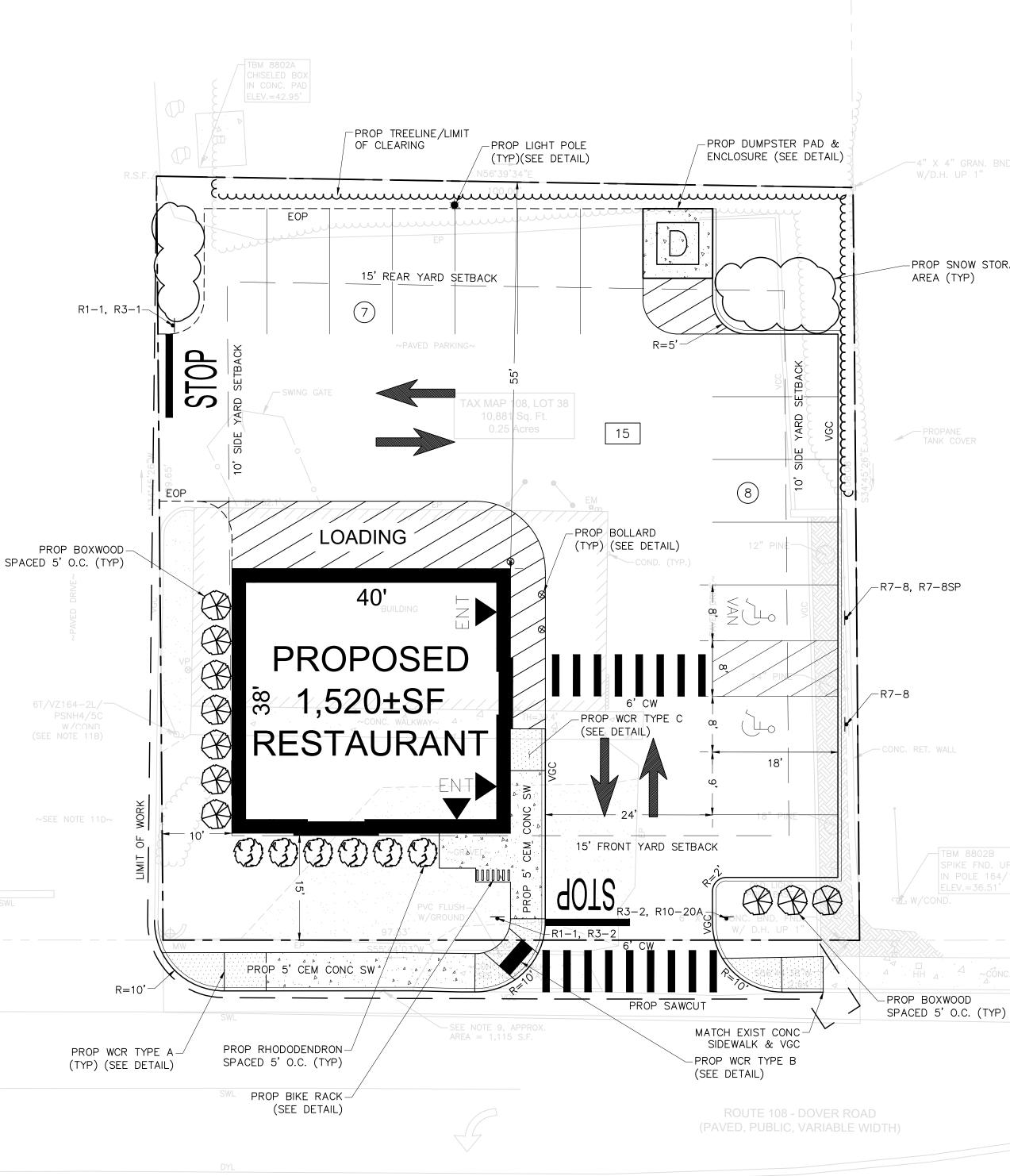
REQUIRED FOUNDATION PLANTING STRIP. 8. PROPOSED RESTAURANT HAS 8 SEATS.

PLANTING TABLE				
COMMON NAME	SCIENTIFIC NAME	SYMBOL	QUANTITY	
RHODODENDRON, ROSEBAY	RHODODENDRON MAXIMUM		6	
BOXWOOD	BUXUS	R	10	

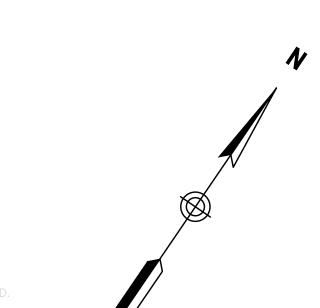
LANDSCAPING NOTES:

1. AREAS NOT OCCUPIED BY BUILDINGS OR OTHER STRUCTURES, PARKING, LOADING, ACCESS WAYS, LANDSCAPING MATERIALS, NATURAL VEGETATION OR OTHER NATURAL FEATURES SHALL BE LEFT IN THEIR NATURAL VEGETATED STATE WHERE DESIRABLE. AREAS DISTURBED DURING CONSTRUCTION THAT OTHERWISE WILL NOT BE OCCUPIED BY ONE OF THE ABOVE STRUCTURES OR ELEMENTS SHALL BE REPLACED WITH A MINIMUM OF 6 INCHES OF SUITABLE TOPSOIL AND REPLANTED AS APPROPRIATE.

2. EXISTING INVASIVE PLANT SPECIES ON THE SUBJECT PROPERTY SHALL BE REMOVED AND DESTROYED.



DOVER ROAD (ROUTE 108)



PROP SNOW STORAGE

SCALE IN FEET

The Engine	ering Corp
TEC	, Inc.
2nd Floor Lawrence, MA 01843 (978) 794-1792	169 Ocean Boulevard Unit 101, PO Box 249 Hampton, NH 03842 (603) 601-8154 eering C orp.com
DESIGNED BY	MWP

DESIGNED BY	MWP
DRAWN BY	PJG
CHECKED BY	CPR
DATE	2/19/2025
SCALE	AS NOTED

OWNER/APPLICANT

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

REVISIONS

ISSUED FOR

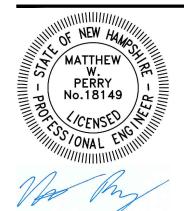
Permitting

PROJECT TITLE

Proposed Restaurant at 3 Dover Road

PROJECT LOCATION 3 Dover Road Durham, NH 03824

DRAWING TITLE Layout & Materials Plan



PROJECT NO. T1573 TEC CAD FILE T1573_LM DRAWING NO. C-4 SHEET 4 OF 11

DRAINAGE PIPING TABLE

	SIZE	LENGTH	SLOPE (FT/FT)
P-1	12"	45'-0"	0.010
P-2	3"	37'-0"	0.015
P-3	3"	2'-0"	0.010
P-4	3"	34'-0"	0.010
P-5	12"	2'-0"	0.050
P-6	12"	17'-4"	0.050

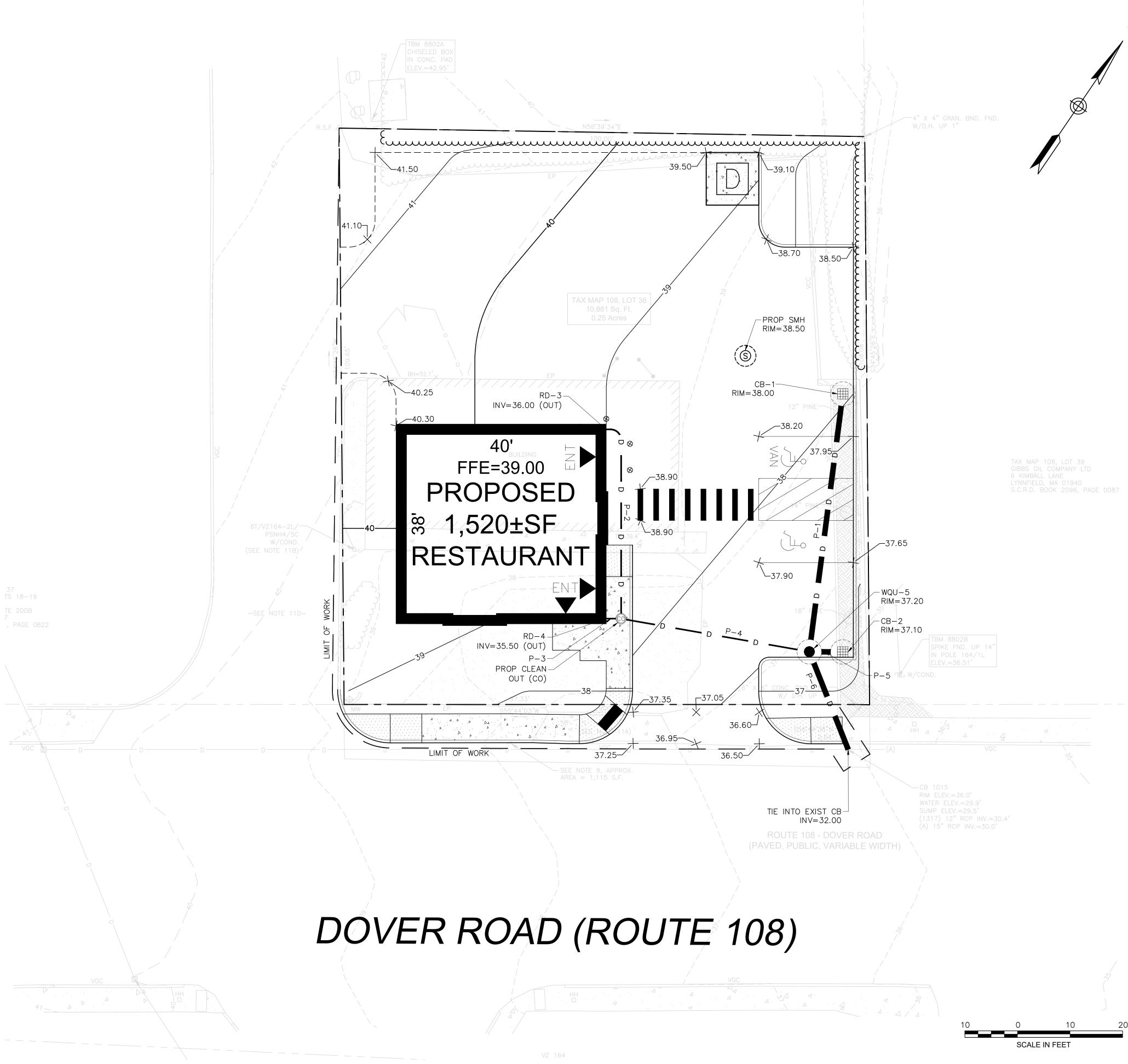
DRAINAGE STRUCTURE INVERTS:

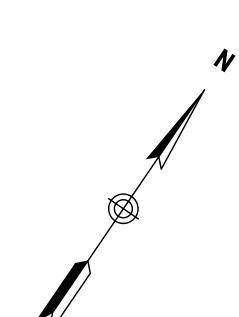
CB-1	RD-3	WQU-5
INV=34.00 (OUT)	INV=36.00 (OUT)	INV=33.55 (CB-1)
		INV=33.00 (CB-2)
CB-2	RD-4	INV=35.15 (CO)
INV=33.10 (OUT)	INV=35.50 (OUT)	INV=32.90 (OUT)

NOTES:

1. MATCH EXISTING GRADES AT LIMIT OF WORK.

2. ALL DRAINAGE PIPES SHALL BE 12" HDPE AND ALL ROOF DRAINS SHALL BE 3" HDPE UNLESS OTHERWISE NOTED.







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CHECKED BY	CPR
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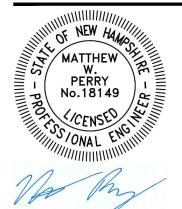
Permitting

PROJECT TITLE

Proposed Restaurant at 3 Dover Road

PROJECT LOCATION 3 Dover Road Durham, NH 03824

DRAWING TITLE Grading & Drainage Plan



PROJECT NO. T1573 TEC CAD FILE T1573_GD DRAWING NO. **C-5** SHEET 5 OF 11

UTILITY S	ERVICE PROVIDERS
UTILITY	PROVIDER
ELECTRIC	EVERSOURCE, NHEC
GAS	UNITIL
WATER & SEWER	TOWN OF DURHAM

SEWER DESIGN FLOW CALCULATIONS:

DESIGN FLOWS ARE BASED UPON THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES, ENV-WQ 1000; INDIVIDUAL SEWAGE DISPOSAL SYSTEMS, TABLE 1008-1 UNIT DESIGN FLOW FIGURES.

UNIT DESIGN FLOW FOR FOOD SERVICE: CAFETERIA OR TABLE SERVICE, PAPER SERVICE, PLUS TOILET AND KITCHEN WASTE: 20 GPD/SEAT PLUS 20 GPD/EMPLOYEE NUMBER OF SEATS: 8

NUMBER OF EMPLOYEES: 5

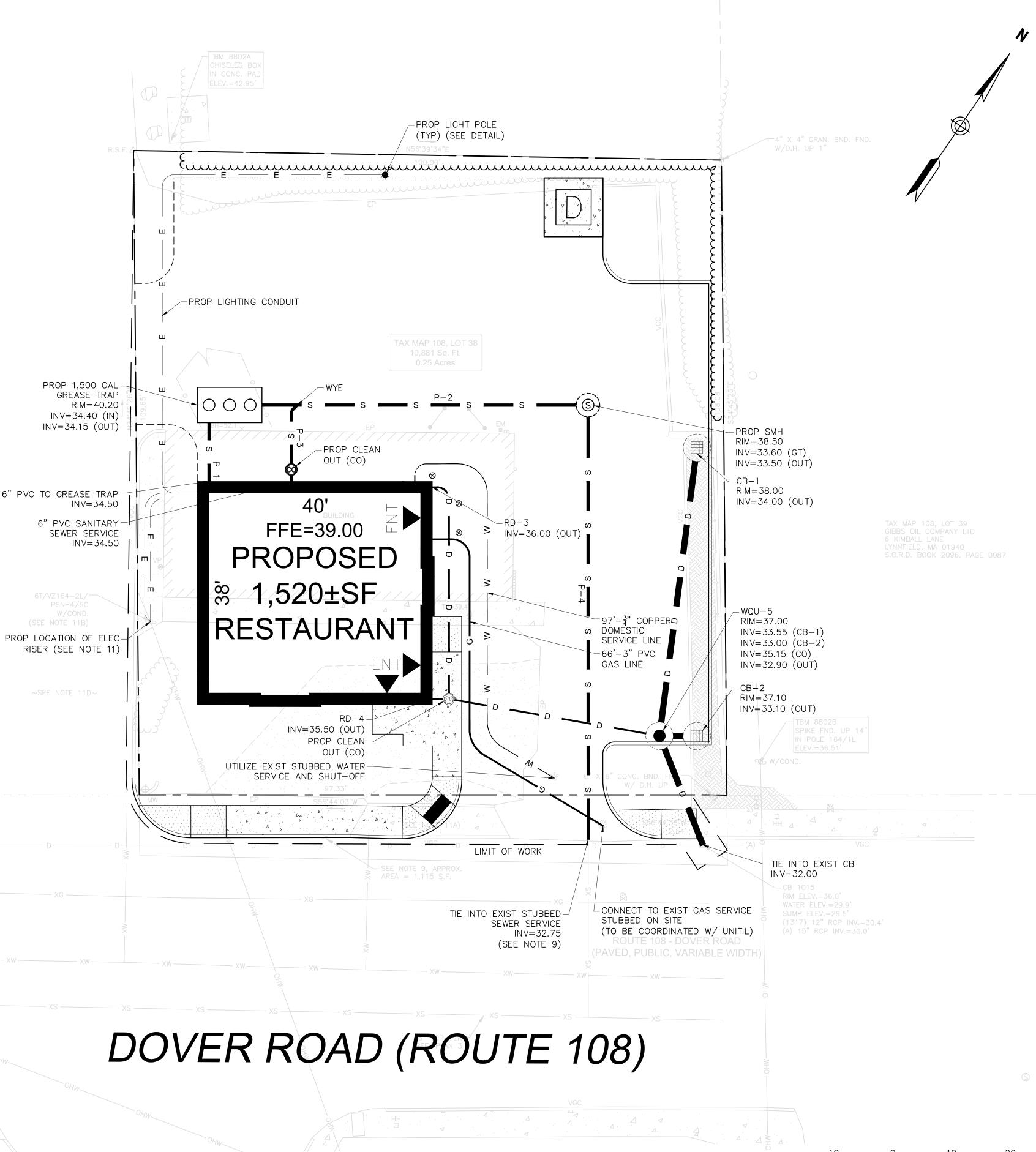
DESIGN FLOW = (UNIT DESIGN FLOW)(# OF SEATS) + (UNIT DESIGN FLOW)(# OF EMPLOYEES) = (20 GPD/SEAT)(8 SEATS) + (20 GPD/EMPLOYEE)(5 EMPLOYEES) = 260 GPD

SEWER PIPING TABLE				
PIPE SIZE LENGTH SLOPE				
P-1	6"PVC	10'-0"	0.010	
P-2	6"PVC	54'-0"	0.010	
P-3	6"PVC	10'-0"	0.010	
P-4	6"PVC	72'-0"	0.010	

NOTES:

- 1. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND WHERE FEASIBLE THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
- 2. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
- 3. ALL PROPOSED UTILITY LOCATIONS ARE APPROXIMATE. FINAL TIE IN LOCATIONS TO BE COORDINATED WITH TOWN OF DURHAM MUNICIPAL SERVICES DEPARTMENT AND PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- 4. LOCATIONS OF EXISTING UTILITIES SHALL BE FIELD LOCATED BY THE CONTRACTOR.
- 5. SEWER PIPES SHALL BE 6" SDR 35 PVC.
- 6. ALL DRAINAGE PIPES SHALL BE 12" HDPE AND ALL ROOF DRAINS SHALL BE 3" HDPE UNLESS OTHERWISE NOTED.
- 7. EXIST SEWER SERVICE STUBBED ON-SITE SHALL BE EVALUATED FOR RE-USE. IF UNABLE TO BE RE-USED, A NEW SEWER SERVICE CONNECTION SHALL BE MADE. IF NECESSARY, NHDES SEWER CONNECTION PERMIT TO BE SUBMITTED AT LEAST 30 DAYS PRIOR TO CONSTRUCTION.
- 8. SEWER CLEAN OUTS INTERNAL TO BUILDING.
- 9. INVERT ELEVATION AND PIPE SIZE OF STUBBED SEWER SERVICE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- 10. GREASE TRAP SHALL BE VENTED TO ROOF.
- 11. PROPOSED RISER FOR ELECTRIC SERVICE IS APPROXIMATE. IF POSSIBLE, UTILIZE EXISTING RISER TO BUILDING. FINAL LOCATION TO BE COORDINATED W/ EVERSOUCE AND THE CITY OF DURHAM.

37 TS 18-19				(SEE PROP LOC RISER
TE 200B 7 , PAGE 0822	RIM EL	SMH 1209 _EV.=40.1' _EV.=35.8' 2 INV.=35' INV.=34.9'	(A)	
			s s	
VGC		D	(B)	
×G →	0		CV X	
XW Он _W	×w	×w		— XW ———
	OHW	OHW	XS	HW
	VGC			
			\	



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DATE	2/19/2025
SCALE	AS NOTED
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OWNER/APPLICANT

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

REVISIONS

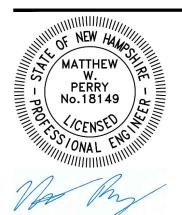
ISSUED FOR

Permitting

PROJECT TITLE

Proposed Restaurant at 3 Dover Road

PROJECT LOCATION 3 Dover Road Durham, NH 03824 DRAWING TITLE Utility Plan

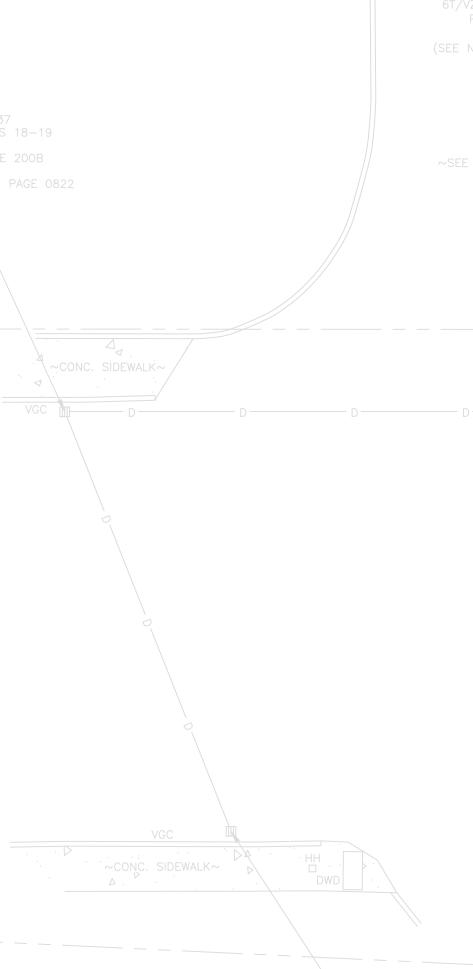


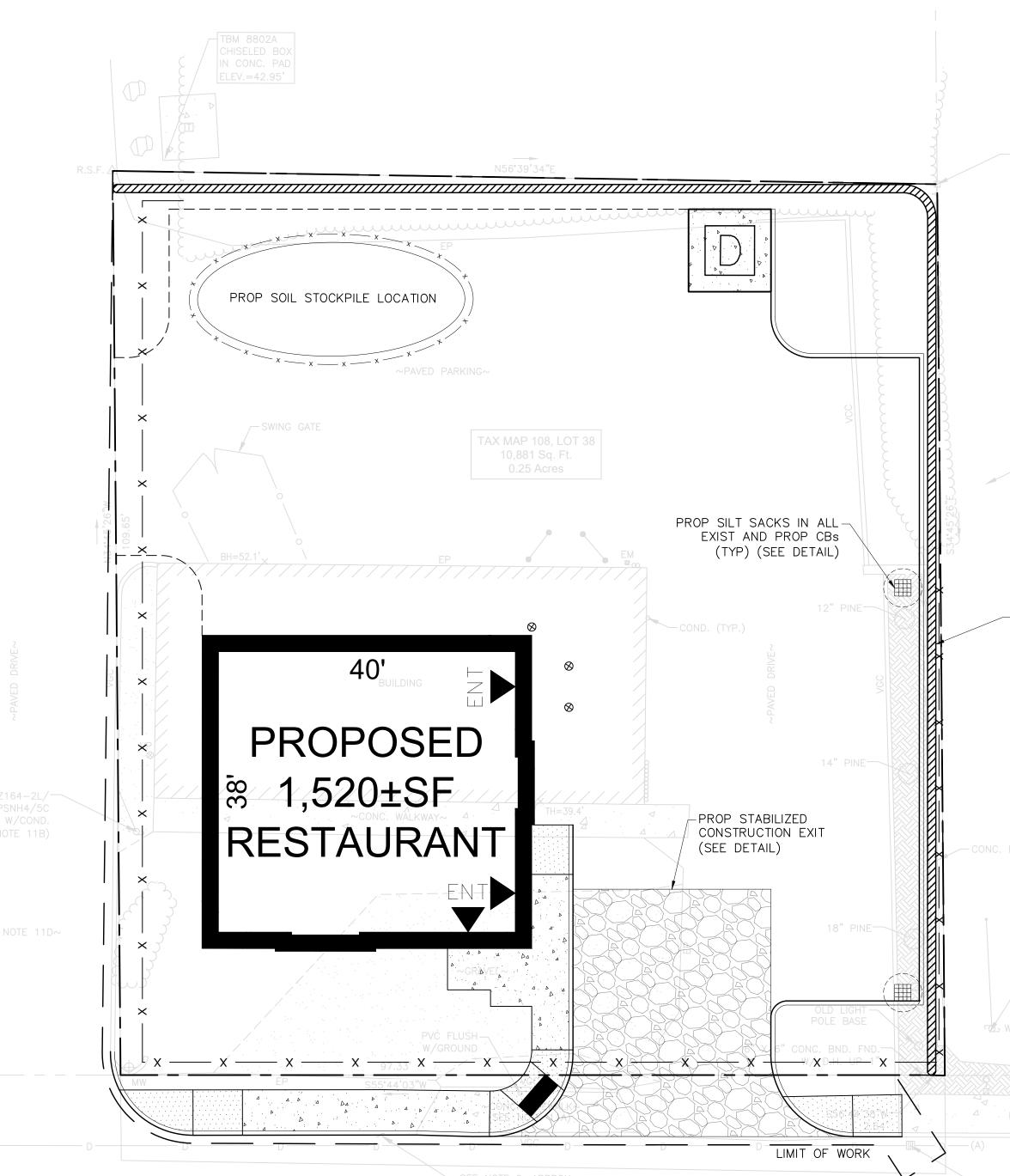
PROJECT NO. T1573 TEC CAD FILE T1573_UT DRAWING NO. **C-6** SHEET 6 OF 11

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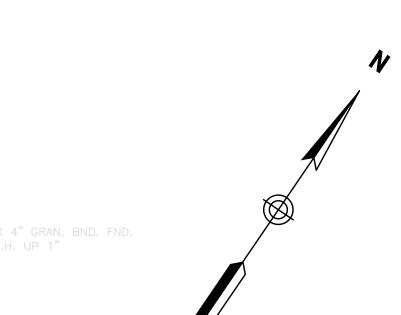
EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREA TO BE PROTECTED.
- 2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
- 3. RUNOFF SHALL BE CONTROLLED AND CONVEYED INTO STORM DRAINS AND OTHER OUTLETS SO IT WILL NOT ERODE THE LAND OR CAUSE OFF-SITE DAMAGE; SEDIMENT IN RUNOFF SHALL BE TRAPPED BY USING STAKED HAY BALES, COMPOST FILTER TUBES, SILT SACKS, OR SEDIMENTATION TRAPS, OR OTHER APPROVED EROSION CONTROL DEVICES.
- 4. SEDIMENT BASINS SHALL BE CONSTRUCTED WHERE NECESSARY TO DETAIN RUNOFF AND TO TRAP SEDIMENT DURING CONSTRUCTION.
- 5. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO ½ THE HEIGHT OF THE SILT FENCE OR HAY BALE.
- 6. EROSION AND SEDIMENT CONTROLS SHALL BE COORDINATED WITH THE SEQUENCE OF GRADING, DEVELOPMENT AND CONSTRUCTION OPERATIONS; CONTROL MEASURES SHALL BE IN EFFECT PRIOR TO COMMENCEMENT OF EACH INCREMENT/PHASE OF THE PROCESS.
- 7. SOIL AND OTHER MATERIALS SHALL NOT BE STOCKPILED OR REDISTRIBUTED, EITHER TEMPORARILY OR PERMANENTLY, IN LOCATIONS OR IN SUCH A MANNER AS WOULD CAUSE IMPEDANCE OF ABUTTING BUSINESS OR PROPERTY OWNERS.
- 8. TOPSOIL SHALL BE STRIPPED FROM DISTURBED AREAS, STOCKPILED IN APPROVED AREAS AND STABILIZED WITH TEMPORARY VEGETATIVE COVER IF IT IS TO BE LEFT FOR MORE THAN THIRTY (30) CALENDAR DAYS; PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED AROUND EACH AREA OF STOCKPILED TOPSOIL.
- 9. SOIL STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
- 10. STOCKPILED MATERIAL NOT UTILIZED ONSITE SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- 11. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
- 12. FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- 13. A TRACKING PAD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- 14. DUST SHALL BE CONTROLLED AT THE SITE.
- 15. TEMPORARY SEEDING, MULCHING OR OTHER SUITABLE STABILIZATION METHODS SHALL BE USED TO PROTECT EXPOSED SOIL AREAS DURING CONSTRUCTION.
- 16. PERMANENT SEEDING SHOULD BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- 17. PERMANENT VEGETATION AND EROSION CONTROL STRUCTURES, AS NECESSARY, SHALL BE INSTALLED PREFERABLY IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED BUT OTHER WISE NO LATER THAN THE FIRST FULL SPRING SEASON IMMEDIATELY THEREAFTER; THEY SHALL COMPLY WITH THE EROSION AND SEDIMENTATION VEGETATIVE PRACTICES RECOMMENDED BY THE U.S. SOIL CONSERVATION SERVICE.
- 18. MONITORING AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION SHALL BE REQUIRED.
- 19. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS. SIMILARLY, STABILIZATION SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAPS/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATIONS.
- 20. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS. THE APPLICANT'S ENGINEER SHALL SUBMIT WRITTEN CERTIFICATION THAT THIS CONDITION HAS BEEN MET.





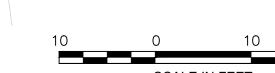
DOVER ROAD (ROUTE 108)



TANK COVER

- PROP SILTSOXX PERIMETER EROSION CONTROL BARRIER (SEE DETAIL)

COND.



SCALE IN FEET

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(978) 794-1792 (603) 601-8154 www.TheEngineeringCorp.com

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REVISIONS

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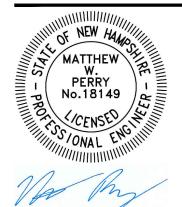
PROJECT TITLE

Proposed Restaurant at 3 Dover Road

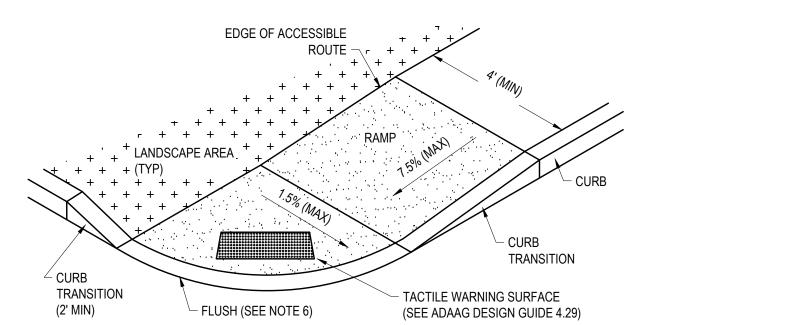
PROJECT LOCATION

3 Dover Road Durham, NH 03824 DRAWING TITLE

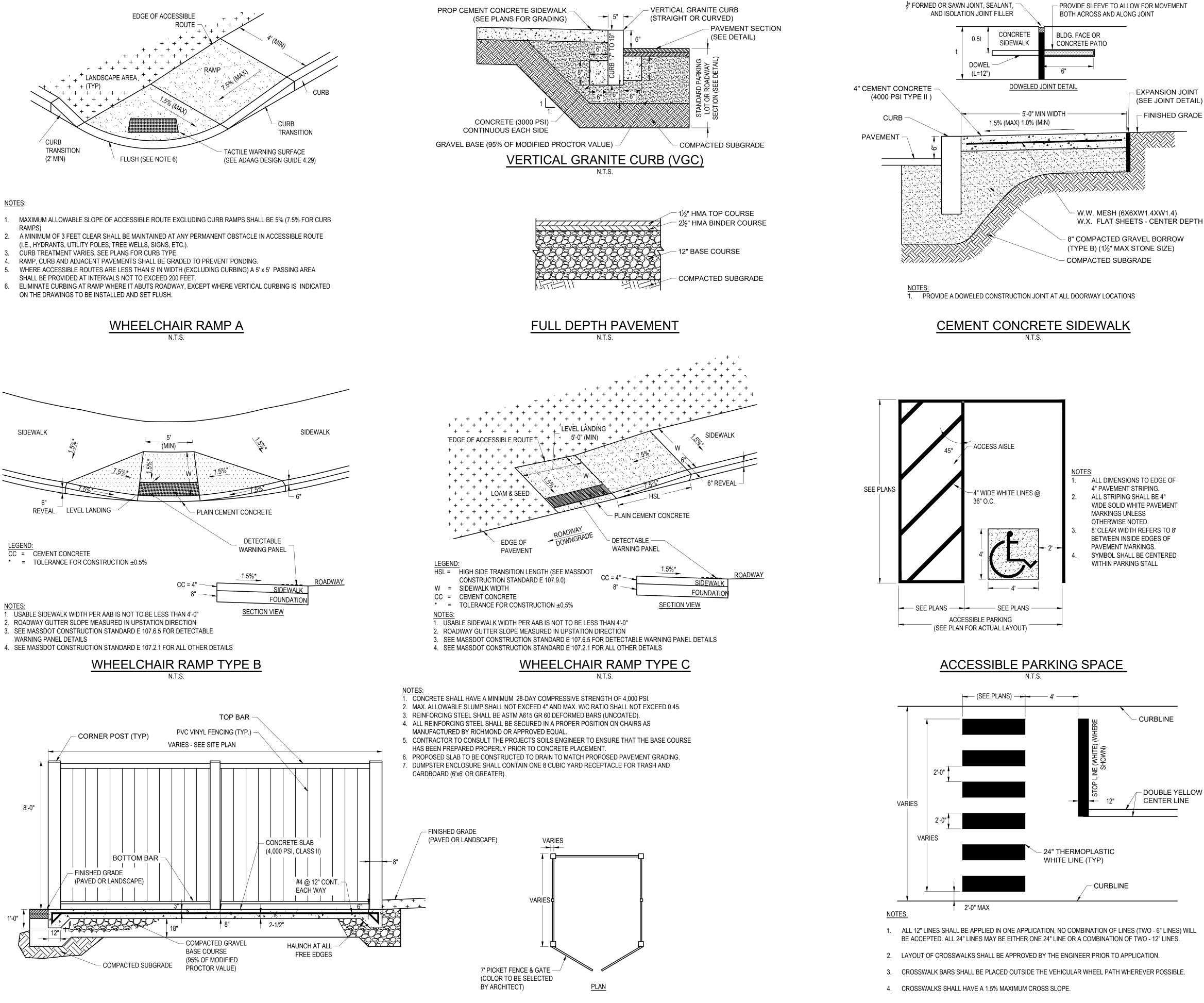
Erosion & Sediment Control Plan



PROJECT NO. T1573 TEC CAD FILE T1573 ER DRAWING NO. C-7 SHEET 7 OF 11



- ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.



CROSSWALK PAVEMENT MARKING

G. FACE OR ICRETE PATIO	
·	
AIL	EXPANSION JOINT (SEE JOINT DETAIL)
	FINISHED GRADE



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Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

REVISIONS

ISSUED FOR

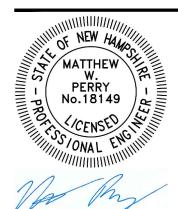
Permitting

PROJECT TITLE

Proposed Restaurant at 3 Dover Road

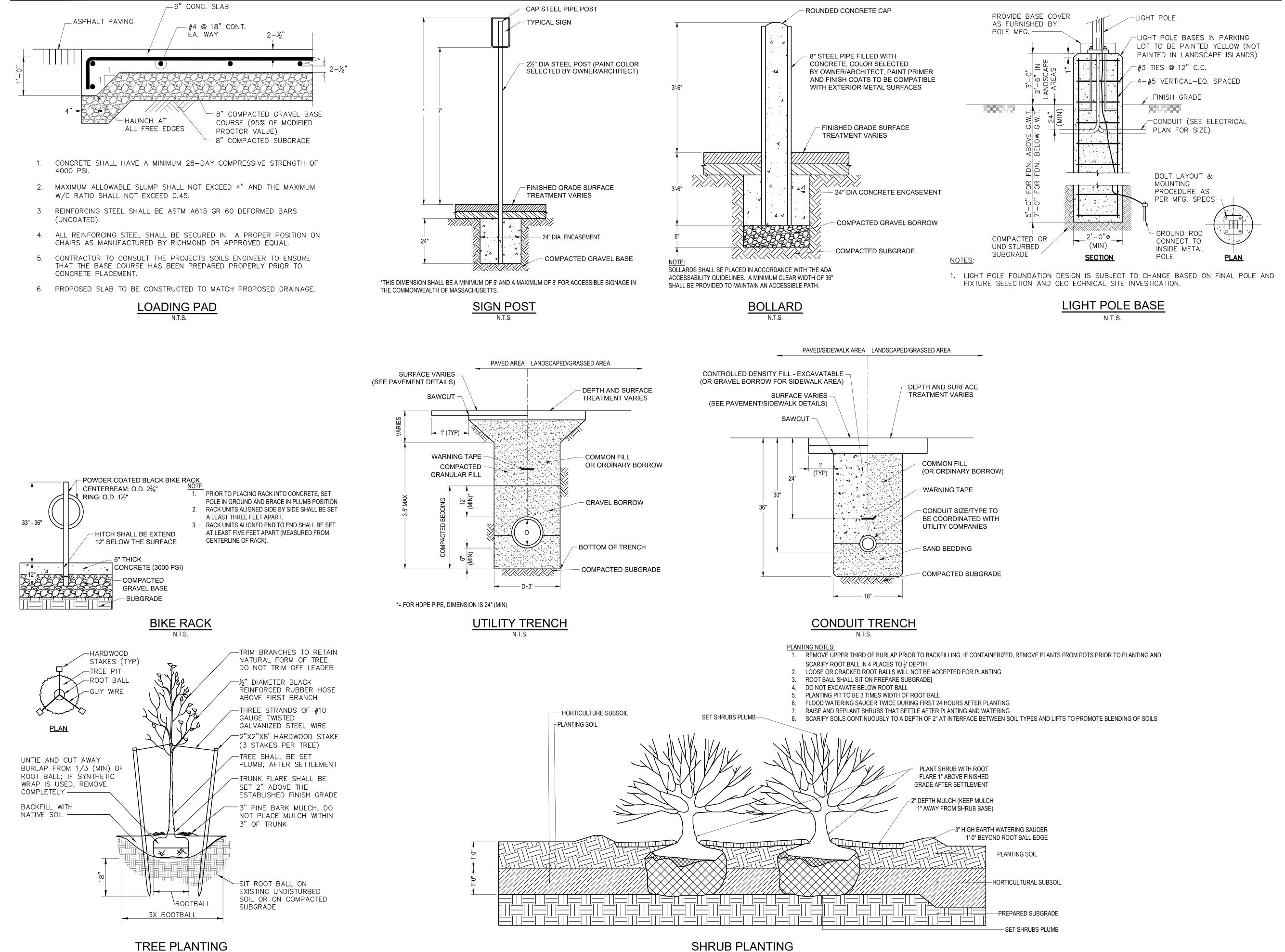
PROJECT LOCATION

3 Dover Road Durham, NH 03824 DRAWING TITLE **Construction Details**



PROJECT NO. T1573 TEC CAD FILE T1573_DET DRAWING NO. **C-8**

SHEET 8 OF 11



N.T.S

SHRUB PLANTING

The Engineering Corp TEC, Inc. 282 Merrimack St, | 169 Ocean Boulevard 2nd Floor Unit 101, PO Box 249 Lawrence, MA 01843 Hampton, NH 03842 (978) 794-1792 (603) 601-8154 www.TheEngineeringCorp.com DESIGNED BY MWP DRAWN BY PJG CHECKED BY CPR DATE 2/19/2025

OWNER/APPLICANT

SCALE

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

AS NOTED

REVISIONS

ISSUED FOR

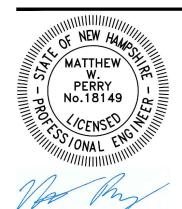
Permitting

PROJECT TITLE

Proposed Restaurant at 3 Dover Road

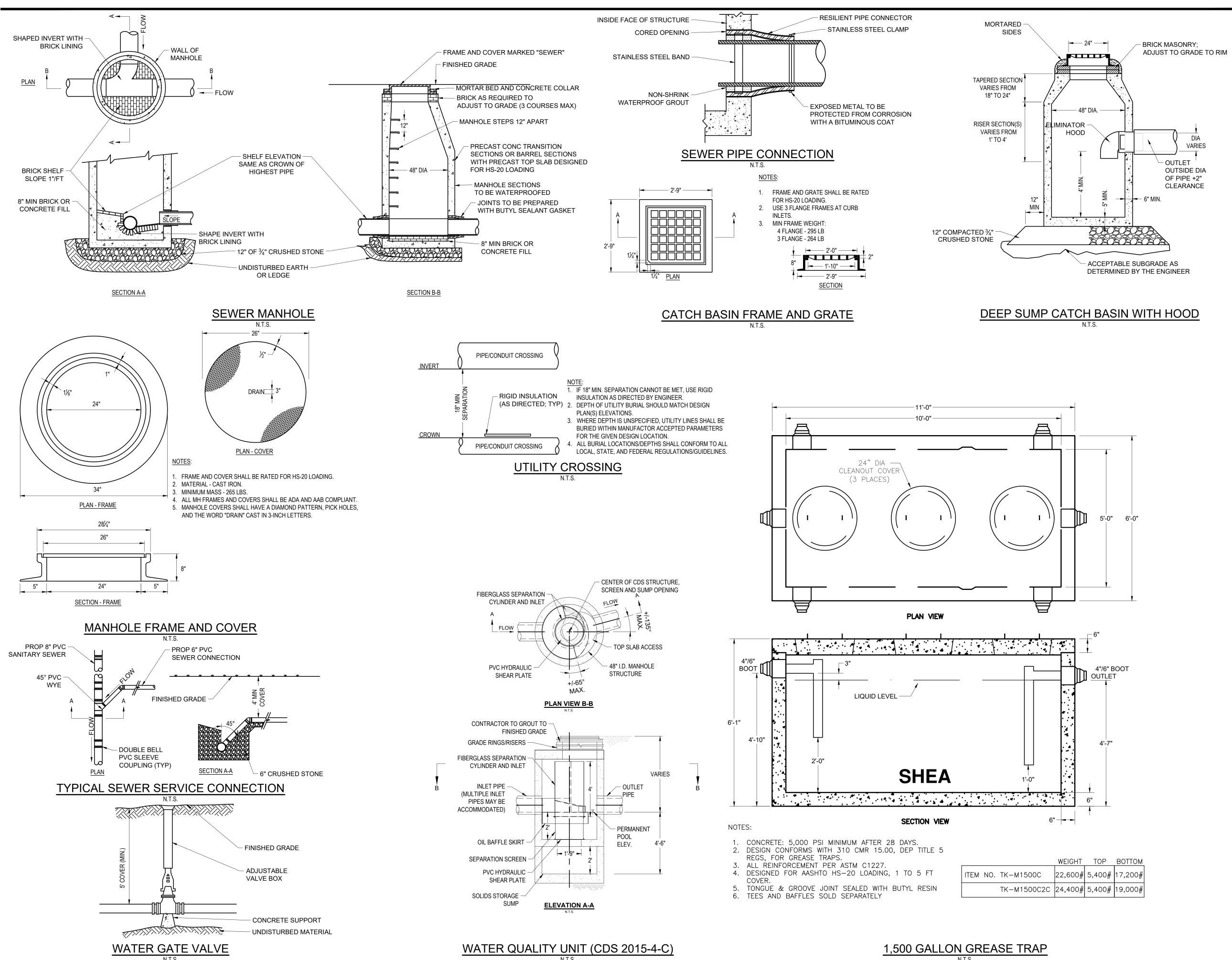
PROJECT LOCATION

3 Dover Road Durham, NH 03824 DRAWING TITLE **Construction Details**

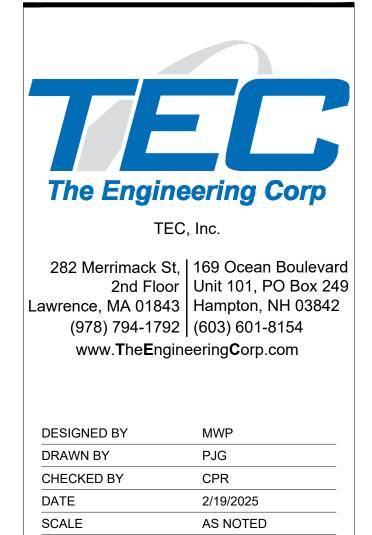


PROJECT NO. T1573 TEC CAD FILE T1573_DET DRAWING NO. **C-9**

SHEET 9 OF 11



WEIGHT	TOP	BOTTOM
22,600#	5,400#	17,200#
24,400#	5,400#	19,000#



OWNER/APPLICANT

Tropic Star Development, LLC 321 D Lafayette Road Hampton, NH 03842

REVISIONS

ISSUED FOR

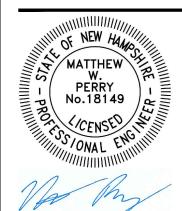
Permitting

PROJECT TITLE

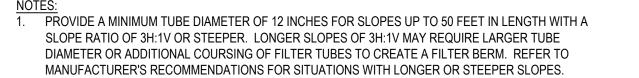
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION

3 Dover Road Durham, NH 03824 DRAWING TITLE **Construction Details**

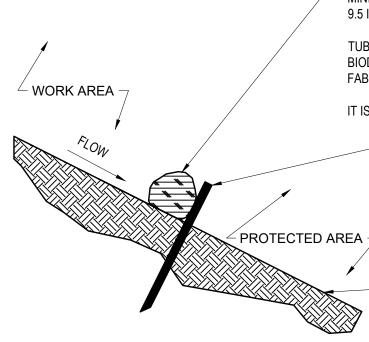


PROJECT NO. T1573 TEC CAD FILE T1573_DET DRAWING NO. C-10 SHEET 10OF 11



- INSTALL TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW. TUBE LOCATION MAY BE SHIFTED TO ADJUST TO LANDSCAPE FEATURES, BUT SHALL PROTECT
- UNDISTURBED AREA AND VEGETATION TO MAXIMUM EXTENT POSSIBLE.
- DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
- ADDITIONAL STAKING SHALL BE USED AT THE DIRECTION OF THE ENGINEER.

COMPOST TUBE SHALL BE IN FULL CONTACT WITH GROUND SURFACE AND IF NECESSARY, CINDER BLOCKS (OR OTHER EFFECTIVE METHODS) SHALL BE USED TO WEIGH DOWN THE COMPOST FILTER TUBE.



COMPOST FILTER TUBE MINIMUM 12 INCHES IN DIAMETER WITH AN EFFECTIVE HEIGHT OF 9.5 INCHES.

TUBES FOR COMPOST FILTERS SHALL BE JUTE MESH OR APPROVED BIODEGRADABLE MATERIAL, HOWEVER PHOTO-BIODEGRADABLE FABRIC SHALL BE REMOVED AT END OF CONTRACT.

IT IS NOT NECESSARY TO TRENCH TUBES INTO EXISTING GRADE.

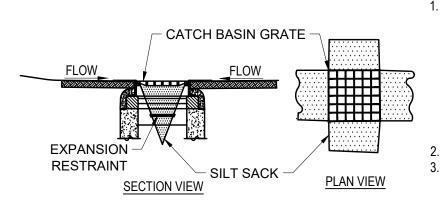
COMPOST TUBES SHALL BE STAKED OR LEANED AGAINST SUPPORTS (TREES, CINDER BLOCKS) ON SLOPES 2:1 OR GREATER.

WHERE NECESSARY, STAKING SHALL BE MIN. 1 INCH X 1 INCH X 3 FEET UNTREATED HARDWOOD STAKES, UP TO 5 FT, APART OR AS REQUIRED TO SECURE TUBES IN PLACE. TUBES SHALL BE STAKED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

UNDISTURBED SOIL & VEGETATION. TUBES SHALL BE PLACED AS CLOSE TO LIMITS OF SOIL DISTURBANCE AS POSSIBLE.

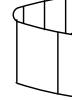


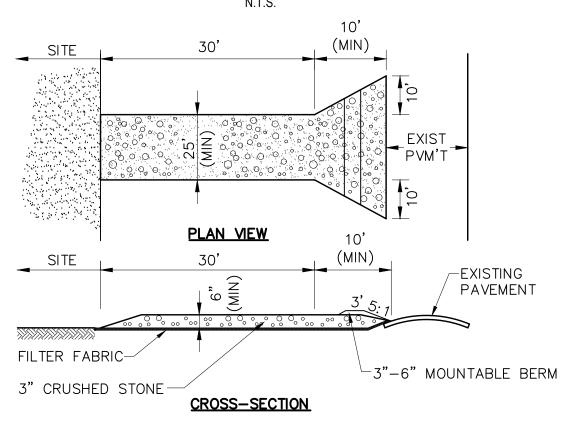




INSTALL SILTSACK IN ALL DOWNGRADIENT EXISTING CATCH BASINS BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.

GRATE TO BE PLACED OVER SILTSACK. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLAEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.





CATCH BASIN INLET PROTECTION

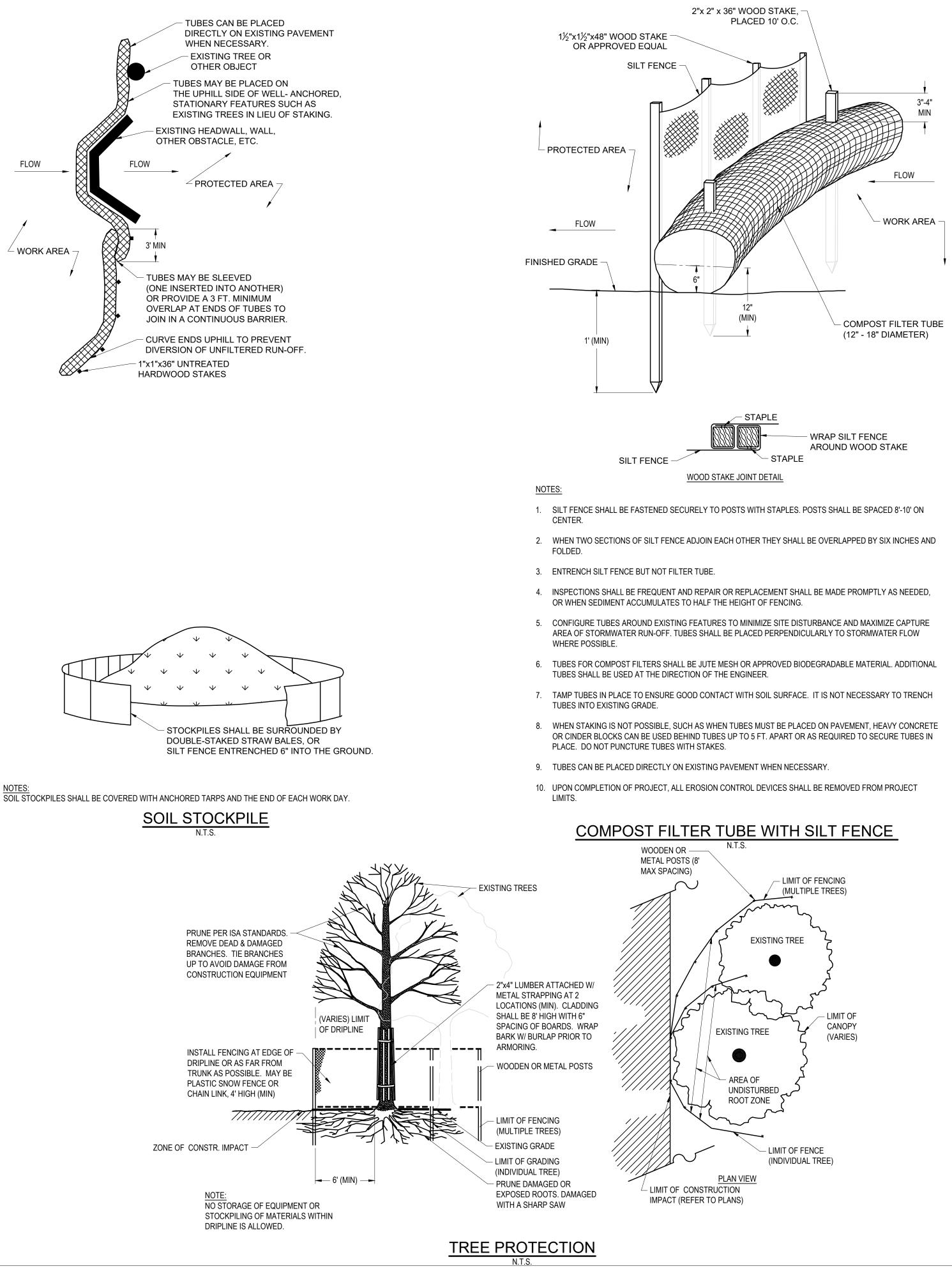
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRÉSS OR EGRESS OCCURS. 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT

- TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION EXIT

FLOW

WORK AREA -



The Engineering Corp TEC, Inc. 282 Merrimack St, | 169 Ocean Boulevard 2nd Floor Unit 101, PO Box 249 Lawrence, MA 01843 | Hampton, NH 03842 (978) 794-1792 (603) 601-8154 www.TheEngineeringCorp.com DESIGNED BY MWP PJG DRAWN BY CHECKED BY CPR

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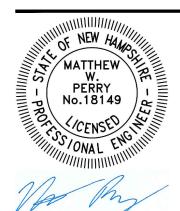
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PROJECT TITLE

Proposed Restaurant at 3 Dover Road

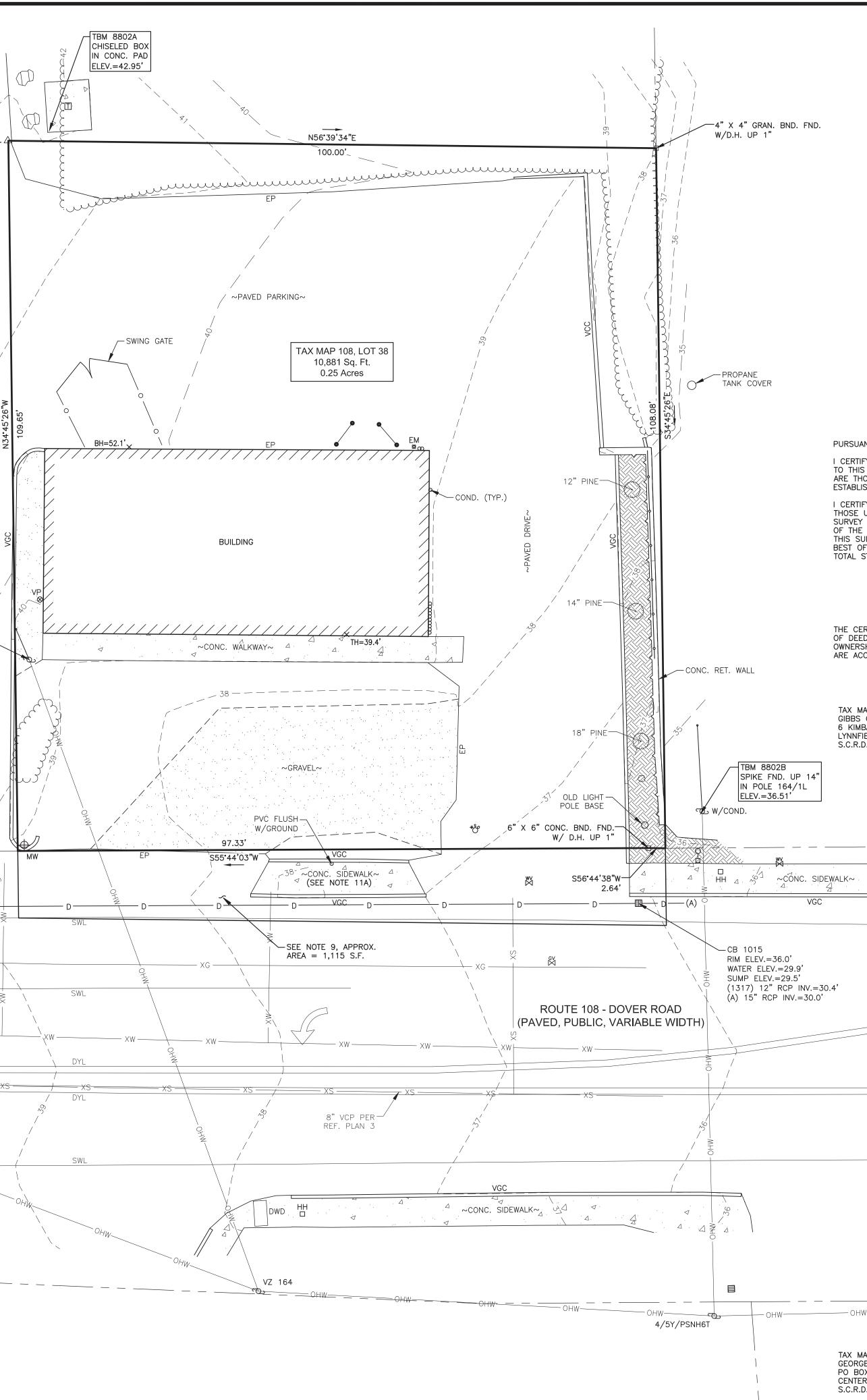
PROJECT LOCATION

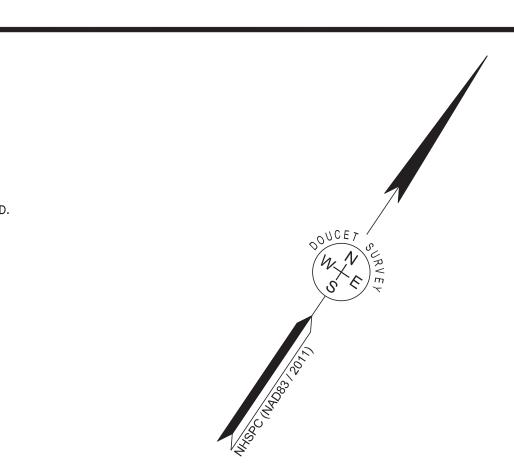
3 Dover Road Durham, NH 03824 DRAWING TITLE **Construction Details**

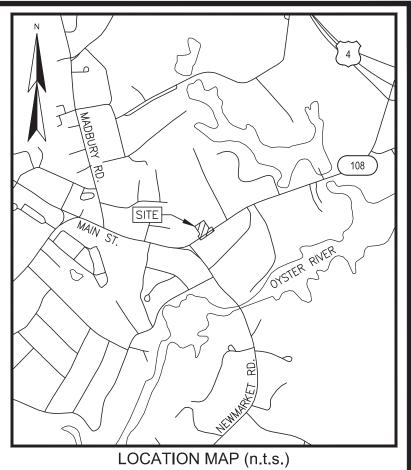


PROJECT NO. T1573 TEC CAD FILE T1573_DET DRAWING NO. C-1⁻ SHEET 11OF 11

NOTES: 1. REFERENCE:	TAX MAP 108, LOT 38 3 DOVER ROAD	
2. TOTAL PARCEL AREA:	10,881 SQ. FT. OR 0.25 AC.	
3. OWNER OF RECORD:	JESP ENTERPRISES LLC 25 GARDEN LANE DURHAM, NH 03824 S.C.R.D. BOOK 4530, PAGE 617	
) BY J.H.H. & S.N.F. (DOUCET SURVEY) DURING AUGUST, 2024 USING A TOTAL GRADE GPS WITH A DATA COLLECTOR AND A DIGITAL LEVEL. TRAVERSE ADJUSTM	
DERIVED FROM REDUNDAN	O ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) IT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK. O ON NGVD29 PER NHDOT DISK "BM 29" HAVING A PUBLISHED ELEVATION OF	
44.97' AND LOCATED ON 7. PROPER FIELD PROCEDUR	THE GRANITE STEP OF THE FORMER TOWN OFFICE. ES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY TERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY WILL	
BE RESPONSIBLE FOR AN 8. THE INTENT OF THIS PLA	Y SUCH ALTERATION PERFORMED BY THE USER. N IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN NT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS	
9. THE ROUTE 108 (DOVER AND LOCATED MONUMENT ACROSS THE SUBJECT PA PROJECT WIDENING TOOK	OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE. ROAD) RIGHT OF WAY AS DEPICTED HEREON IS BASED ON REFERENCE PLAN 3 IS SHOWN ON SAID PLAN. THE RIGHT OF WAY WIDTH IS GENERALLY 66' WIDE RCEL BUT VARIABLE WIDTH AS A WHOLE. ADJACENT NHDOT TAKINGS FOR THE PLACE AROUND THE YEAR 1999. ASIDE FROM THE EASEMENT DEED REFERENCE (ANCE WAS FOUND FROM THE OWNER OF THE PARCEL TO THE STATE OF NEW	
HAMPSHIRE. THE RIGHT C 10. ALL UNDERGROUND UTILI SCHEMATIC FASHION, THE WHATSOEVER SHALL BE U	F WAY PER REFERENCE PLAN 1 IS SHOWN HEREON AS A REFERENCE. IES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN R LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK INDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGAR	
11. EASEMENT REFERENCES. A. EASEMENT TO THE STA PUBLIC TO PASS AND B. EASEMENT TO VERIZON APPURTENANCES SHOW	TE OF N.H. TO CONSTRUCT, MAINTAIN AND REPAIR A SIDEWALK FOR THE GENEF REPASS. S.C.R.D. BOOK 2128 PAGE 239 DATED AUG. 2, 1999. NEW ENGLAND, INC. AND PUBLIC SERVICE COMPANY FOR THE POLE AND N HEREON. S.C.R.D. BOOK 3095 PAGE 182, DATED NOV. 4, 2004. ATION AND CONTRACT BETWEEN HAROLD KNIGHT AND THE TOWN OF DURHAM.	RAL
S.C.R.D. BOOK 587 PA D. A 12' WIDE RIGHT OF PAGE 469, DATED DEC	GE 135, DATED OCT. 30, 1950. WAY BENEFITING AND ADJACENT TO THE SUBJECT PREMISES. S.C.R.D. BOOK 50	
	JRED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS FIGURATION, ETC.	VGC VGC
 ASSOCIATES ENGINEERS S 2. "AS BUILT ALTA SURVEY DURHAM, N.H." DATED AF 3. "STATE OF NH DEPARTME PROJECT OBD-STP-M-X- 108, TOWN OF DURHAM, 	F OIL CO. DURHAM NEW HAMPSHIRE" DATED APRIL 16, 1957 BY G.L. DAVIS & .C.R.D. POCKET 1, FOLDER 3, PLAN 54. STORE #6867 PREPARED FOR CIRCLE K CORPORATION SITUATED IN THE TOWN RIL 17, 1989 BY R.S.L. LAYOUT & DESIGN, INC. S.C.R.D. PLAN 45-85. NT OF TRANSPORTATION RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID -5133(003), N.H. PROJECT NO. C-2424-C, MAIN STREET/NEWMARKET ROAD/RC COUNTY OF STRAFFORD" FINAL REVISION DATE OF 2/00. ON FILE AT THE NEW OF TRANSPORTATION AND S.C.R.D. PLAN 60-53.	OF 6T/VZ164-2L/ PSNH4/5C W/COND
	TAX MAP 108, LOT 37 4 MAIN STREET UNITS 18–19 MUISE FAMILY LLC 7 WALL STREET SUITE 200B WINDHAM, NH 03087 S.C.R.D. BOOK 4971, PAGE 0822 RIM ELEV.= SHELF ELEV.=	
	CB 1317 RIM ELEV.=40.3' WATER ELEV.=34.8' SUMP ELEV.=31.6' (1252) 12" RCP INV.=35.4' (1015) 12" RCP INV.=34.4'	
	VGC D	(B) (B)
	XG	\XG
	0HW XW XW	
	OHW OHW X	<u></u>
		OHW / OHW
	VGC	OHW HH DWD
	41 <u> </u>	
		CB 1252 RIM ELEV.=40.0' WATER ELEV.=35.4' SUMP ELEV.=32.9'
	TAX MAP 108, LOT 67 NEW COURTHOUSE VENTURES 1 LLC 285 DOCKHAM SHORE ROAD GILFORD, NH 03249 S.C.R.D. BOOK 4081, PAGE 0877	(1317) 12" RCP INV.=35.4'







KAISER Jaise SIGNATURE

PURSUANT TO RSA 676:18, III:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS ON WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

> John Kaiser _____L.L.S. **#**937 12/03/24 __DATE _____

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

TAX MAP 108, LOT 39 GIBBS OIL COMPANY LTD 6 KIMBALL LANE LYNNFIELD, MA 01940 S.C.R.D. BOOK 2096, PAGE 0087

VGC

— OHW — _____

TAX MAP 108, LOT 66 GEORGE K. YORK PO BOX 148 CENTER STRAFFORD, NH 03815 S.C.R.D. BOOK 1801, PAGE 0205

OHW-

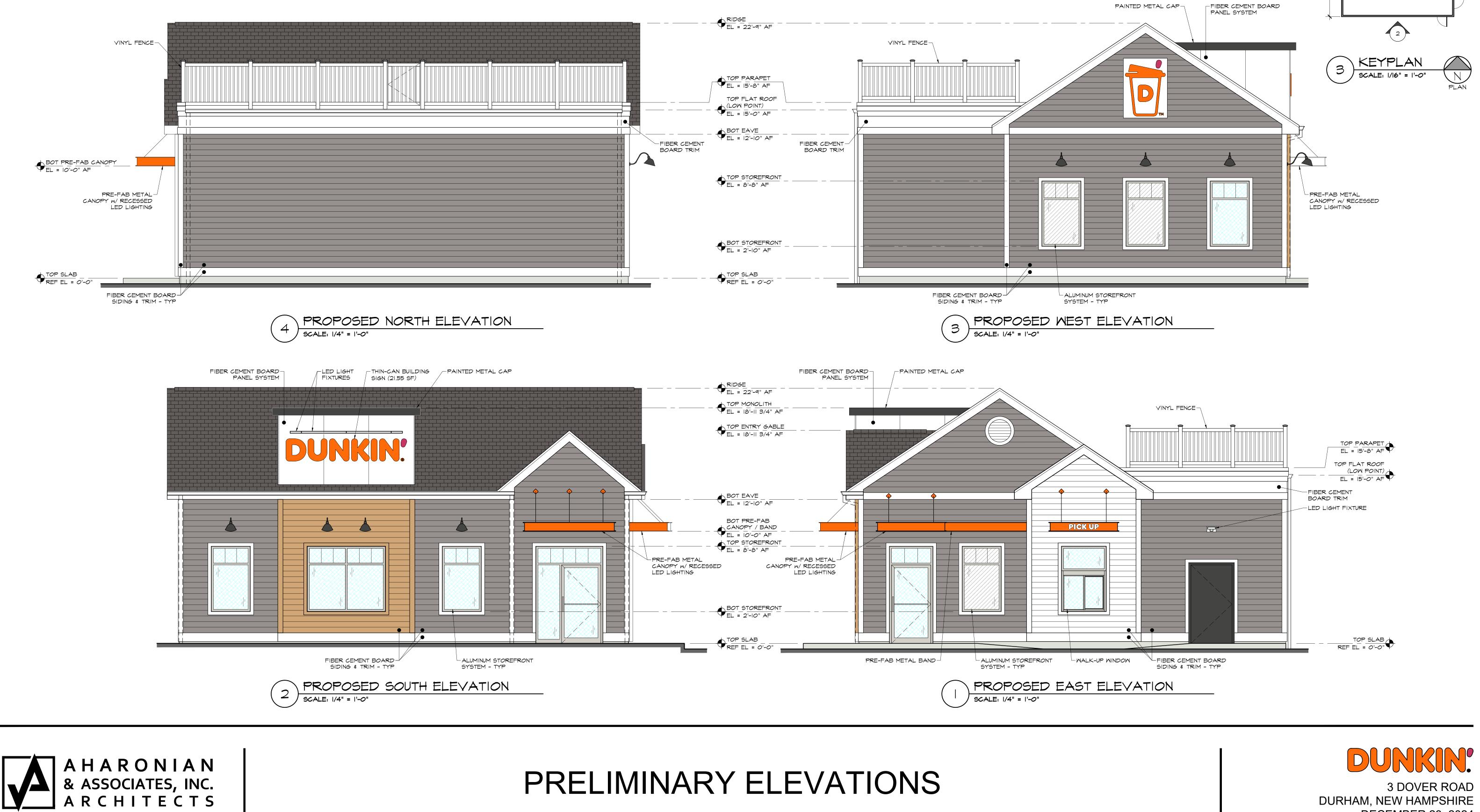
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	_

LEGEND				
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<u> </u>	RETAINING	WALL		
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OHW	OVERHEAD			
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an internet	ROCK/BOUI			
	CONIFEROU			
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EP GRAN.	EDGE OF F GRANITE	AVEMENT		
PVC	POLYVINYL			
RCP RET. WALL	REINFORCEI RETAINING	WALL		
R.S.F. SWL	RAILROAD S		D	
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VCC	VERTICAL C			
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EXISTING	G CON	DITIO	NS PLA	٨N
	LAND	D OF		
JESP	ENTER	PRISE	S LLC	
TA	X MAP 1	08, LOT :	38	
	3 DOVE	R ROAD		
DURH	IAM, NEV	V HAMPS	HIRE	
1 11/01/04				
1 11/01/24 NO. DATE		ENCE UTILIT	Y LINES	J.F.K. BY
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DRAWN BY: J.R	.P.	DATE: SEP	TEMBER 10,	2024
J.F	.к.		88024	4
CHECKED BY:		DRAWING N		
JOB NO. 880)2	SHEET 1	OF 1	
		OU	CET)
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IRVEY当 Serving Your Professional Surveying & Mapping Needs 102 Kent Place, Newmarket, NH 03857 (603) 659-6560 Offices in Bedford & Keene, NH and Kennebunk, ME http://www.doucetsurvey.com



- ZONE: COURTHOUSE (C)
- NO SIGN SHALL PROJECT ABOVE THE ROOF OR PARAPET LINE OF A BUILDING. SIGNS MAY BE ILLUMINATED ONLY BY STATIONARY EXTERIOR WHITE LIGHT SOURCES.
- EACH BUSINESS ESTABLISHMENT WILL BE ALLOWED A MAXIMUM OF 48 SQUARE FEET OF TOTAL SIGNAGE. THIS CAN BE COMPOSED OF ANY COMBINATION OF SIGNS IN ACCORDANCE WITH THIS ORDINANCE.





4

40'-0"

PROPOSED DUNKIN'

1,520 SF

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~PAVEL	0.2 [†] 0.2		^{>} [†] 0.6 [†] 0		⁺ 4.9	WM-2 MH: 10				00.20				12.8 WM-1 MH: 10	8.1	2.5	1.1	0.9	1.4 	1.3	1.5	1.6	1. ФМ-Т МР <mark>б.е</mark>		⁺ 0.1
		[†] 0.4).9 ().9 ([†] 5.6	WM-2 MH: 10							1	[†] 9.1	⁺ 6.4	⁺ 2.4	[†] .1	⁺ 0.9	⁺ 1.3	[†] .4		[†] .6	1.0 [†] 0.4	ŧ [†] 0.2	⁺ 0.1
	[†] 0.2	[†] 0.3	0.6 t		⁵ .3	///	[]] . 2							5.2 • DL-1	⁺ 4.0	[†] 2.0	[†] 1.1	[†] 0.9	⁺ 1.0 _	[†] 1.2	[†] 1.5	1.4	0.8 0.3	3 [†] 0.1	⁺ 0.1
(SEE NOTE		[†] 0.3	0. 5 to	1.7	⁺ 4.3	WM-2 MH: 10			~~C(ONC. WÁ	alkway~	⊿ . ⊲		* <u>8</u> H:	10 ⁺	[†] 1.6	1.0	0.8	⁺ 0.8	⁺ 1.0	[‡] 1.1	¹ .1	0.7 0.3		⁺ 0.1
	[†] 0.1	⁺ 0.2	[†] 0.3 † ₀		[‡] 2.0									⁺ 3.0	⁺ 2.4	1.4	⁺ 0.8	[†] 0.7	⁺ 0.7	⁺ 0.8	⁺ 0.9	[†] 0.9	[†] 0.5 [†] 0.2		RET. V 0.0
	[†] 0.1	⁺ 0.1	Ū		[†] 0.7].			→ ⁺ 3.4 • DL-1	⁺ 2.4	1.3	[†] 0.8	⁺ 0.6	⁺ 0.6	⁺ 0.7	⁺ 0.7	[†] 0.7	†0.4 †0.1	2 [†] 0.1	⁺ 0.0
~SEE NOT	E [†] 01£D∼	[†] 0.2	[†] 0.5 † ₀	1.7	[†] 0.2		WM-2	↓ w	M wm-		• WM-2		Δ ×		10 [±] 2.5	[†] 1.3	[†] 0.7	⁺ 0.6	⁺ 0.6	⁺ 0.6	⁺ 0.6	[†] 0.5	0.4 0.1	2 [†] 0.0	[†] 0.0
	[†] 0.1	[†] 0.1	[†] 0.3 † ₀	0.5	[†] 1.5	⁺ 3.6	MH _{5.3} 0		H: 1 [†]₫∕<u>1</u>2 H:		M병:110		DĽ <u>3</u> 12 MH: 10	3.0	[†] 1.7	[†] 1.0	⁺ 0.6	[†] 0.5	⁺ 0.5	[†] 0.5	[†] 0.5	[†] 0.4	[†] 0.3 [†] 0.	2 [†] 0.0	⁺ 0.0
	[†] 0.1	[†] 0.1	[†] 0.1 [†] 0	1.2	[†] 0.3	[†] 0.6	[†] 0.9	1 .1	[†] 1.2	¹ .2	PVĊ F	LUSH		[^] _^ ¹ .6			[†] 0.5	⁺ 0.4	⁺ 0.4	• 0.4 P)LD ¥IGHT OLE 0E4ASE	0.4	/ i:/ /\i:/	1 [†] 0.0	
	[†] 0.0	[†] 0.1										⁺ 0.9											[†] 0.2	1 0.0	
	[†] 0.0	[†] 0.1					4	A	Da	р' : 		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	CONC	JEWALK	,									1 ⁰ .0	
	[†] 0.0	⁺ 0.0						K	<u> </u>		P		VG										⊲	0.0	. 0.0



Luminaire Schedule										
Symbol	Label	Qty	Part Number							
\bigcirc	DL-1	L-1 3 Peachtree Lighting # 4B								
	PM-T4 2 Xtralight # VNTS-5000L-									
₽D	WM-1	1 WAC Lighting # WP-LED22								
	WM-2	7	TMS Lighti	TMS Lighting # 18-15LED-						
Calculation Sur	nmary									
Label				CalcType						
Overall Site Lighting Points Illuminanc										
Property Line Illuminance										
Parking Area Illuminance										

1 Scale: 1"=10'-0"

Fc 0.18 0.7 0.0 N.A.

Fc 1.06 8.1 0.3 3.53

ROUTE 108 - DOVER ROAD (PAVED, PUBLIC, VARIABLE WIDTH)

'		,								Total Wates		boo Rating
Lighting # 4BLRD-12-RWD-30K-80-LHW-WL-120							Single		0.950	14.1	849	B1-U0-G0
* VNTS-5000L-30K-DIM-4M-N-BZ-XX-HSS							Single		0.950	36	3514	B0-U0-G1
ing # WP-LED227-30-aBZ							Single		0.950	28	2049	B1-U1-G0
ing # 18-15LED-30K-120-WM-XX-DIML					Single		0.950	15	1396	B1-U2-G1		
								NOT	TES:			
	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	А.	A LIGHT	LOSS FACTOR OF 0.9	950 HAS BEEN APPLIED TO FIXT	URES UNLESS OTHERWISE NOT
	Illuminance	Fc	1.12	12.8	0.0	N.A.	N.A.				ULE FOR LIGHT LOSS FACTOR A	

Arrangement

N.A.

27.00

A. A LIGHT LOSS FACTOR OF 0.950 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NO REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.

Total Luminaire Lumens

B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORM

C. CALCULATION POINTS ARE TAKEN AT GRADE.

LLF Total Watts

D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED E. BASIS OF DESIGN PROVIDED BY SK & ASSOCIATES. FOR FURTHER INFORMATION, PLEASE CONTACT MAIN OFFICE AT (781) 821-1700.

BUG Rating

	PROJECT:	
	Dunkin ' - 3 Dover Road Durham, Site Lighting Plan, Photometrics &	
	CONTACT:	PROJECT NUME
	Andrew DeGouff	DATE: February
	Applications / Photometrics Team Lead (781) 232-5378	REVISION:
	ADeGouff@sk-assoc.com	SCALE: As Noted
		DRAWN BY: AD
OTED.	SK & Associates	DRAWING NUM
ATION.	<i>Experience the light</i> ™ CT MA ME NH RI VT 20 Carver Circle Canton, MA 02021 (781) 821-1700	
	PREPARED FOR:	

	PROJECT NUMBER:	
d	DATE: February 18, 2025	
u	REVISION:	
	SCALE: As Noted	
	DRAWN BY: AD	CHECKED BY: AD
	DRAWING NUMBER:	
		_

