

Proposed Restaurant at 3 Dover Road Site Plans 3 Dover Road Durham, New Hampshire 03824 Tax Map 108, Lot 38

Site Plans Index

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Reference Plans Index

No.	Drawing Title	Latest Issue
1	Existing Conditions Plan (Doucet Survey, LLC)	November 1, 2024
2	Exterior Elevations (Aharonian & Associates, Inc.)	December 23, 2024
3	Site Lighting Plan (SK & Associates)	February 18, 2025



LOCATION MAP
250 0 250 500
SCALE IN FEET

PLANNING BOARD APPROVAL BLOCK	
_____	_____
SIGNATURE	DATE



TEC, Inc.

282 Merrimack St., 2nd Floor
Lawrence, MA 01843
(978) 794-1792
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169 Ocean Boulevard
Unit 101, PO Box 249
Hampton, NH 03842
(603) 601-8154

DESIGNED BY: MWP
DRAWN BY: PJG
CHECKED BY: CPR
DATE: 2/19/2025
SCALE: AS NOTED

OWNER/APPLICANT

Tropic Star
Development, LLC
321 D Lafayette Road
Hampton, NH 03842

REVISIONS

ISSUED FOR

Permitting

PROJECT TITLE

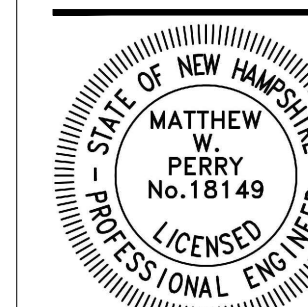
Proposed Restaurant
at 3 Dover Road

PROJECT LOCATION

3 Dover Road
Durham, NH 03824

DRAWING TITLE

Title &
General Notes



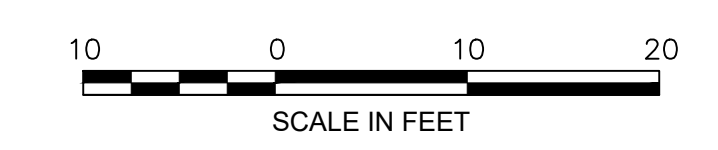
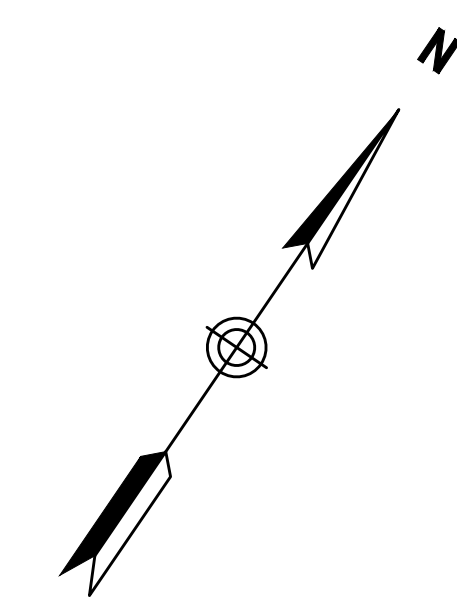
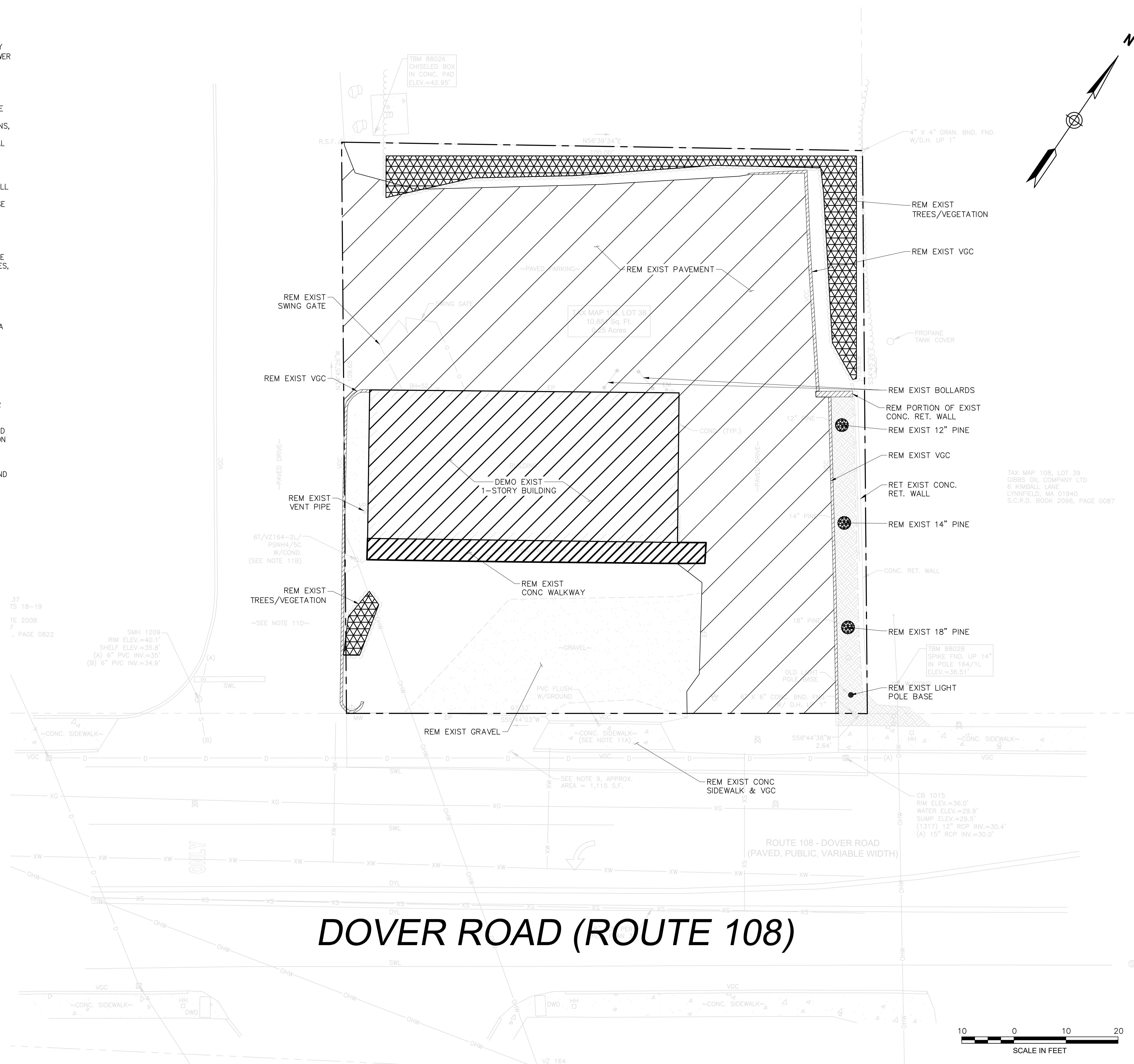
PROJECT NO. T1573
TEC CAD FILE T1573_COV
DRAWING NO.

C-1

SHEET 1 OF 11

DEMOLITION NOTES:

- ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF EACH UTILITY PRIOR TO REMOVING OR RELOCATING. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
- THE CONTRACTOR SHALL DISCONNECT ALL UTILITIES FROM THE BUILDING PRIOR TO DEMOLITION.
- THE CONTRACTOR IS TO REMOVE AND TO DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMITS OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS, AND UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING FOOTPRINT, TEN FEET BEYOND AND BENEATH PROPOSED EXTERIOR COLUMNS, AND CONFLICTING WITH ANY PROPOSED SITE WORK, PER DRAWINGS AND SPECIFICATIONS.
- LOCATIONS OF UTILITY SERVICES TO THE EXISTING BUILDINGS SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND CUT AND CAPPED AT THE MAIN. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANIES' STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- THE CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND STATUTES.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED PRIOR TO DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAIN LINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
- ALL EXISTING DRAINAGE STRUCTURES SHALL REMAIN IN PLACE AND FUNCTIONAL UNTIL THE PROPOSED DRAINAGE SYSTEM IS OPERATIONAL, UNLESS OTHERWISE NOTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 72 HOURS PRIOR TO BEGINNING ANY DEMOLITION.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.



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 Hampton, NH 03842

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PROJECT TITLE
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION
**3 Dover Road
 Durham, NH 03824**

DRAWING TITLE
Demolition Plan

PROJECT NO. T1573
 TEC CAD FILE T1573_DEMO
 DRAWING NO. **C-3**
 SHEET 3 OF 11

TRAFFIC SIGN SUMMARY								
ID NUMBER	SIZE OF SIGN (in)		SYMBOL	TEXT DIMENSIONS (in)			NUMBER OF SIGNS REQUIRED	NUMBER OF POSTS/BOLLARDS REQUIRED
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ROUTE MARKER		
R1-1	30	30		SEE MUTCD SIGN STANDARDS			2	2
R7-8	12	18					2	2 POSTS
R7-8SP	12	6					1	0
R3-1	24	24					1	0
R3-2	24	24					2	1
R10-20A	24	18					1	0

* HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH TOWN OF DURHAM STANDARDS, AND ADA REGULATIONS.
 ** VAN SIGNS SHALL BE LOCATED AT ALL ADA SPACES. PER ADA ACCESSIBILITY GUIDELINES (AMENDED 2010) ANY SPACE WITH A VAN SIGN IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS.

PARKING TABLE		
PARKING REQUIREMENTS	REQUIRED	PROVIDED
RESTAURANT: 1,520 SF	1 SPACE / 100 SF OF SEATING AREA, PLUS 1 PER EMPLOYEE ON MAXIMUM SHIFT 7 SPACES	15 SPACES
HANDICAP ACCESSIBLE SPACES	2 SPACES	2 SPACES
STALL WIDTH	9 FT	9 FT
LENGTH OF SPACE	18 FT	18 FT
AISLE WIDTH	24 FT	24 FT

ZONING TABLE		
ZONING DISTRICT	COURTHOUSE DISTRICT (CH)	
PROPOSED USE	RESTAURANT*	
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
LOT SIZE (SF)	5,000 (0.11AC)	10,881 (0.25AC)
MIN LOT FRONTAGE (FT)	50	100
FRONT YARD SETBACK (FT)	15	15
REAR YARD SETBACK (FT)	15	55
SIDE YARD SETBACK (FT)	10	10
MAX BUILDING HEIGHT (FT)	35	<35
MAX IMPERVIOUS AREA (%)	80	78

* ALL DRIVE-THROUGH FACILITIES ARE PROHIBITED OTHER THAN AS AN ACCESSORY TO A FINANCIAL INSTITUTION.

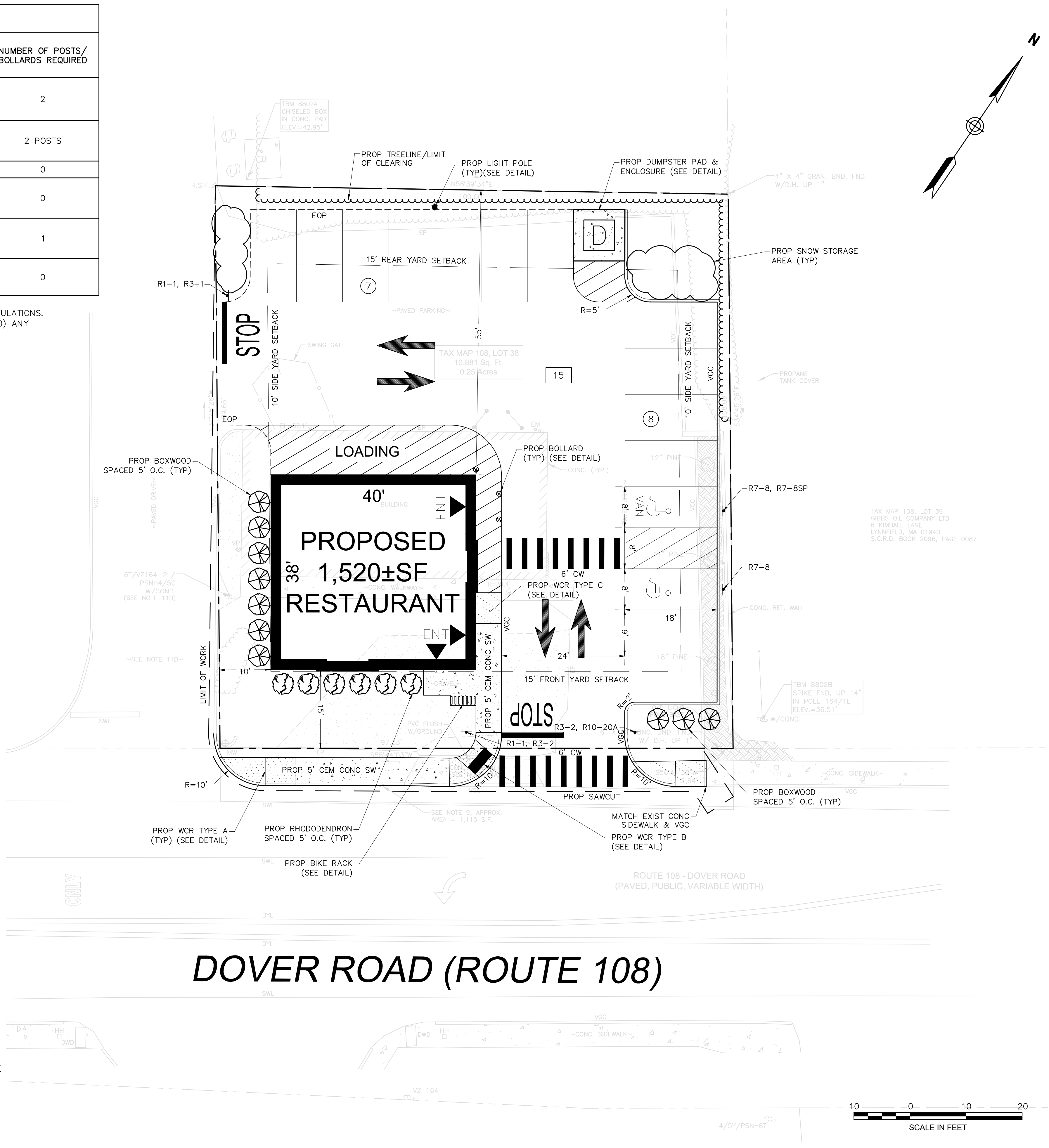
NOTES:

- PAVEMENT MARKINGS SHOWN FOR REFERENCE ONLY.
- SNOW STORAGE TO BE LOCATED IN LANDSCAPED AREAS. EXCESS SNOW TO BE REMOVED FROM SITE.
- THE SITE IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE EX) (MAP 33017C0318E, EFF. 9/30/2015.)
- THE EXISTING BUILDING AREA IS 1,700 SF WITH RETAIL USE.
- TOTAL AREA OF DISTURBANCE IS 11,827 SF.
- VARIANCE OBTAINED ON 2/11/25 GRANTING RELIEF FROM ARTICLE XII.1 SECTION 175-54 TO PERMIT PARKING SPACES (STRUCTURE) TO BE LOCATED WITHIN THE FRONT, SIDE, AND REAR SETBACKS.
- WAIVER REQUESTED FROM SECTION 5.8.9 OF THE SITE PLAN REGULATIONS SEEKING RELIEF FROM THE REQUIRED FOUNDATION PLANTING STRIP.
- PROPOSED RESTAURANT HAS 8 SEATS.

PLANTING TABLE			
COMMON NAME	SCIENTIFIC NAME	SYMBOL	QUANTITY
RHODODENDRON, ROSEBAY	RHODODENDRON MAXIMUM		6
BOXWOOD	BUXUS		10

LANDSCAPING NOTES:

- AREAS NOT OCCUPIED BY BUILDINGS OR OTHER STRUCTURES, PARKING, LOADING, ACCESS WAYS, LANDSCAPING MATERIALS, NATURAL VEGETATION OR OTHER NATURAL FEATURES SHALL BE LEFT IN THEIR NATURAL VEGETATED STATE WHERE DESIRABLE. AREAS DISTURBED DURING CONSTRUCTION THAT OTHERWISE WILL NOT BE OCCUPIED BY ONE OF THE ABOVE STRUCTURES OR ELEMENTS SHALL BE REPLACED WITH A MINIMUM OF 6 INCHES OF SUITABLE TOPSOIL AND REPLANTED AS APPROPRIATE.
- EXISTING INVASIVE PLANT SPECIES ON THE SUBJECT PROPERTY SHALL BE REMOVED AND DESTROYED.



DOVER ROAD (ROUTE 108)



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 CHECKED BY: CPR
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OWNER/APPLICANT
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 Hampton, NH 03842

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PROJECT TITLE
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION
**3 Dover Road
 Durham, NH 03824**

DRAWING TITLE
Layout & Materials Plan

PROJECT NO. T1573
 TEC CAD FILE T1573_LM
 DRAWING NO. **C-4**
 SHEET 4 OF 11

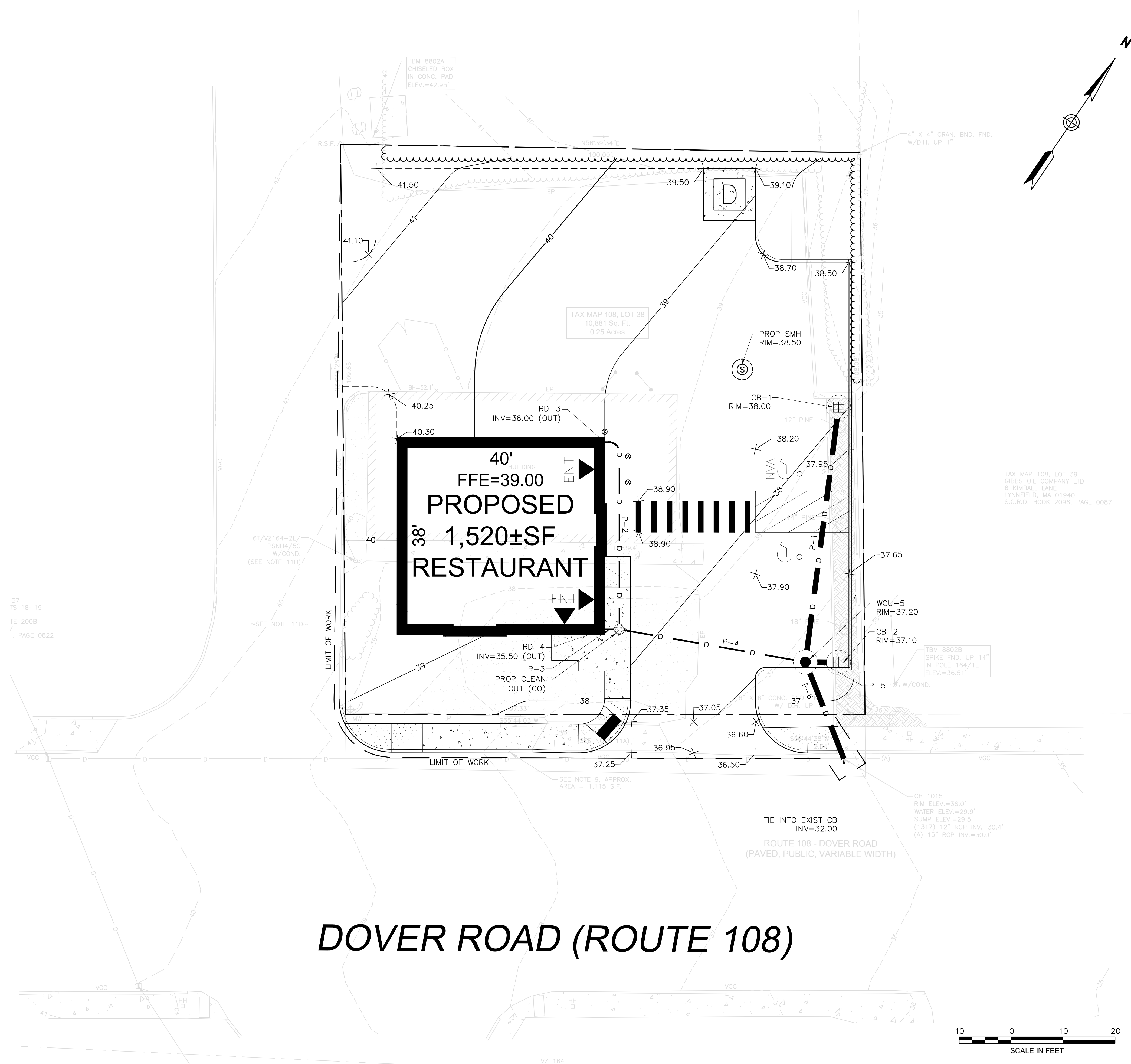
DRAINAGE PIPING TABLE			
	SIZE	LENGTH	SLOPE (FT/FT)
P-1	12"	45'-0"	0.010
P-2	3"	37'-0"	0.015
P-3	3"	2'-0"	0.010
P-4	3"	34'-0"	0.010
P-5	12"	2'-0"	0.050
P-6	12"	17'-4"	0.050

DRAINAGE STRUCTURE INVERTS:

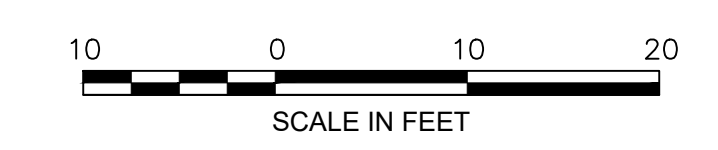
CB-1 INV=34.00 (OUT)	RD-3 INV=36.00 (OUT)	WQU-5 INV=33.55 (CB-1) INV=33.00 (CB-2)
CB-2 INV=33.10 (OUT)	RD-4 INV=35.50 (OUT)	INV=35.15 (CO) INV=32.90 (OUT)

NOTES:

1. MATCH EXISTING GRADES AT LIMIT OF WORK.
2. ALL DRAINAGE PIPES SHALL BE 12" HDPE AND ALL ROOF DRAINS SHALL BE 3" HDPE UNLESS OTHERWISE NOTED.



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PROJECT TITLE
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION
**3 Dover Road
 Durham, NH 03824**

DRAWING TITLE
**Grading &
 Drainage Plan**

PROJECT NO. T1573
 TEC CAD FILE T1573_GD
 DRAWING NO. **C-5**
 SHEET 5 OF 11

UTILITY SERVICE PROVIDERS	
UTILITY	PROVIDER
ELECTRIC	EVERSOURCE, NHEC
GAS	UNITIL
WATER & SEWER	TOWN OF DURHAM

SEWER DESIGN FLOW CALCULATIONS:

DESIGN FLOWS ARE BASED UPON THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES, ENV-WQ 1000; INDIVIDUAL SEWAGE DISPOSAL SYSTEMS, TABLE 1008-1 UNIT DESIGN FLOW FIGURES.

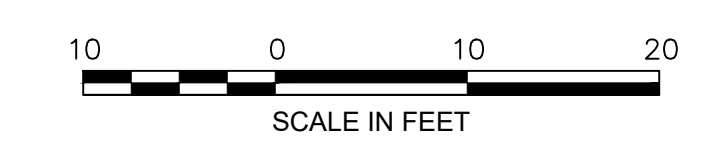
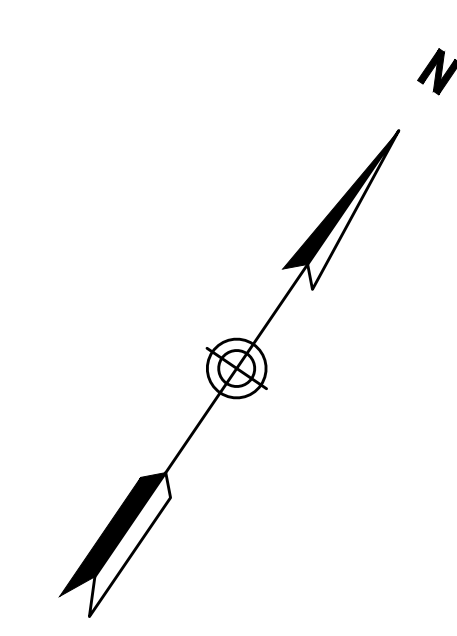
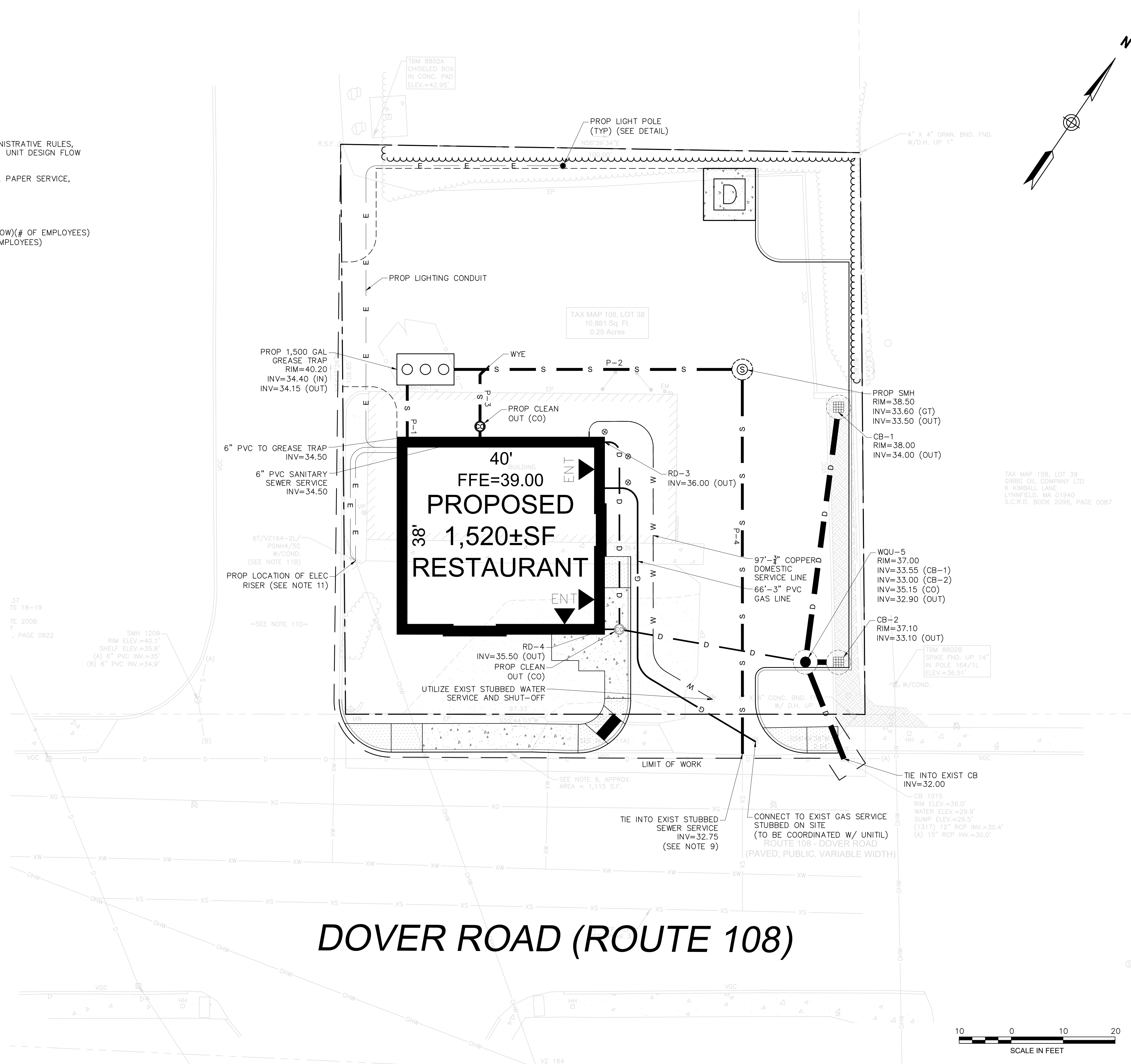
UNIT DESIGN FLOW FOR FOOD SERVICE: CAFETERIA OR TABLE SERVICE, PAPER SERVICE, PLUS TOILET AND KITCHEN WASTE:
 20 GPD/SEAT PLUS 20 GPD/EMPLOYEE
 NUMBER OF SEATS: 8
 NUMBER OF EMPLOYEES: 5

DESIGN FLOW = (UNIT DESIGN FLOW)(# OF SEATS) + (UNIT DESIGN FLOW)(# OF EMPLOYEES)
 = (20 GPD/SEAT)(8 SEATS) + (20 GPD/EMPLOYEE)(5 EMPLOYEES)
 = 260 GPD

SEWER PIPING TABLE			
PIPE	SIZE	LENGTH	SLOPE
P-1	6" PVC	10'-0"	0.010
P-2	6" PVC	54'-0"	0.010
P-3	6" PVC	10'-0"	0.010
P-4	6" PVC	72'-0"	0.010

NOTES:

1. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND WHERE FEASIBLE THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
2. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
3. ALL PROPOSED UTILITY LOCATIONS ARE APPROXIMATE. FINAL TIE IN LOCATIONS TO BE COORDINATED WITH TOWN OF DURHAM MUNICIPAL SERVICES DEPARTMENT AND PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
4. LOCATIONS OF EXISTING UTILITIES SHALL BE FIELD LOCATED BY THE CONTRACTOR.
5. SEWER PIPES SHALL BE 6" SDR 35 PVC.
6. ALL DRAINAGE PIPES SHALL BE 12" HDPE AND ALL ROOF DRAINS SHALL BE 3" HDPE UNLESS OTHERWISE NOTED.
7. EXIST SEWER SERVICE STUBBED ON-SITE SHALL BE EVALUATED FOR RE-USE. IF UNABLE TO BE RE-USED, A NEW SEWER SERVICE CONNECTION SHALL BE MADE. IF NECESSARY, NHDES SEWER CONNECTION PERMIT TO BE SUBMITTED AT LEAST 30 DAYS PRIOR TO CONSTRUCTION.
8. SEWER CLEAN OUTS INTERNAL TO BUILDING.
9. INVERT ELEVATION AND PIPE SIZE OF STUBBED SEWER SERVICE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
10. GREASE TRAP SHALL BE VENTED TO ROOF.
11. PROPOSED RISER FOR ELECTRIC SERVICE IS APPROXIMATE. IF POSSIBLE, UTILIZE EXISTING RISER TO BUILDING. FINAL LOCATION TO BE COORDINATED W/ EVERSOURCE AND THE CITY OF DURHAM.



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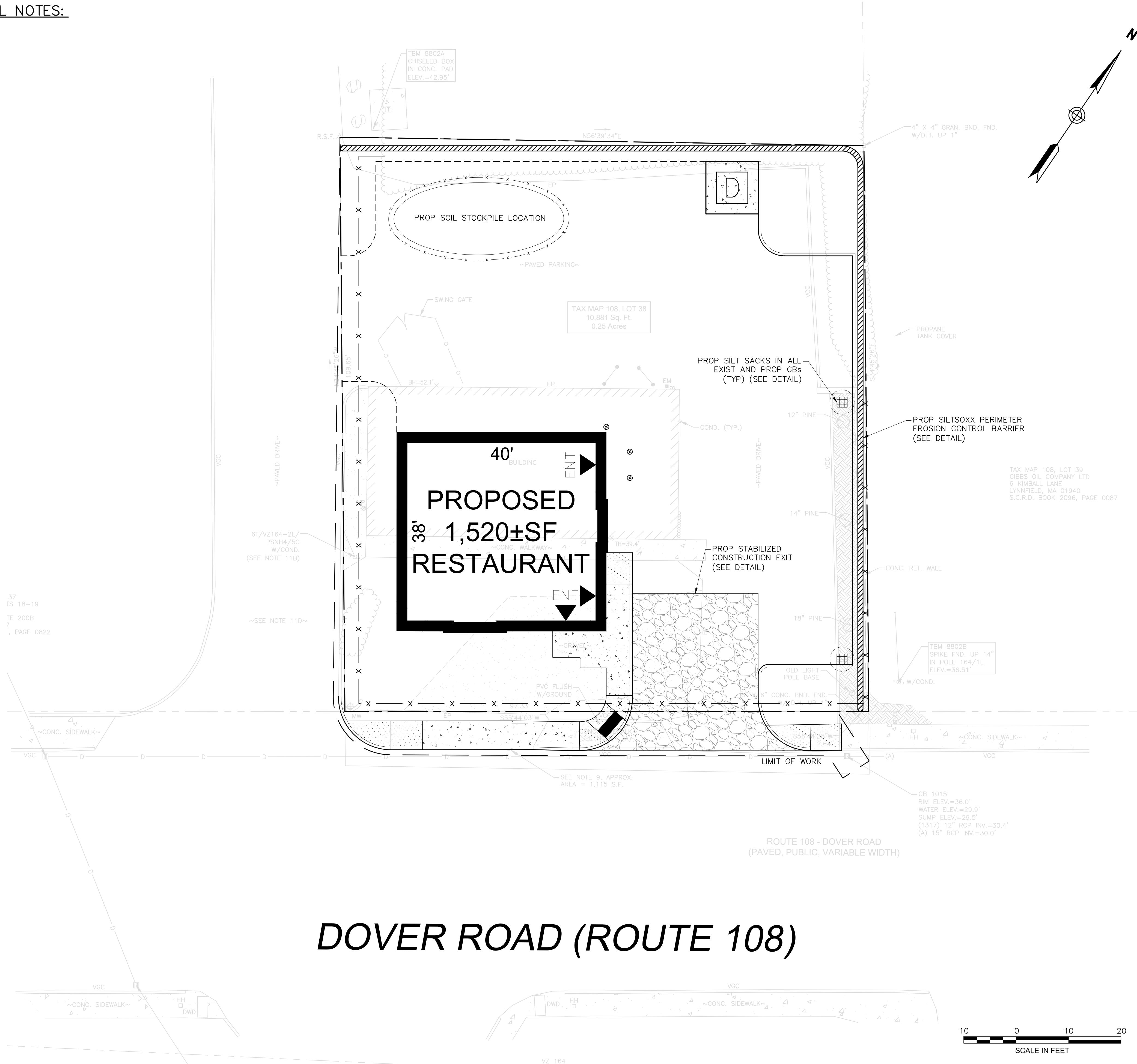
PROJECT LOCATION
**3 Dover Road
 Durham, NH 03824**

DRAWING TITLE
Utility Plan

PROJECT NO. T1573
 TEC CAD FILE T1573_UT
 DRAWING NO. **C-6**
 SHEET 6 OF 11

EROSION AND SEDIMENTATION CONTROL NOTES:

1. PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREA TO BE PROTECTED.
2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
3. RUNOFF SHALL BE CONTROLLED AND CONVEYED INTO STORM DRAINS AND OTHER OUTLETS SO IT WILL NOT ERODE THE LAND OR CAUSE OFF-SITE DAMAGE; SEDIMENT IN RUNOFF SHALL BE TRAPPED BY USING STAKED HAY BALES, COMPOST FILTER TUBES, SILT SACKS, OR SEDIMENTATION TRAPS, OR OTHER APPROVED EROSION CONTROL DEVICES.
4. SEDIMENT BASINS SHALL BE CONSTRUCTED WHERE NECESSARY TO DETAIN RUNOFF AND TO TRAP SEDIMENT DURING CONSTRUCTION.
5. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR HAY BALE.
6. EROSION AND SEDIMENT CONTROLS SHALL BE COORDINATED WITH THE SEQUENCE OF GRADING, DEVELOPMENT AND CONSTRUCTION OPERATIONS; CONTROL MEASURES SHALL BE IN EFFECT PRIOR TO COMMENCEMENT OF EACH INCREMENT/PHASE OF THE PROCESS.
7. SOIL AND OTHER MATERIALS SHALL NOT BE STOCKPILED OR REDISTRIBUTED, EITHER TEMPORARILY OR PERMANENTLY, IN LOCATIONS OR IN SUCH A MANNER AS WOULD CAUSE IMPEDANCE OF ADJUTING BUSINESS OR PROPERTY OWNERS.
8. TOPSOIL SHALL BE STRIPPED FROM DISTURBED AREAS, STOCKPILED IN APPROVED AREAS AND STABILIZED WITH TEMPORARY VEGETATIVE COVER IF IT IS TO BE LEFT FOR MORE THAN THIRTY (30) CALENDAR DAYS; PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED AROUND EACH AREA OF STOCKPILED TOPSOIL.
9. SOIL STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
10. STOCKPILED MATERIAL NOT UTILIZED ONSITE SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
11. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
12. FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
13. A TRACKING PAD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
14. DUST SHALL BE CONTROLLED AT THE SITE.
15. TEMPORARY SEEDING, MULCHING OR OTHER SUITABLE STABILIZATION METHODS SHALL BE USED TO PROTECT EXPOSED SOIL AREAS DURING CONSTRUCTION.
16. PERMANENT SEEDING SHOULD BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
17. PERMANENT VEGETATION AND EROSION CONTROL STRUCTURES, AS NECESSARY, SHALL BE INSTALLED PREFERABLY IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED BUT OTHER WISE NO LATER THAN THE FIRST FULL SPRING SEASON IMMEDIATELY THEREAFTER; THEY SHALL COMPLY WITH THE EROSION AND SEDIMENTATION VEGETATIVE PRACTICES RECOMMENDED BY THE U.S. SOIL CONSERVATION SERVICE.
18. MONITORING AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION SHALL BE REQUIRED.
19. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS. SIMILARLY, STABILIZATION SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAPS/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATIONS.
20. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS. THE APPLICANT'S ENGINEER SHALL SUBMIT WRITTEN CERTIFICATION THAT THIS CONDITION HAS BEEN MET.



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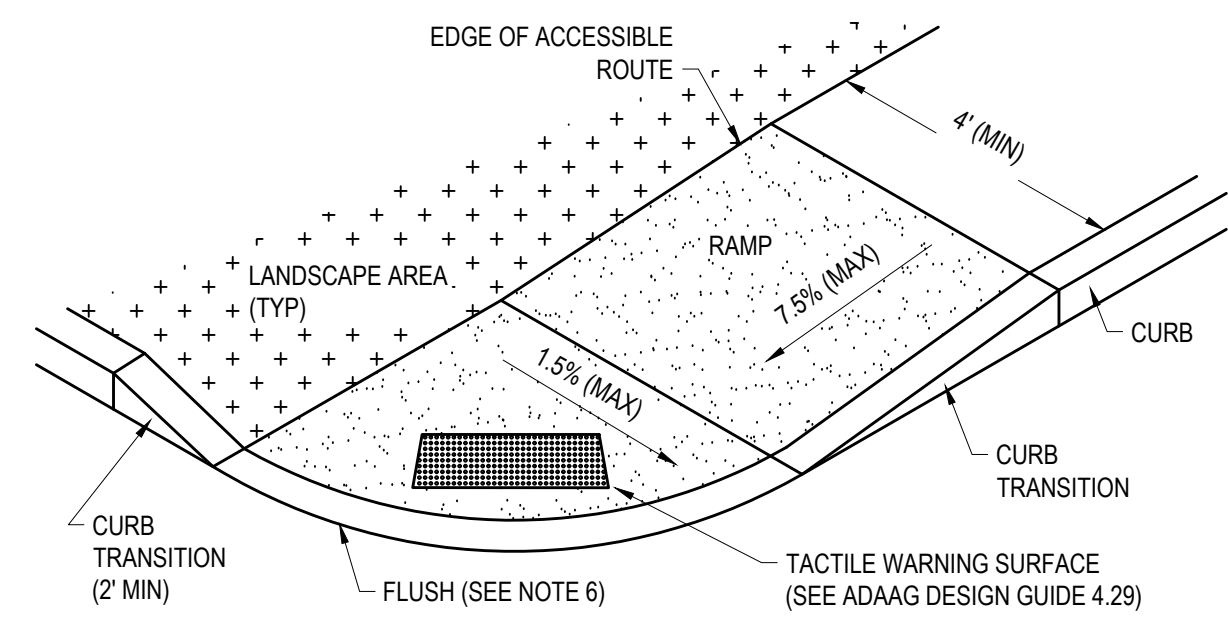
PROJECT LOCATION

**3 Dover Road
Durham, NH 03824**

DRAWING TITLE

Erosion & Sediment Control Plan

PROJECT NO. T1573
TEC CAD FILE T1573_ER
DRAWING NO. C-7
SHEET 7 OF 11

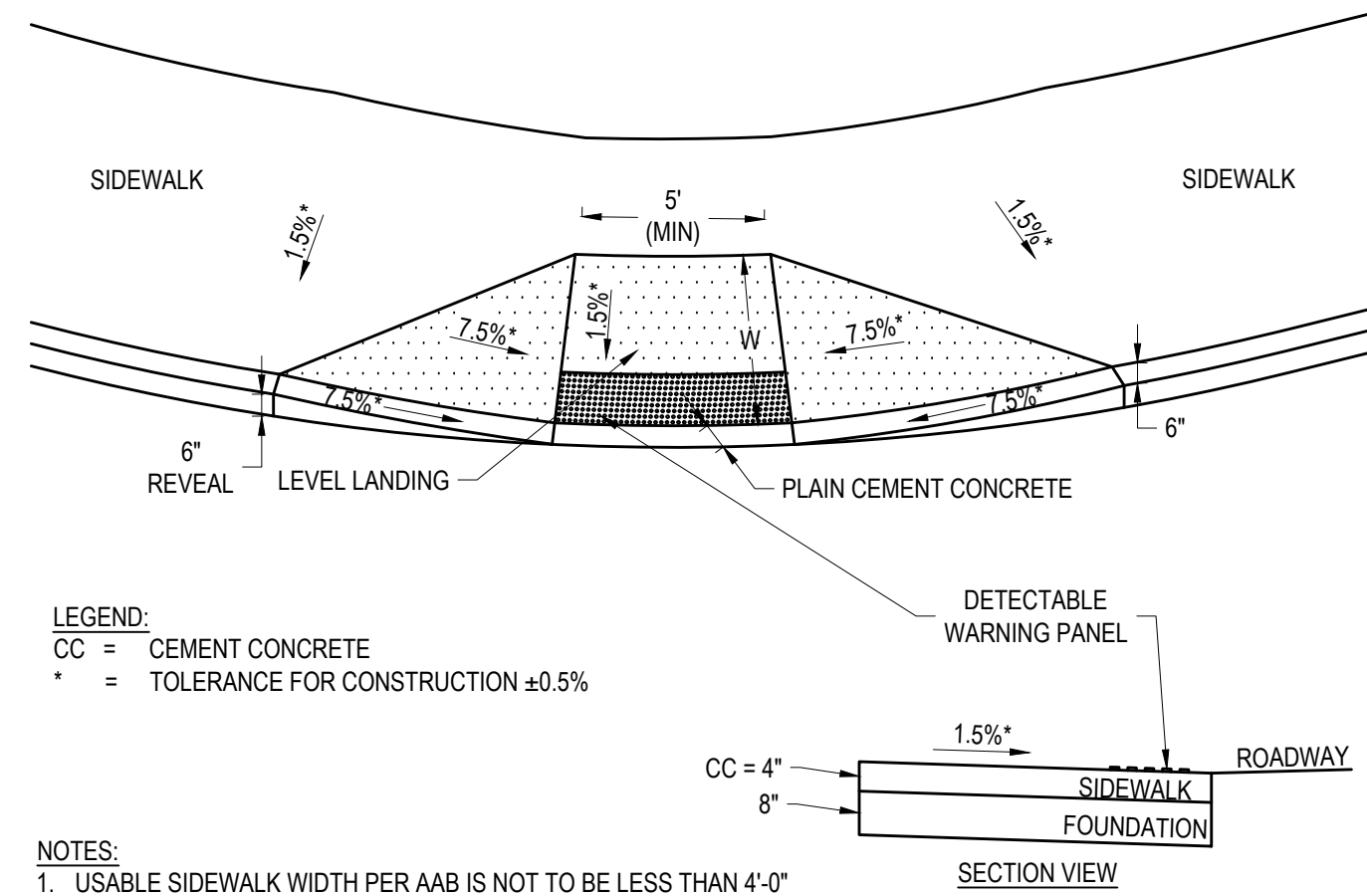


NOTES:

1. MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5% (7.5% FOR CURB RAMPS)
2. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
3. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
4. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
5. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
6. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

WHEELCHAIR RAMP A

N.T.S.



LEGEND:

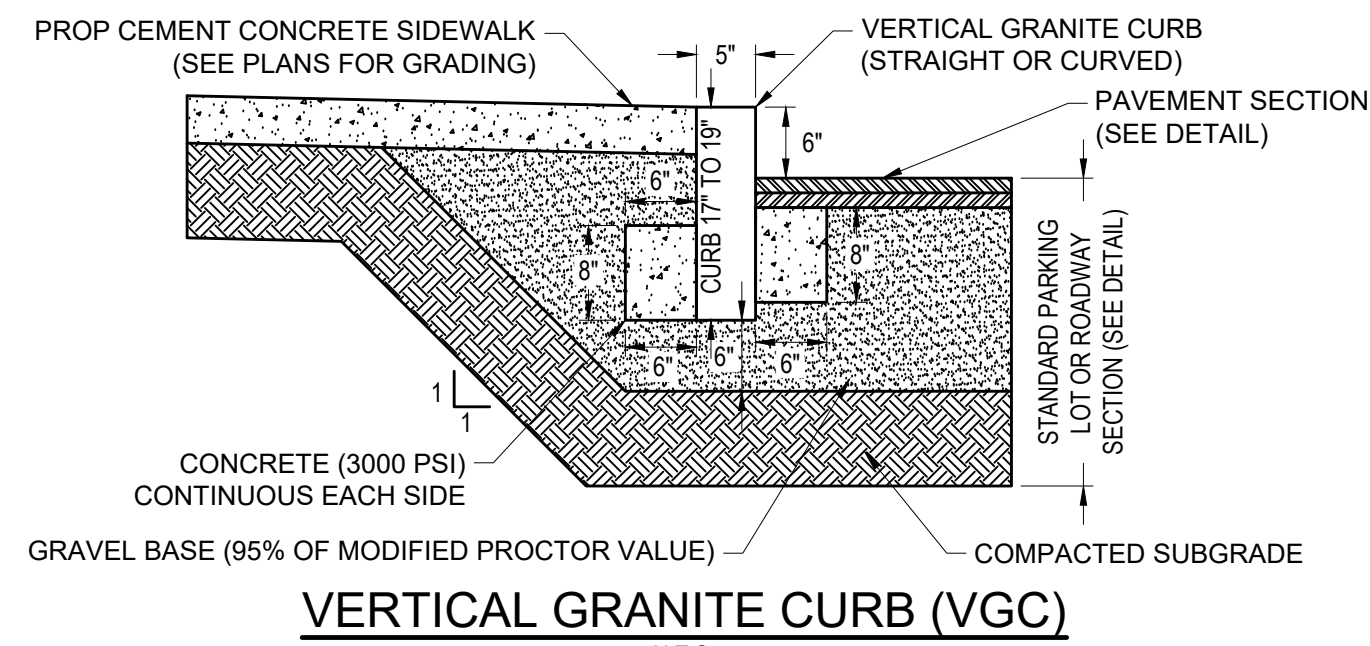
- CC = CEMENT CONCRETE
- * = TOLERANCE FOR CONSTRUCTION ±0.5%

NOTES:

1. USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"
2. ROADWAY GUTTER SLOPE MEASURED IN UPSTATION DIRECTION
3. SEE MASSDOT CONSTRUCTION STANDARD E 107.6.5 FOR DETECTABLE WARNING PANEL DETAILS
4. SEE MASSDOT CONSTRUCTION STANDARD E 107.2.1 FOR ALL OTHER DETAILS

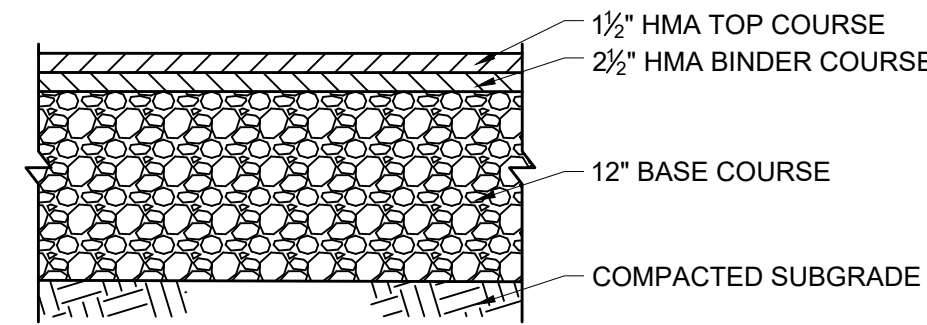
WHEELCHAIR RAMP TYPE B

N.T.S.



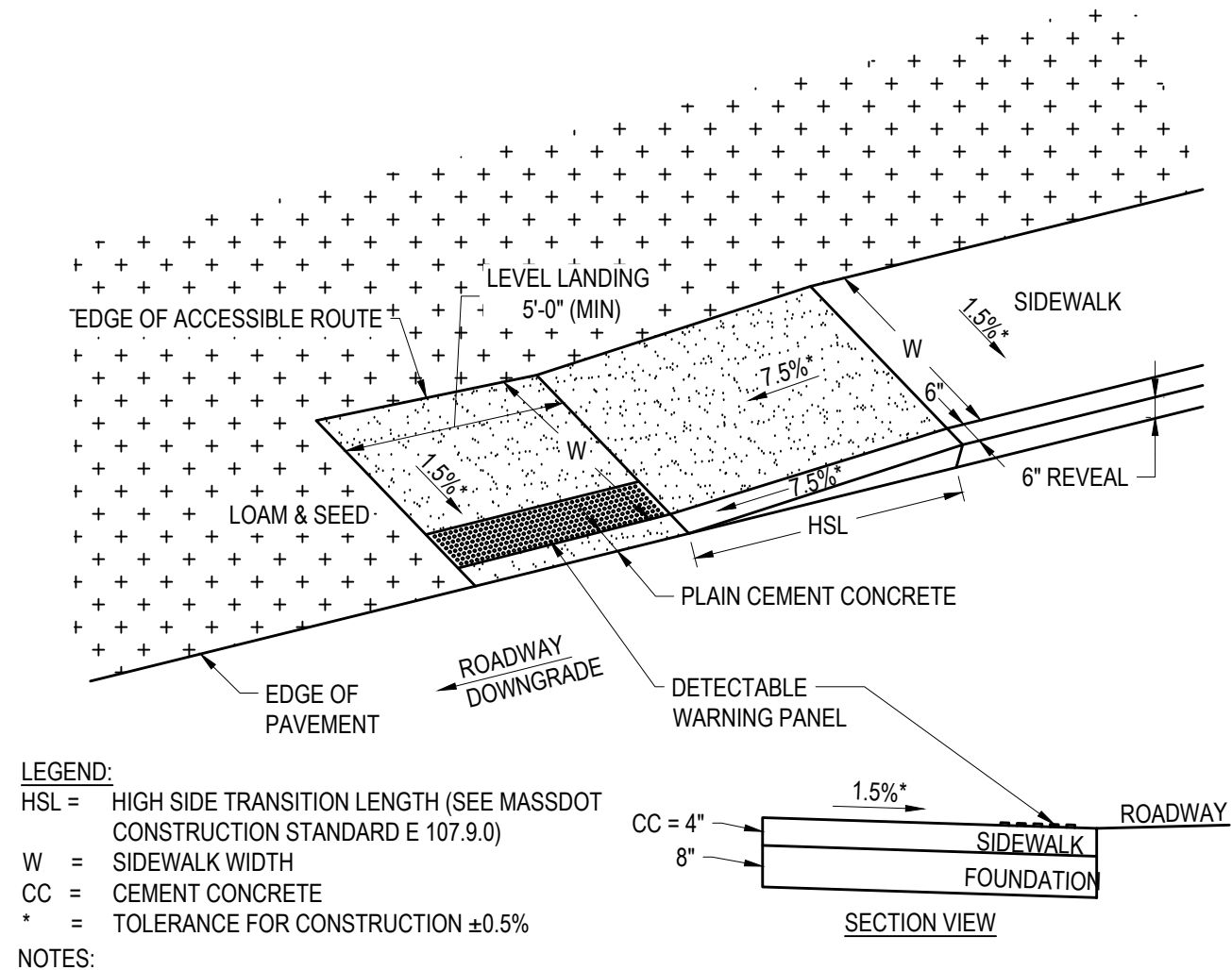
VERTICAL GRANITE CURB (VGC)

N.T.S.



FULL DEPTH PAVEMENT

N.T.S.



LEGEND:

- HSL = HIGH SIDE TRANSITION LENGTH (SEE MASSDOT CONSTRUCTION STANDARD E 107.9.0)
- W = SIDEWALK WIDTH
- CC = CEMENT CONCRETE
- * = TOLERANCE FOR CONSTRUCTION ±0.5%

NOTES:

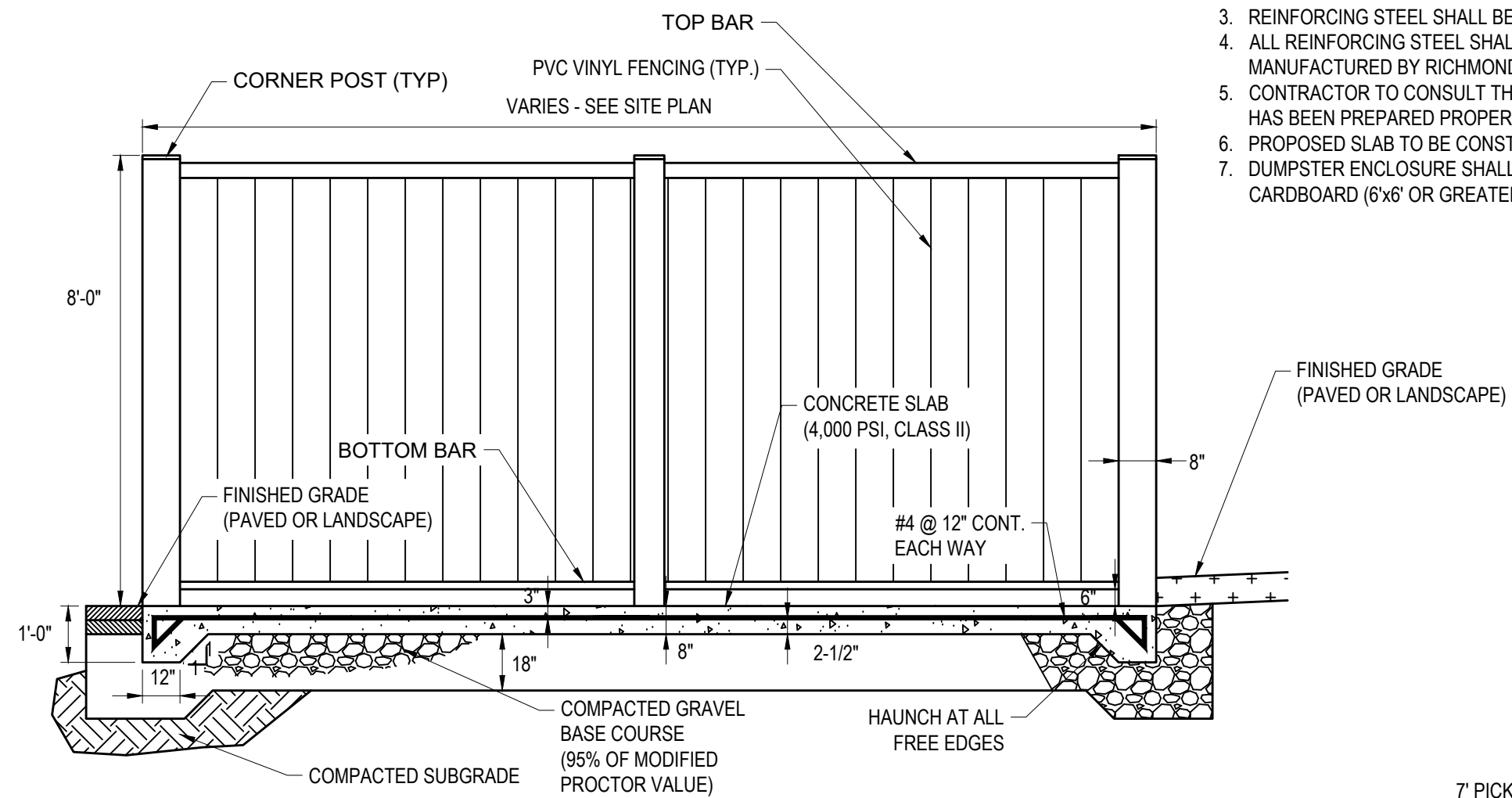
1. USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"
2. ROADWAY GUTTER SLOPE MEASURED IN UPSTATION DIRECTION
3. SEE MASSDOT CONSTRUCTION STANDARD E 107.6.5 FOR DETECTABLE WARNING PANEL DETAILS
4. SEE MASSDOT CONSTRUCTION STANDARD E 107.2.1 FOR ALL OTHER DETAILS

WHEELCHAIR RAMP TYPE C

N.T.S.

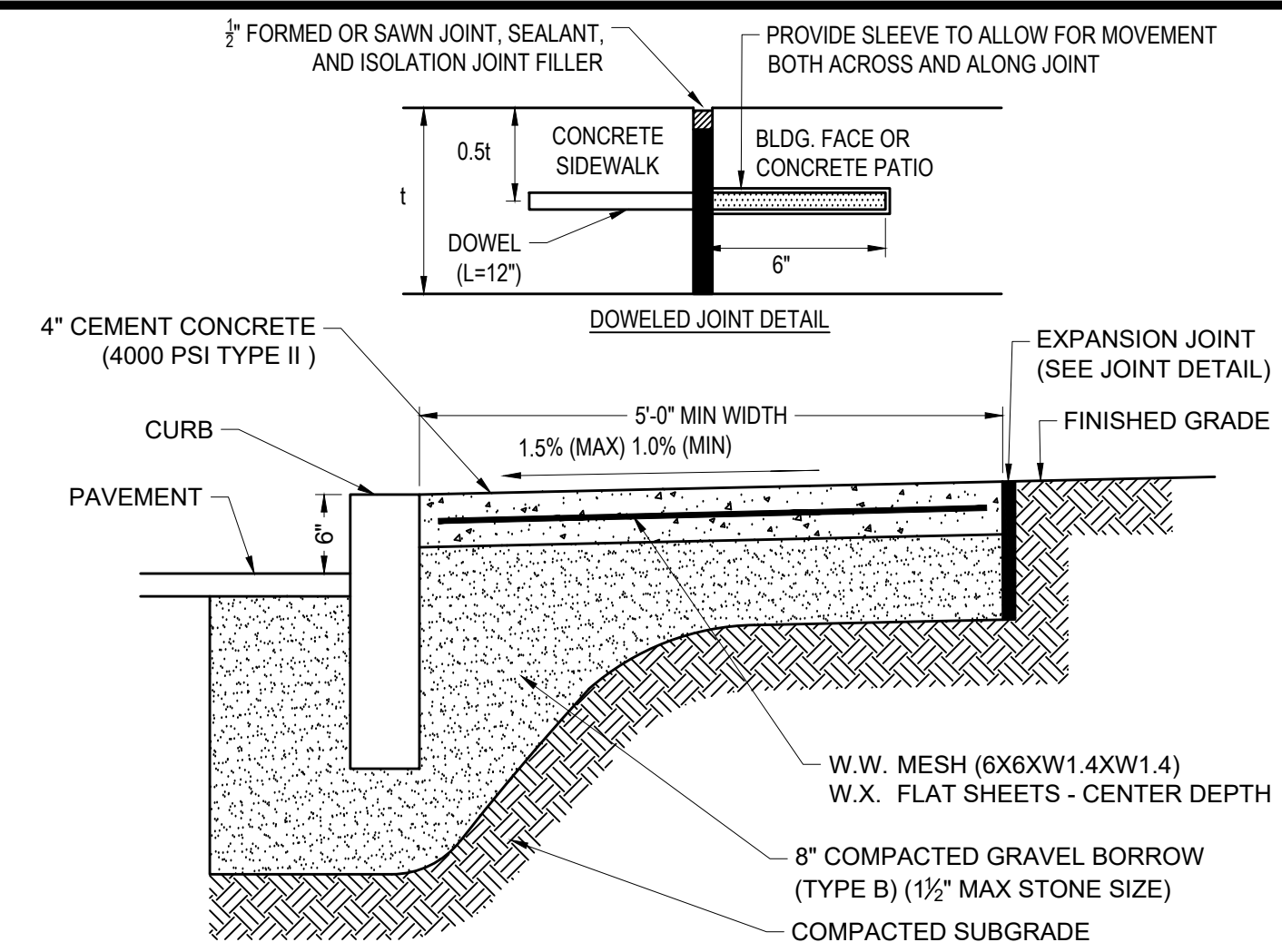
NOTES:

1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
2. MAX. ALLOWABLE SLUMP SHALL NOT EXCEED 4" AND MAX. W/C RATIO SHALL NOT EXCEED 0.45.
3. REINFORCING STEEL SHALL BE ASTM A615 GR 60 DEFORMED BARS (UNCOATED).
4. ALL REINFORCING STEEL SHALL BE SECURED IN A PROPER POSITION ON CHAIRS AS MANUFACTURED BY RICHMOND OR APPROVED EQUAL.
5. CONTRACTOR TO CONSULT THE PROJECTS SOILS ENGINEER TO ENSURE THAT THE BASE COURSE HAS BEEN PREPARED PROPERLY PRIOR TO CONCRETE PLACEMENT.
6. PROPOSED SLAB TO BE CONSTRUCTED TO DRAIN TO MATCH PROPOSED PAVEMENT GRADING.
7. DUMPSTER ENCLOSURE SHALL CONTAIN ONE 8 CUBIC YARD RECEPTACLE FOR TRASH AND CARDBOARD (6'x6' OR GREATER).



ENCLOSED DUMPSTER PAD

N.T.S.

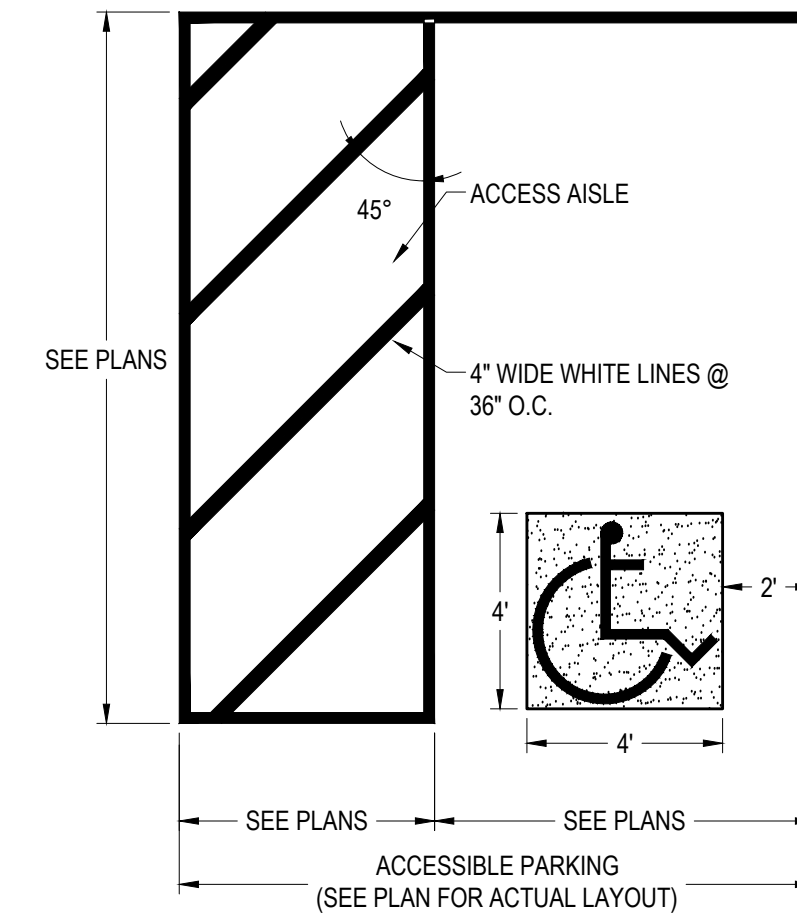


NOTES:

1. PROVIDE A DOWELED CONSTRUCTION JOINT AT ALL DOORWAY LOCATIONS

CEMENT CONCRETE SIDEWALK

N.T.S.

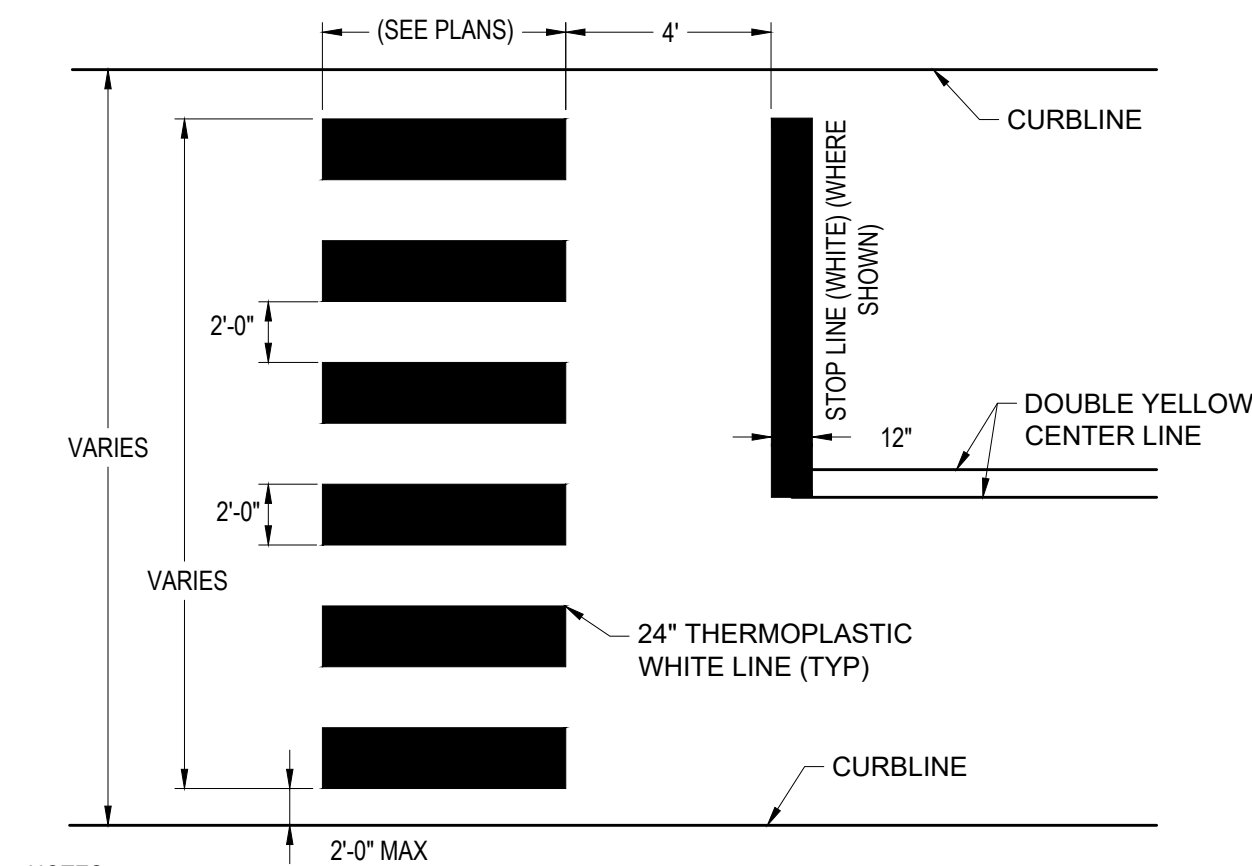


NOTES:

1. ALL DIMENSIONS TO EDGE OF 4\"/>

ACCESSIBLE PARKING SPACE

N.T.S.



NOTES:

1. ALL 12\"/>

CROSSWALK PAVEMENT MARKING

N.T.S.



TEC, Inc.

282 Merrimack St. 2nd Floor
Lawrence, MA 01843
(978) 794-1792

169 Ocean Boulevard Unit 101, PO Box 249
Hampton, NH 03842
(603) 601-8154
www.TheEngineeringCorp.com

DESIGNED BY	MWP
DRAWN BY	PJG
CHECKED BY	CPR
DATE	2/19/2025
SCALE	AS NOTED

OWNER/APPLICANT

Tropic Star Development, LLC
321 D Lafayette Road
Hampton, NH 03842

REVISIONS

ISSUED FOR

Permitting

PROJECT TITLE

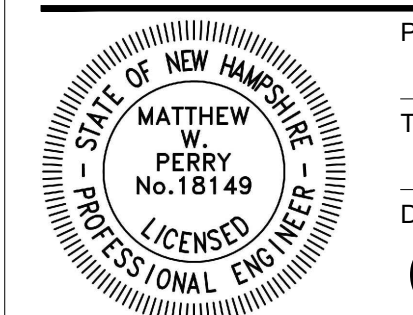
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION

3 Dover Road
Durham, NH 03824

DRAWING TITLE

Construction Details

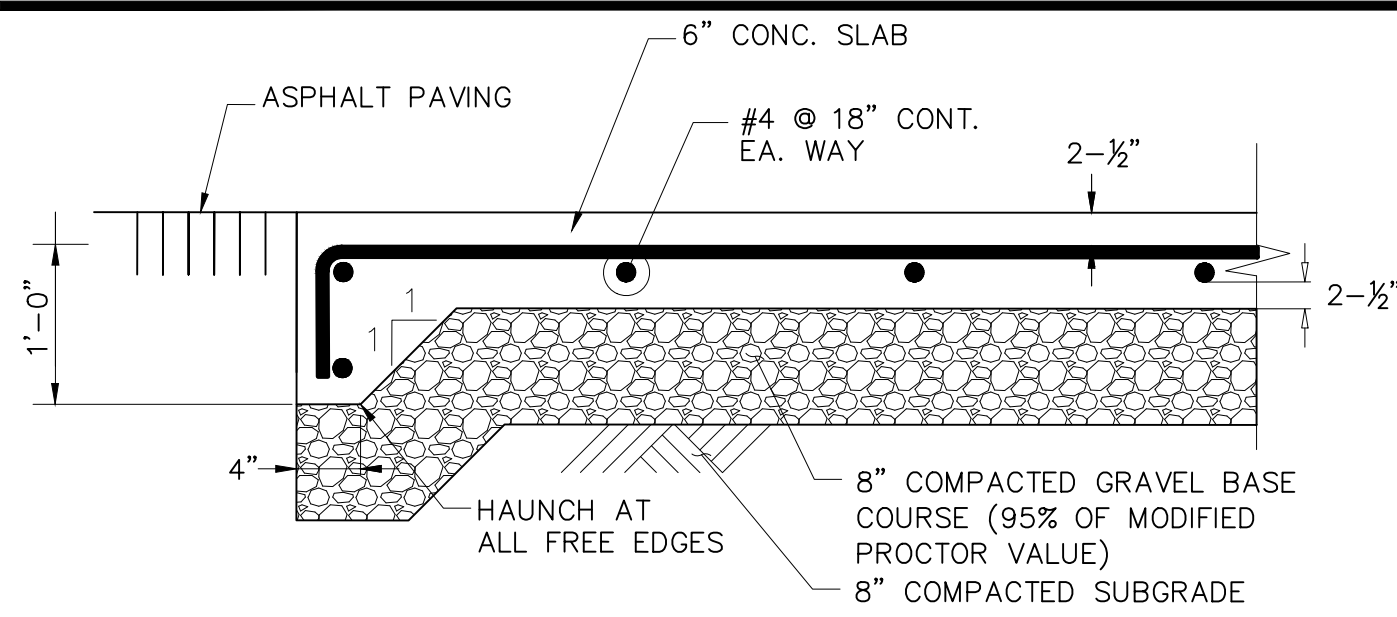


PROJECT NO. T1573

TEC CAD FILE T1573_DET

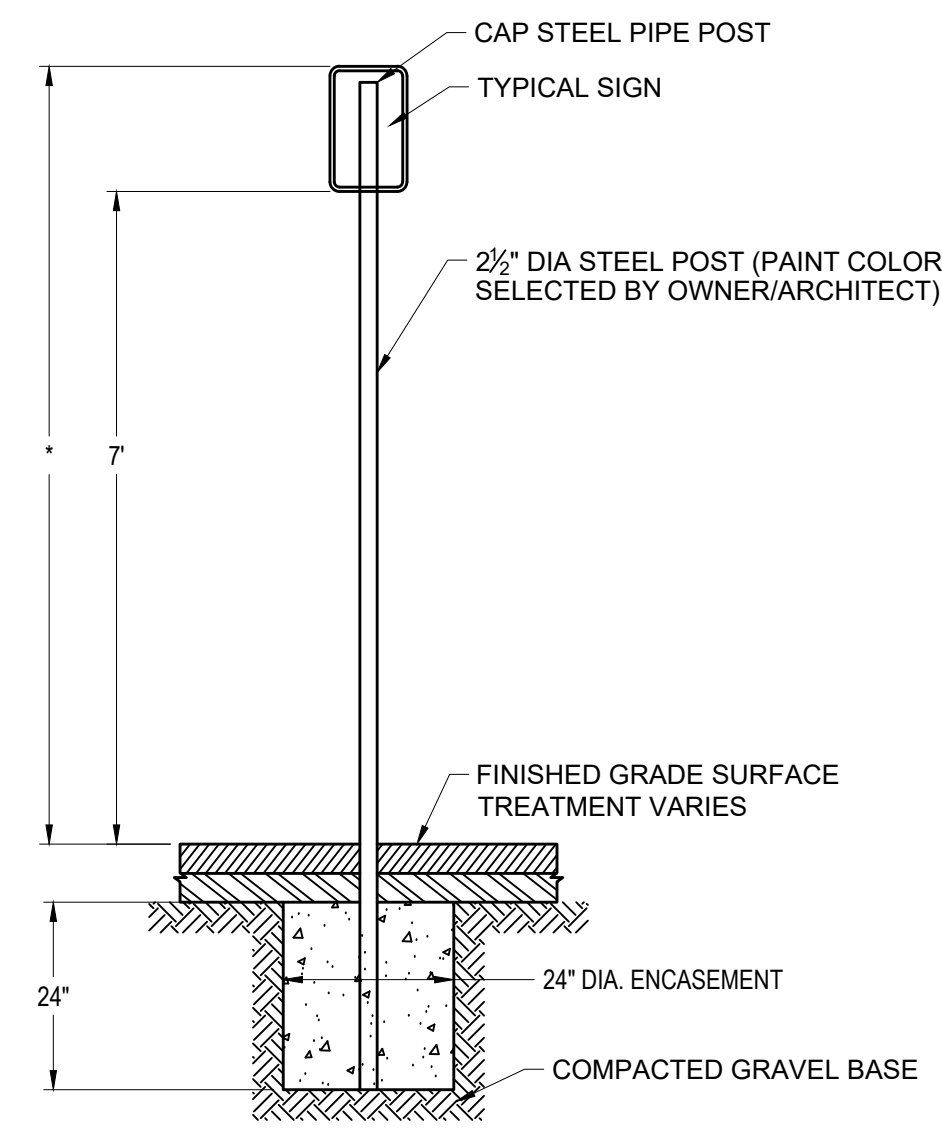
DRAWING NO. C-8

SHEET 8 OF 11



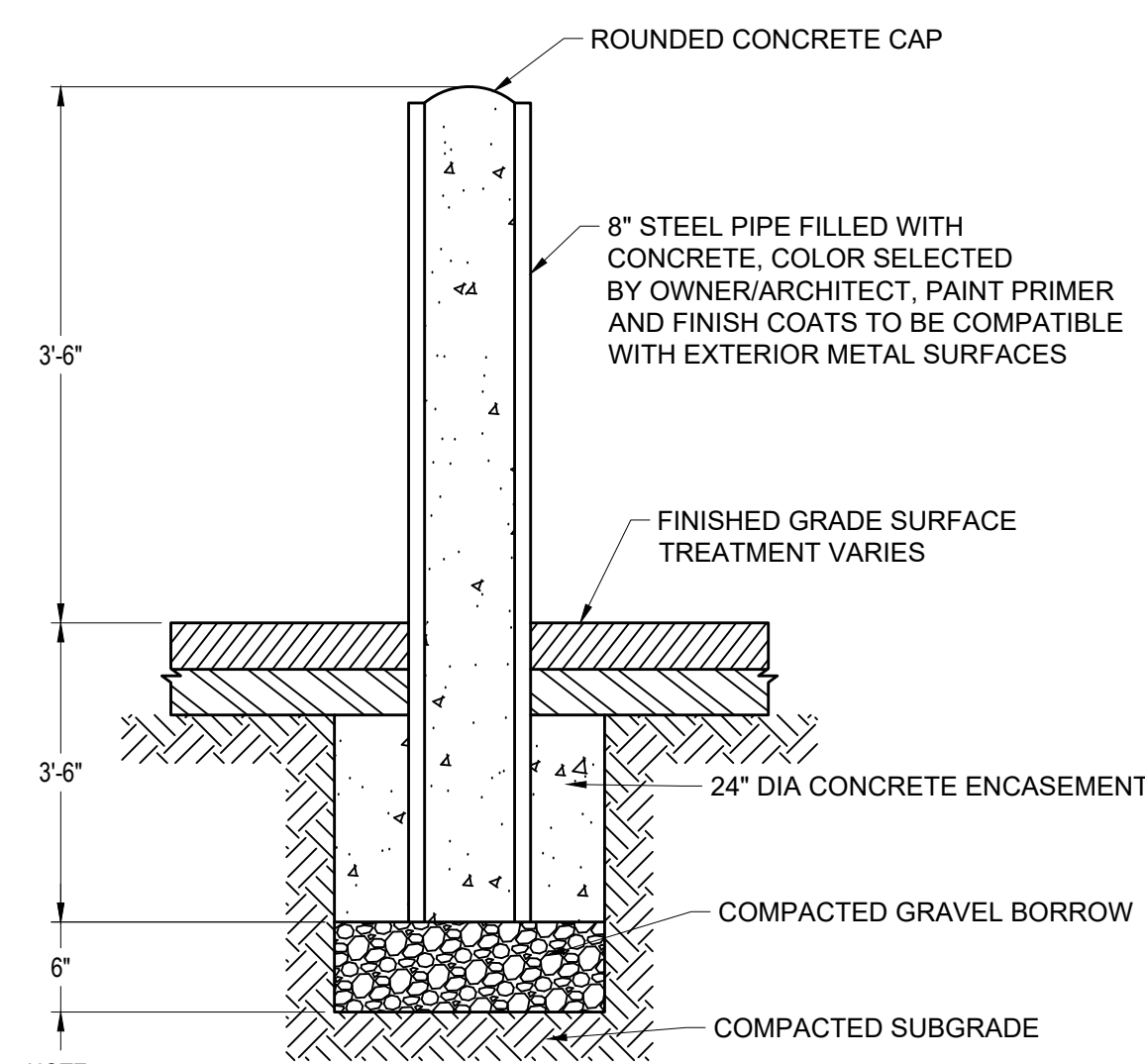
1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
2. MAXIMUM ALLOWABLE SLUMP SHALL NOT EXCEED 4" AND THE MAXIMUM W/C RATIO SHALL NOT EXCEED 0.45.
3. REINFORCING STEEL SHALL BE ASTM A615 GR 60 DEFORMED BARS (UNCOATED).
4. ALL REINFORCING STEEL SHALL BE SECURED IN A PROPER POSITION ON CHAIRS AS MANUFACTURED BY RICHMOND OR APPROVED EQUAL.
5. CONTRACTOR TO CONSULT THE PROJECTS SOILS ENGINEER TO ENSURE THAT THE BASE COURSE HAS BEEN PREPARED PROPERLY PRIOR TO CONCRETE PLACEMENT.
6. PROPOSED SLAB TO BE CONSTRUCTED TO MATCH PROPOSED DRAINAGE.

LOADING PAD
N.T.S.



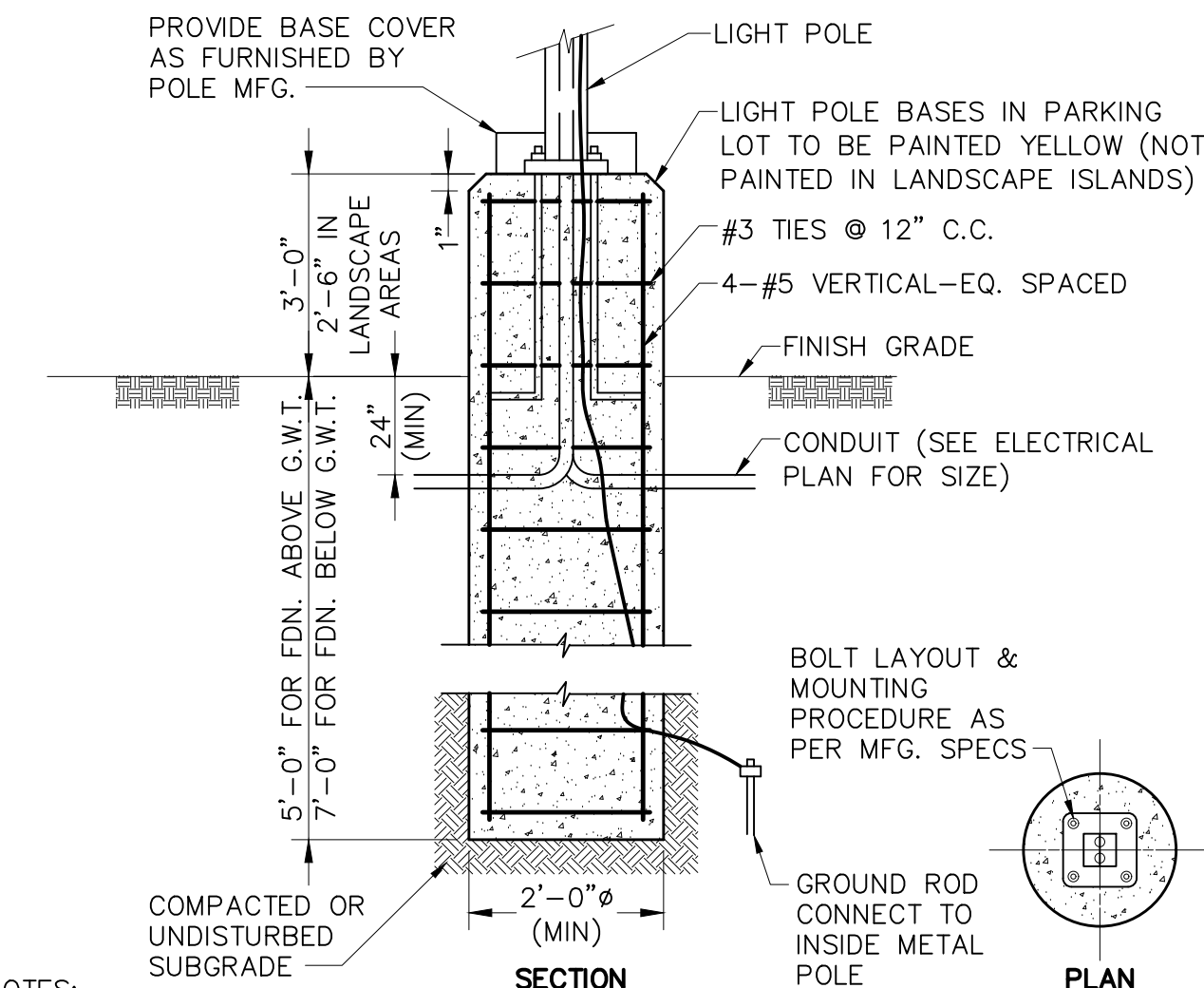
*THIS DIMENSION SHALL BE A MINIMUM OF 5' AND A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE IN THE COMMONWEALTH OF MASSACHUSETTS.

SIGN POST
N.T.S.



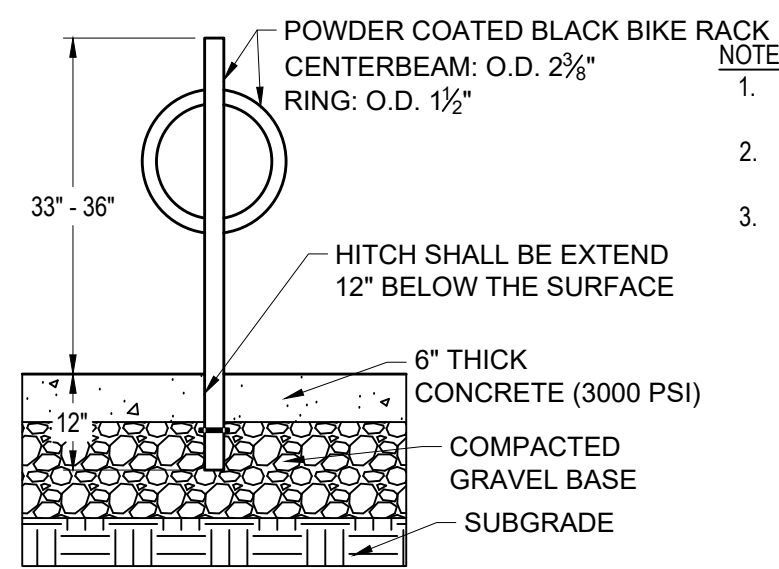
NOTE:
BOLLARDS SHALL BE PLACED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES. A MINIMUM CLEAR WIDTH OF 36" SHALL BE PROVIDED TO MAINTAIN AN ACCESSIBLE PATH.

BOLLARD
N.T.S.

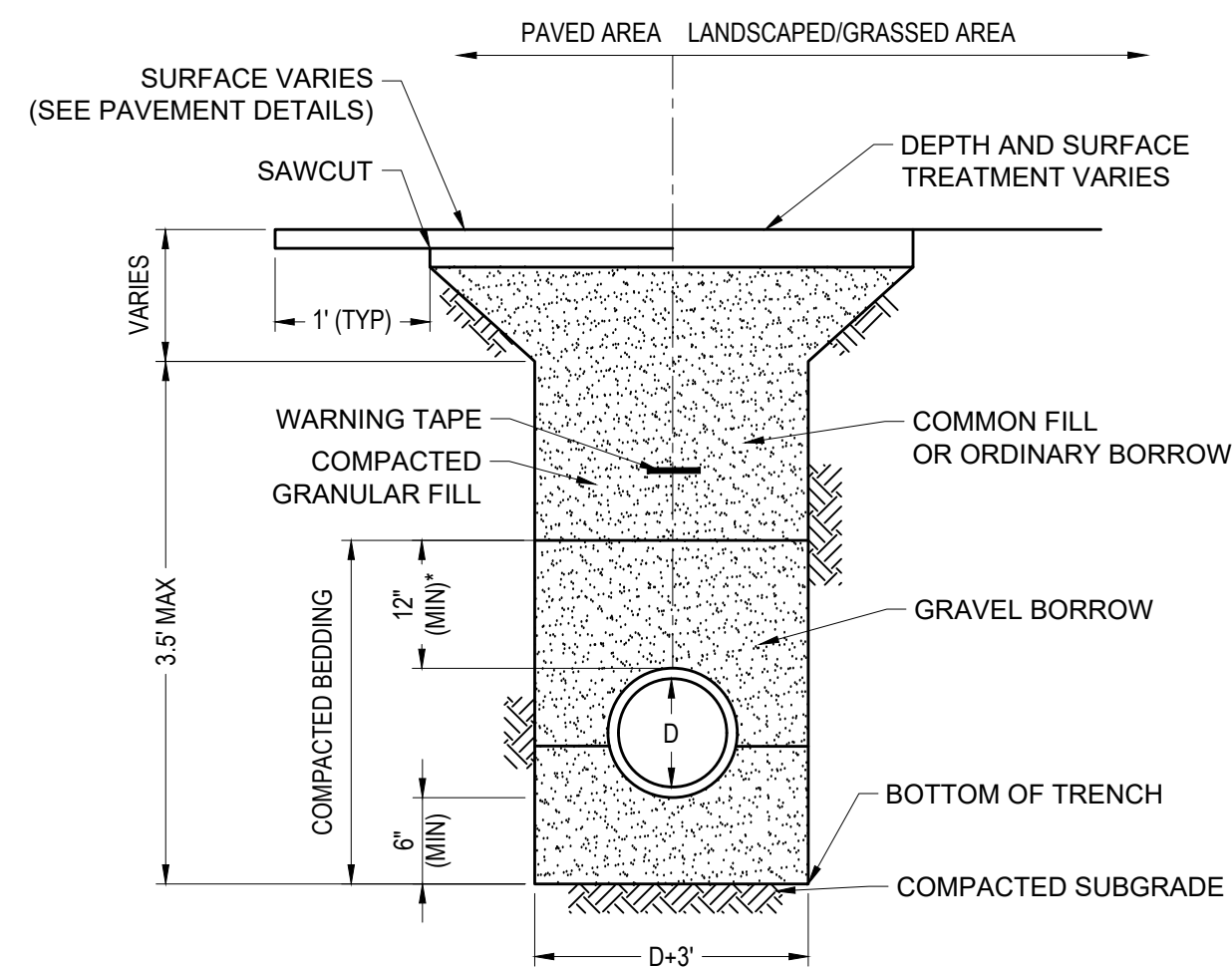


NOTE:
1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

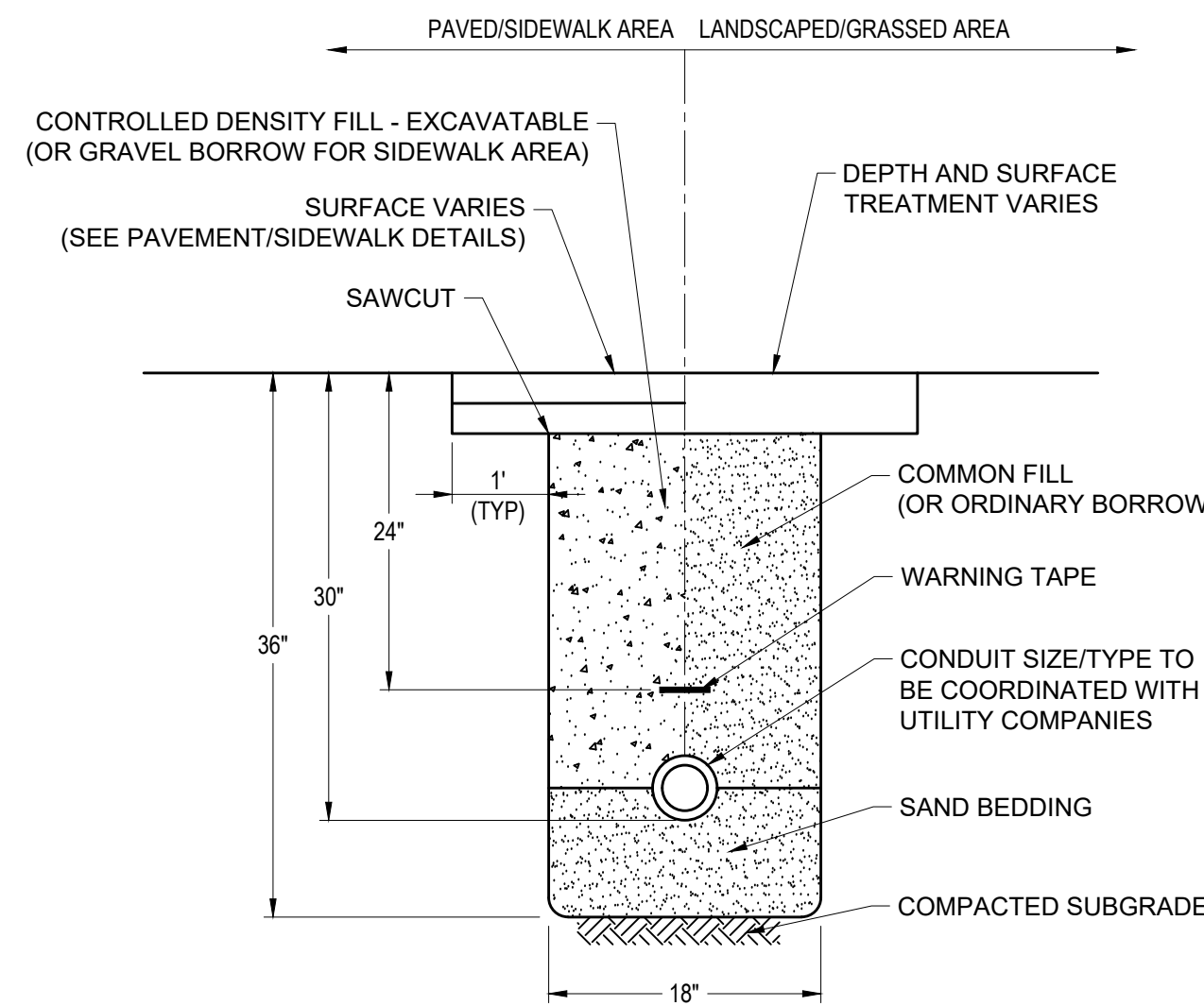
LIGHT POLE BASE
N.T.S.



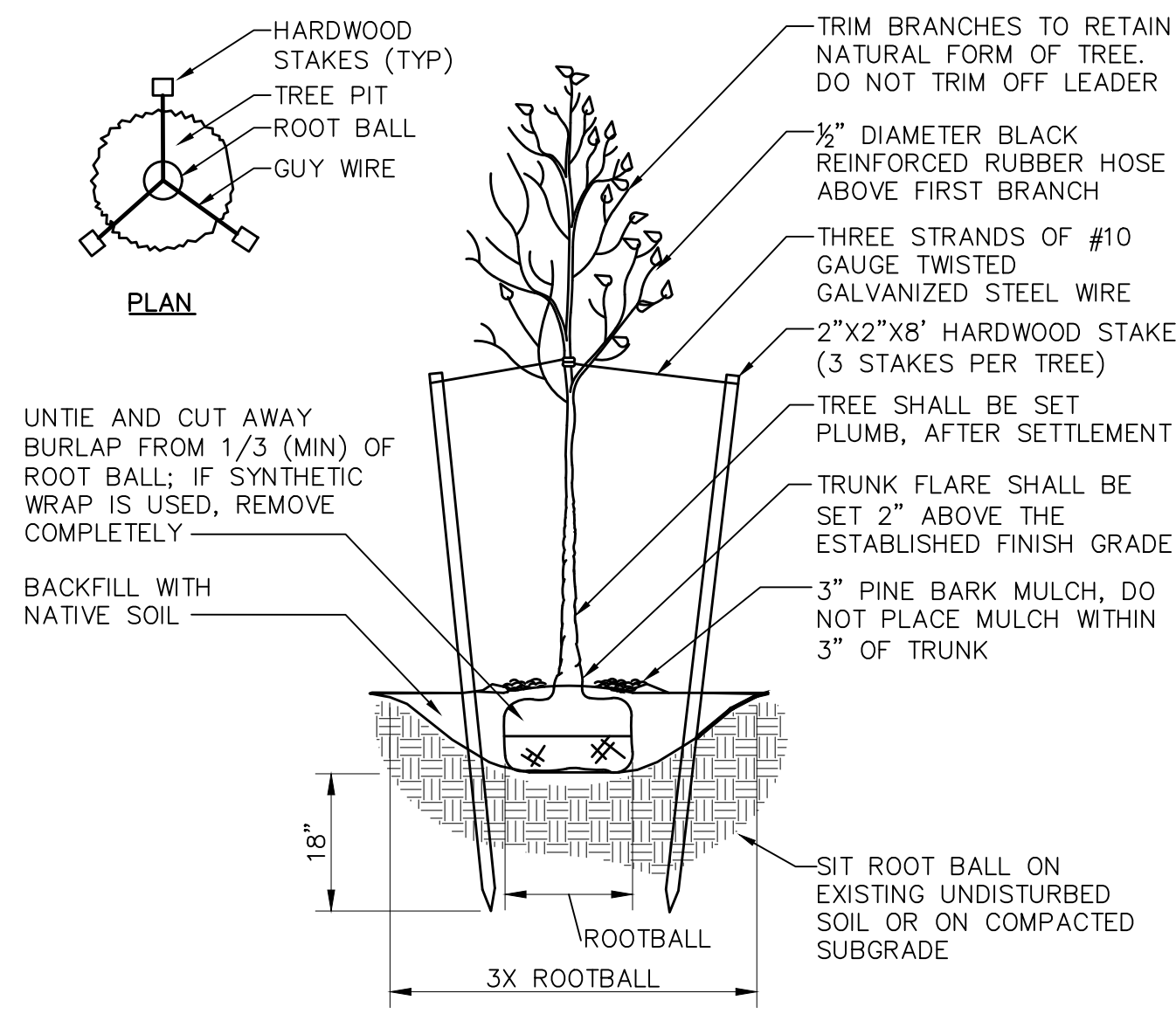
BIKE RACK
N.T.S.



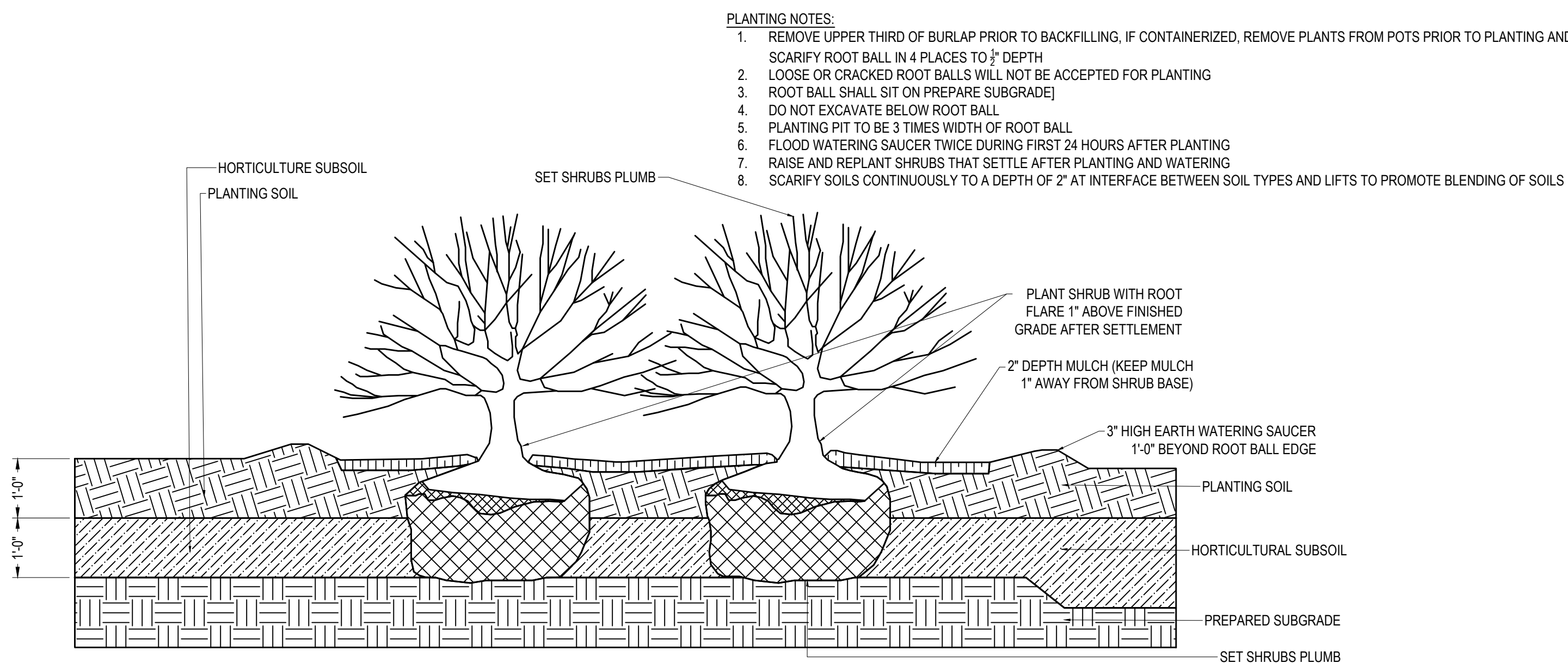
UTILITY TRENCH
N.T.S.



CONDUIT TRENCH
N.T.S.



TREE PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.

TEC, Inc.

282 Merrimack St. 2nd Floor
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DESIGNED BY MWP
DRAWN BY PJG
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DATE 2/19/2025
SCALE AS NOTED

OWNER/APPLICANT

Tropic Star
Development, LLC
321 D Lafayette Road
Hampton, NH 03842

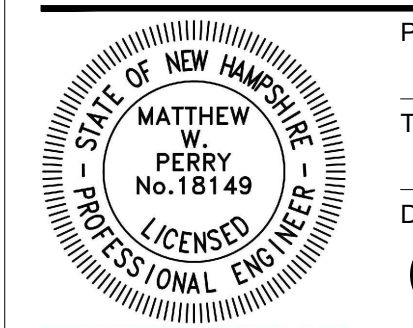
REVISIONS

ISSUED FOR
Permitting

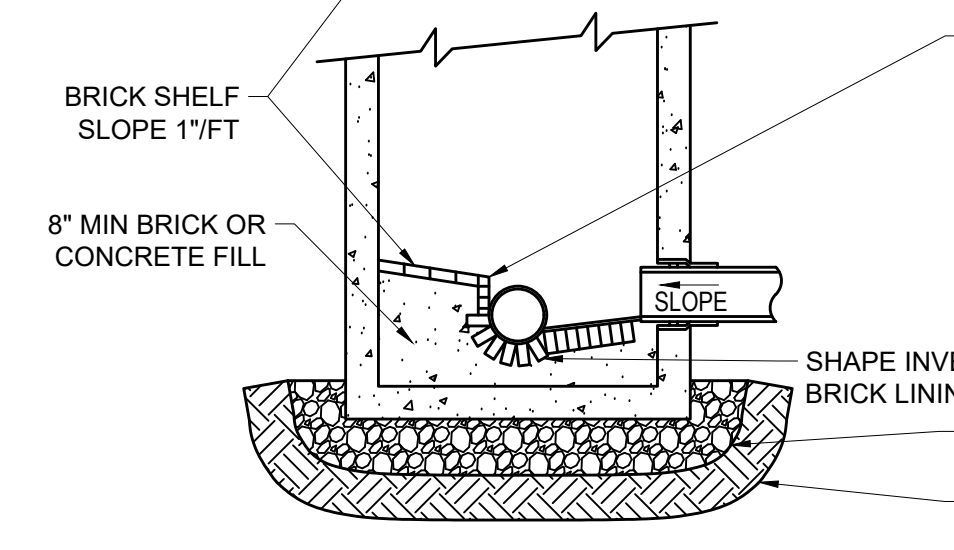
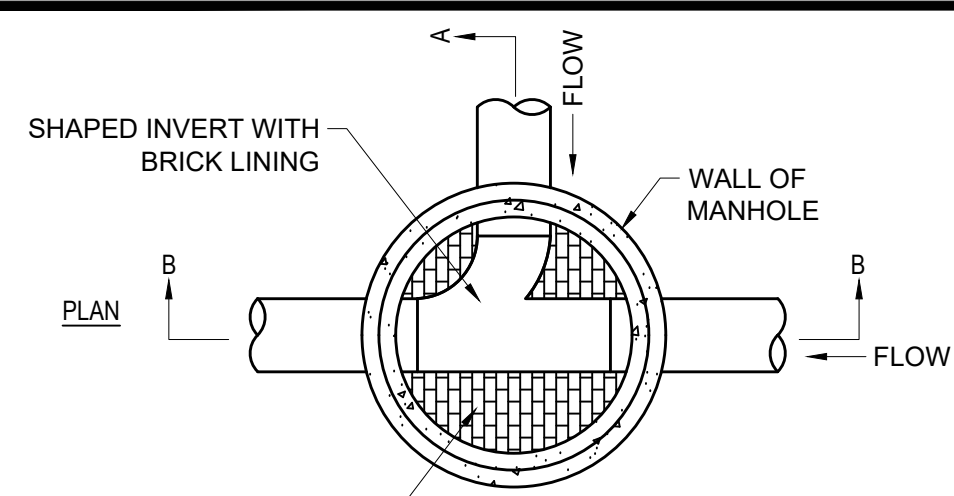
PROJECT TITLE
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION
**3 Dover Road
Durham, NH 03824**

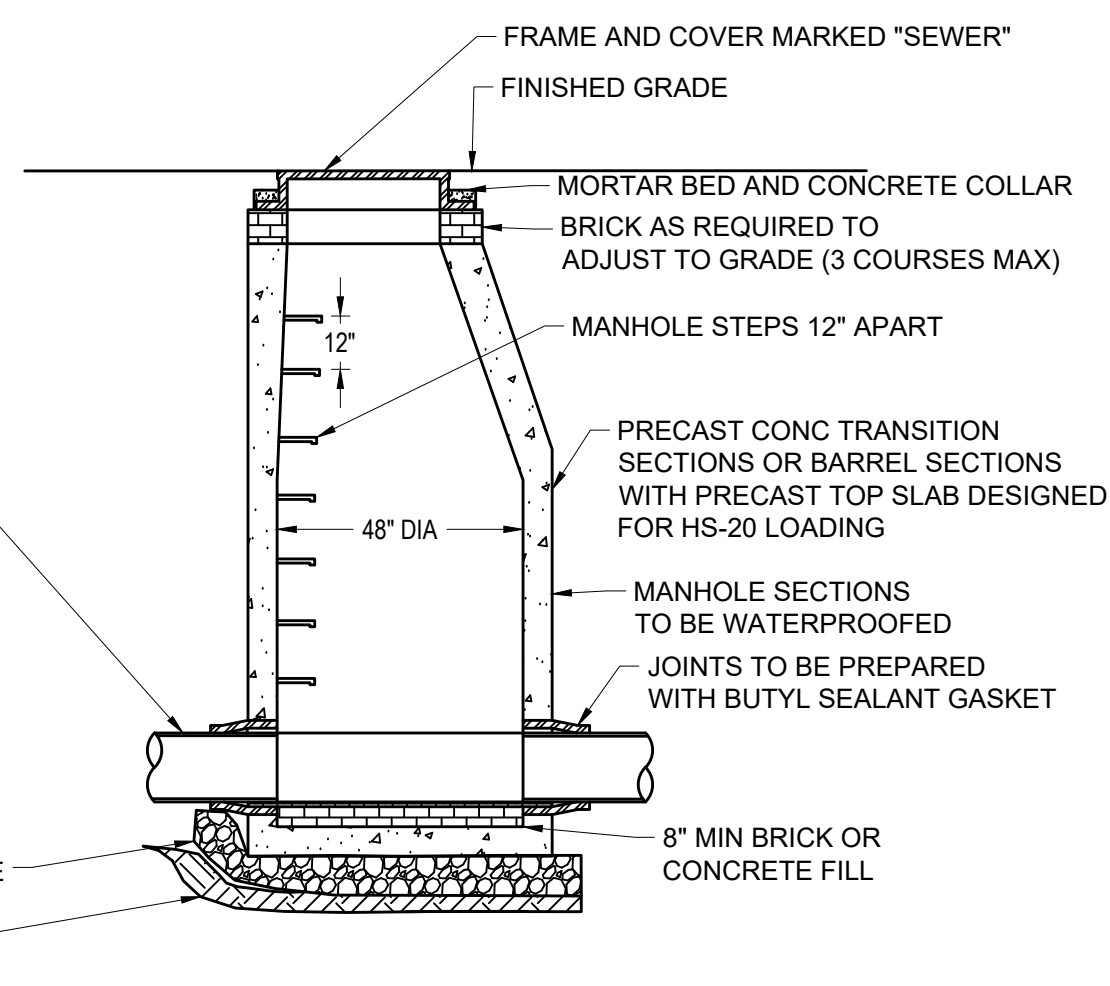
DRAWING TITLE
Construction Details



PROJECT NO. T1573
TEC CAD FILE T1573_DET
DRAWING NO. C-9
SHEET 9 OF 11

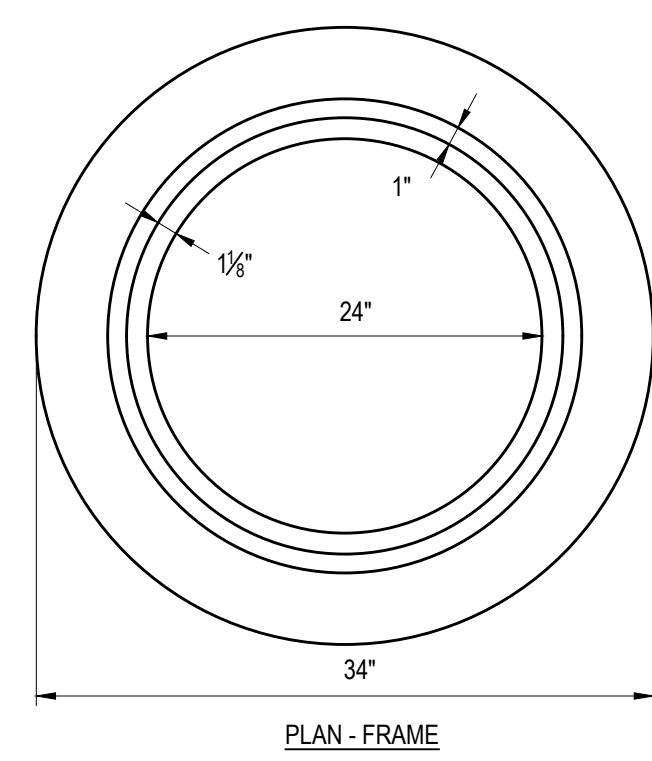


SECTION A-A

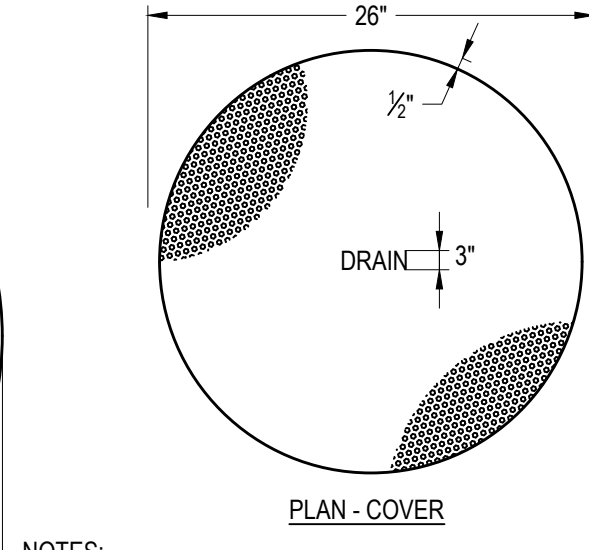


SECTION B-B

SEWER MANHOLE



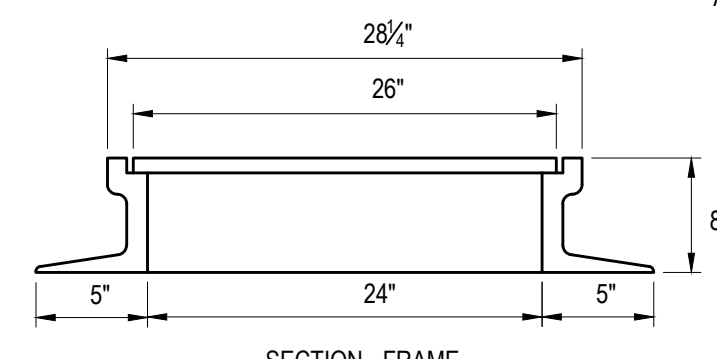
PLAN - FRAME



PLAN - COVER

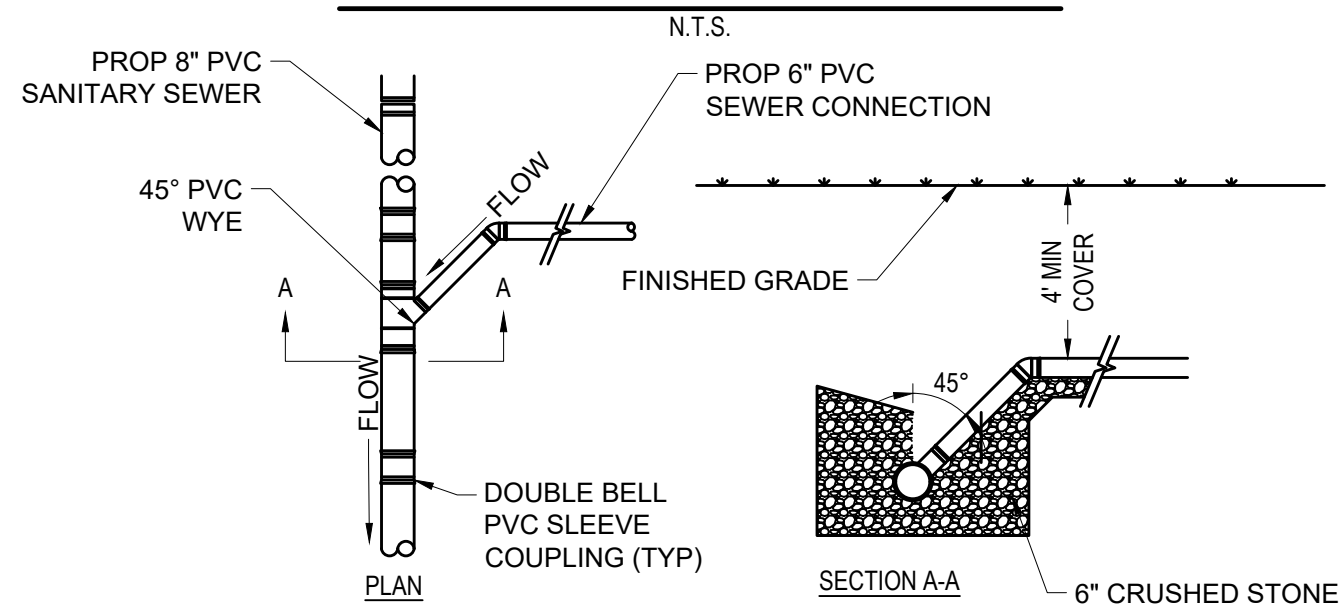
NOTES:

1. FRAME AND COVER SHALL BE RATED FOR HS-20 LOADING.
2. MATERIAL - CAST IRON.
3. MINIMUM MASS - 265 LBS.
4. ALL MH FRAMES AND COVERS SHALL BE ADA AND AAB COMPLIANT.
5. MANHOLE COVERS SHALL HAVE A DIAMOND PATTERN, PICK HOLES, AND THE WORD "DRAIN" CAST IN 3-INCH LETTERS.

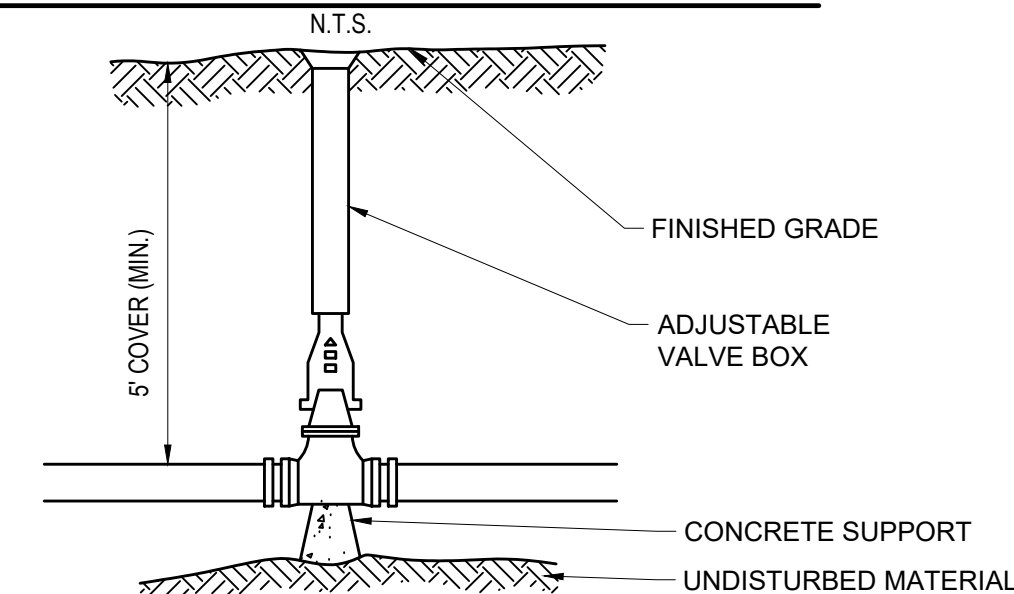


SECTION - FRAME

MANHOLE FRAME AND COVER

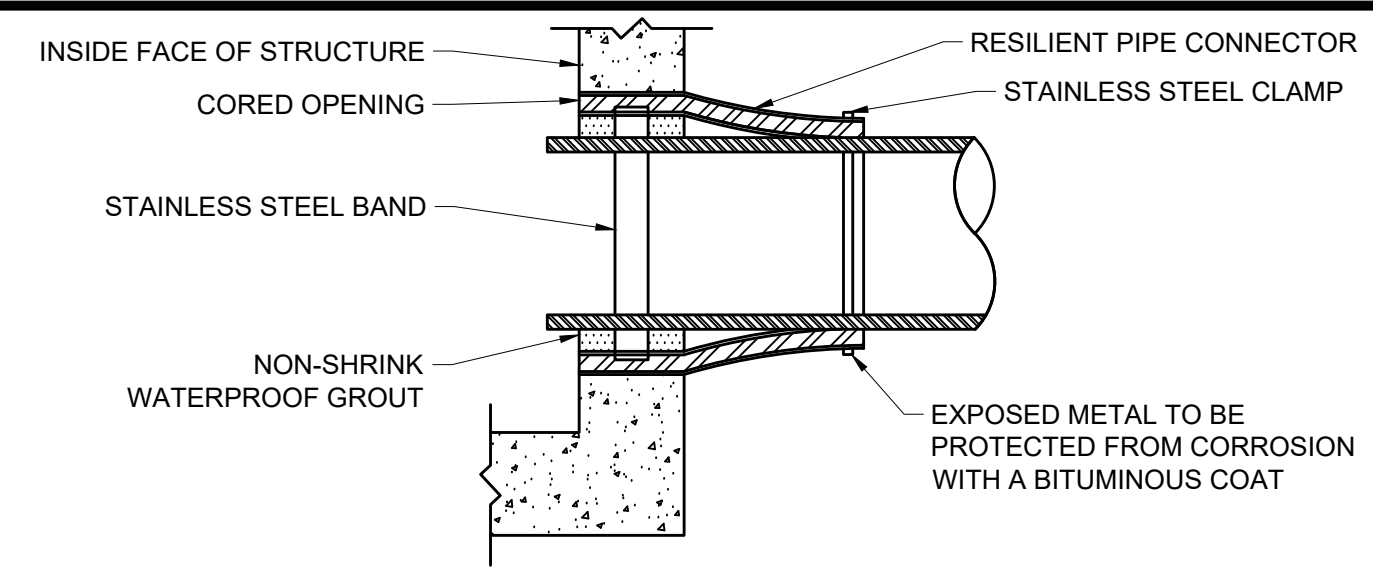


TYPICAL SEWER SERVICE CONNECTION



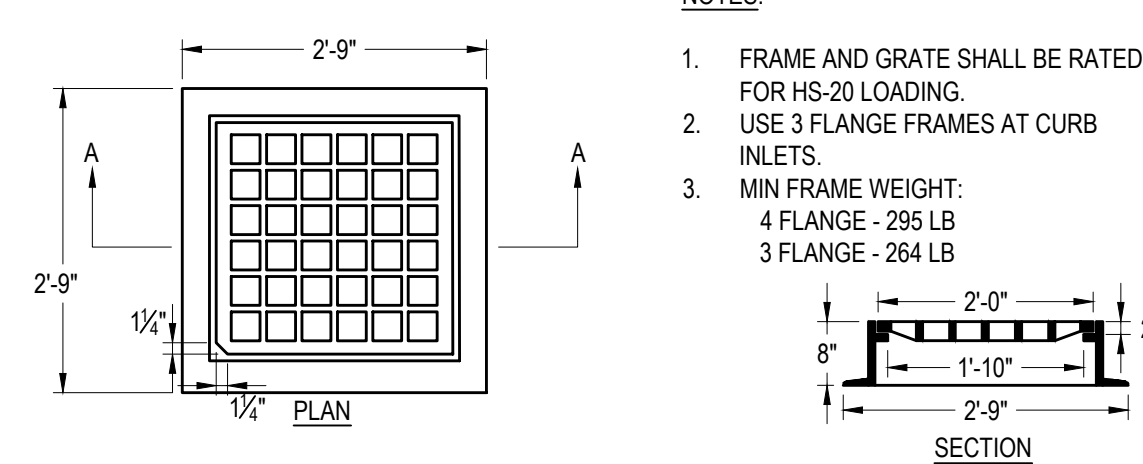
WATER GATE VALVE

N.T.S.



SEWER PIPE CONNECTION

N.T.S.

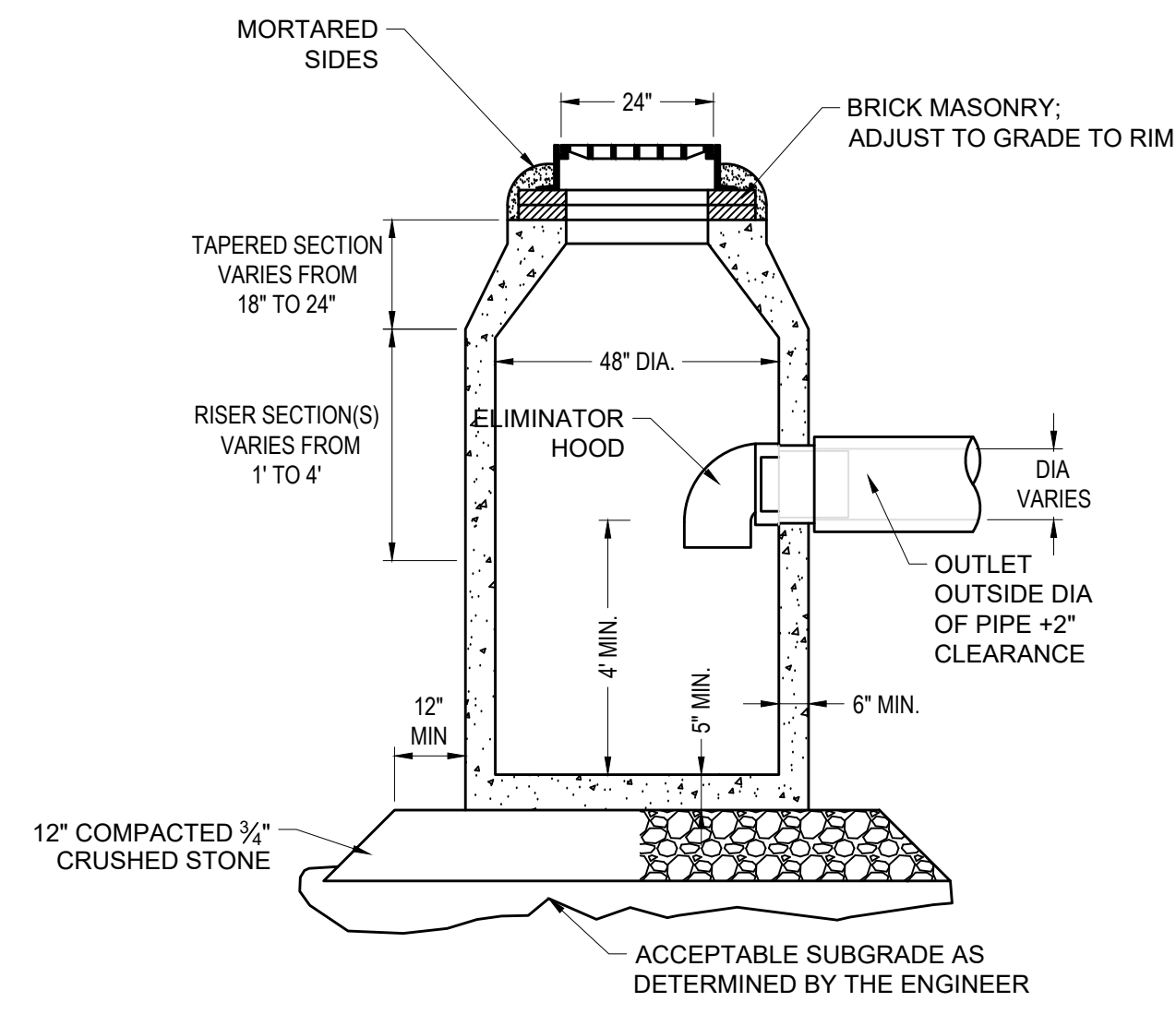


CATCH BASIN FRAME AND GRATE

N.T.S.

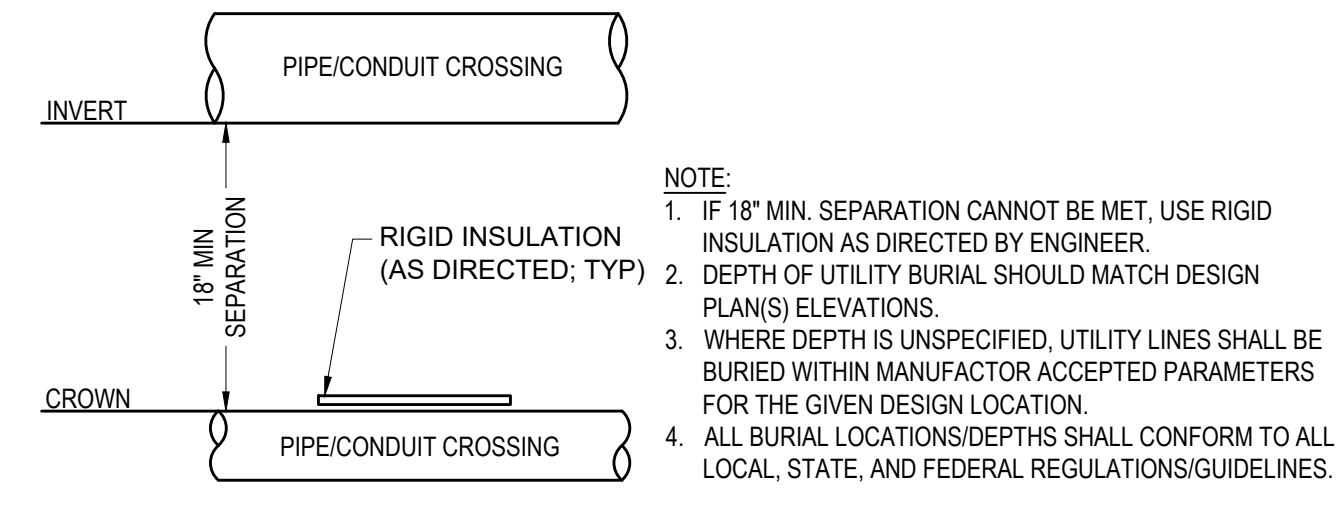
NOTES:

1. FRAME AND GRATE SHALL BE RATED FOR HS-20 LOADING.
2. USE 3 FLANGE FRAMES AT CURB INLETS.
3. MIN FRAME WEIGHT:
4 FLANGE - 295 LB
3 FLANGE - 264 LB



DEEP SUMP CATCH BASIN WITH HOOD

N.T.S.

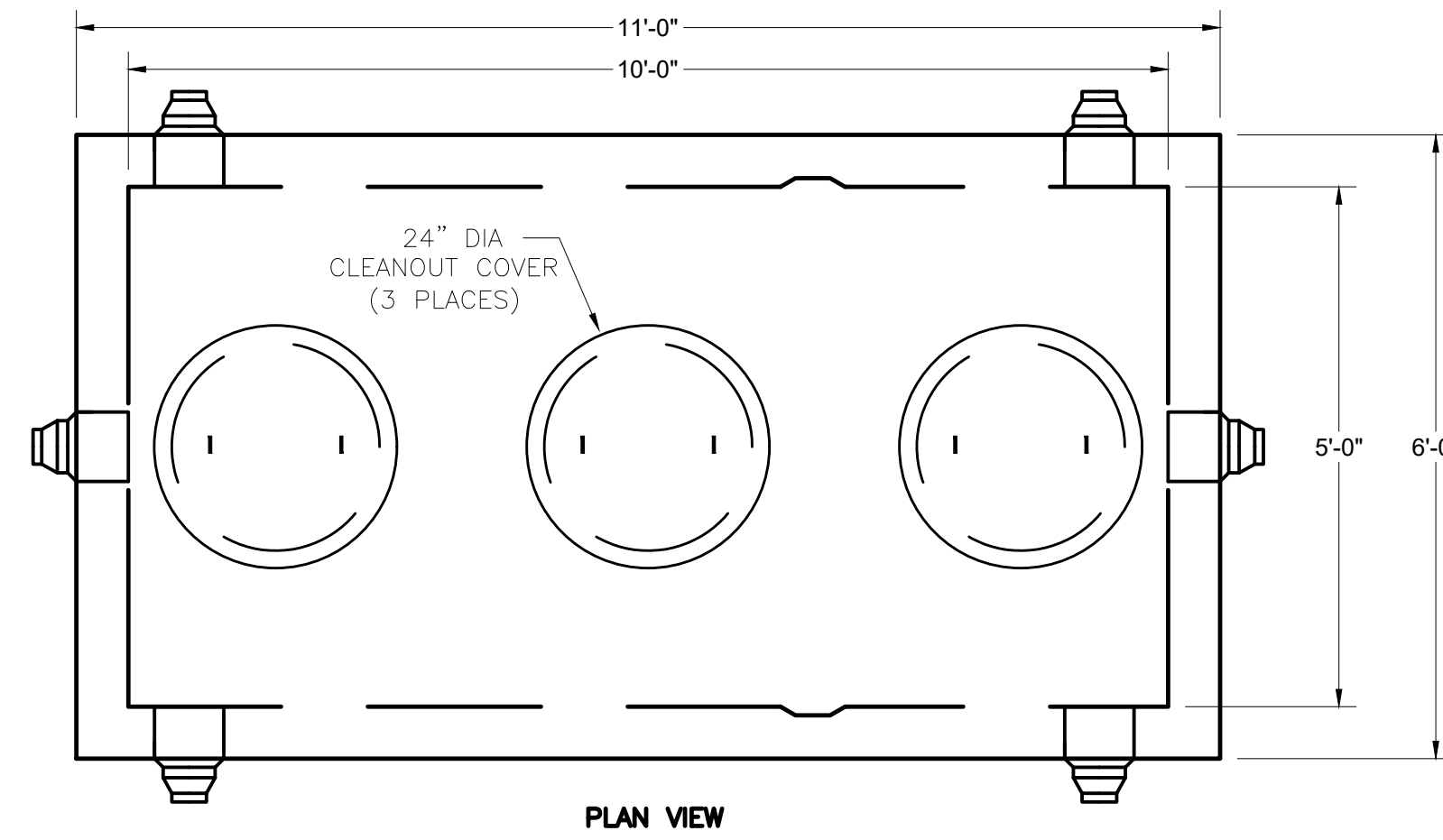


UTILITY CROSSING

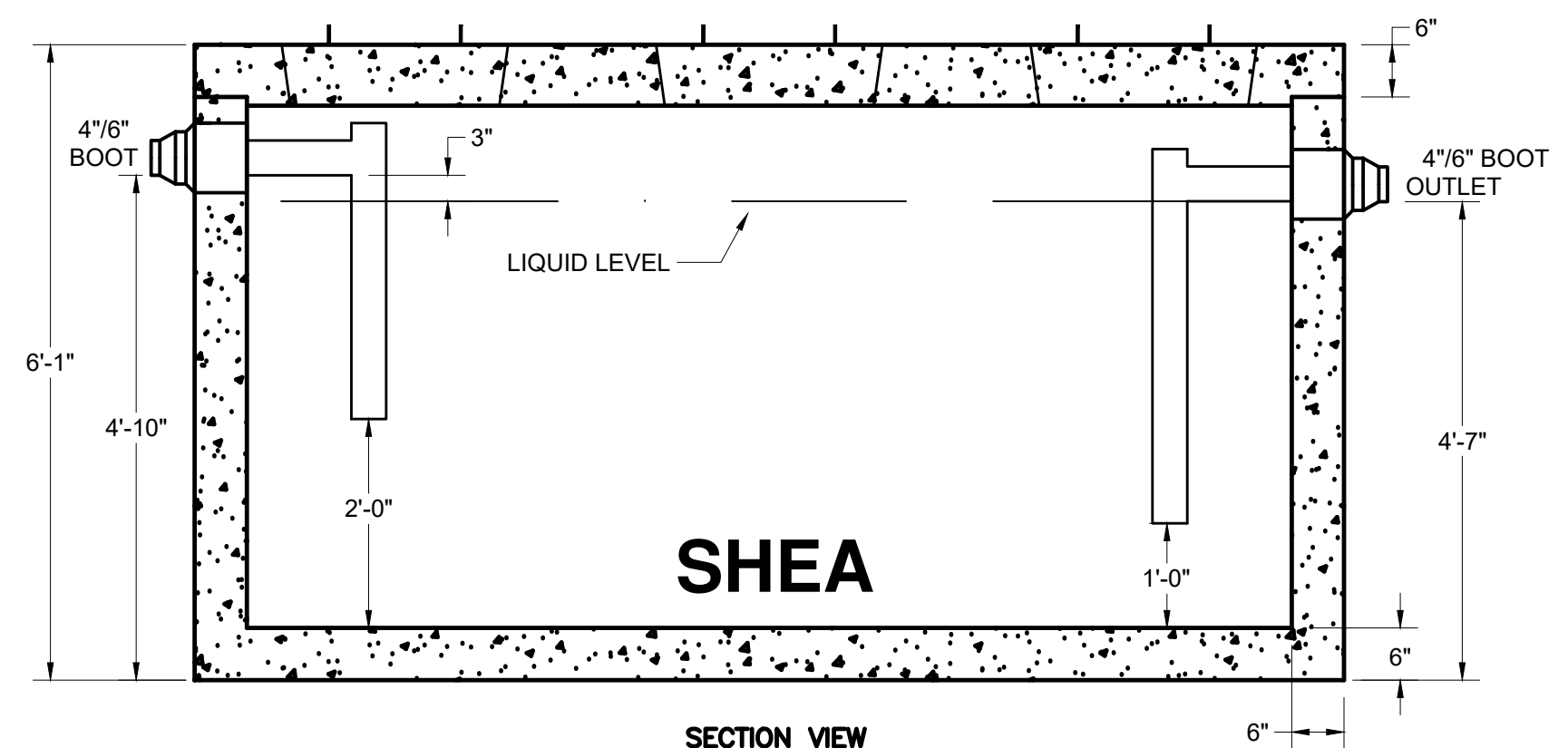
N.T.S.

NOTE:

1. IF 18" MIN. SEPARATION CANNOT BE MET, USE RIGID INSULATION AS DIRECTED BY ENGINEER.
2. DEPTH OF UTILITY BURIAL SHOULD MATCH DESIGN PLAN(S) ELEVATIONS.
3. WHERE DEPTH IS UNSPECIFIED, UTILITY LINES SHALL BE BURIED WITHIN MANUFACTURER ACCEPTED PARAMETERS FOR THE GIVEN DESIGN LOCATION.
4. ALL BURIAL LOCATIONS/DEPTHS SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS/GUIDELINES.



PLAN VIEW

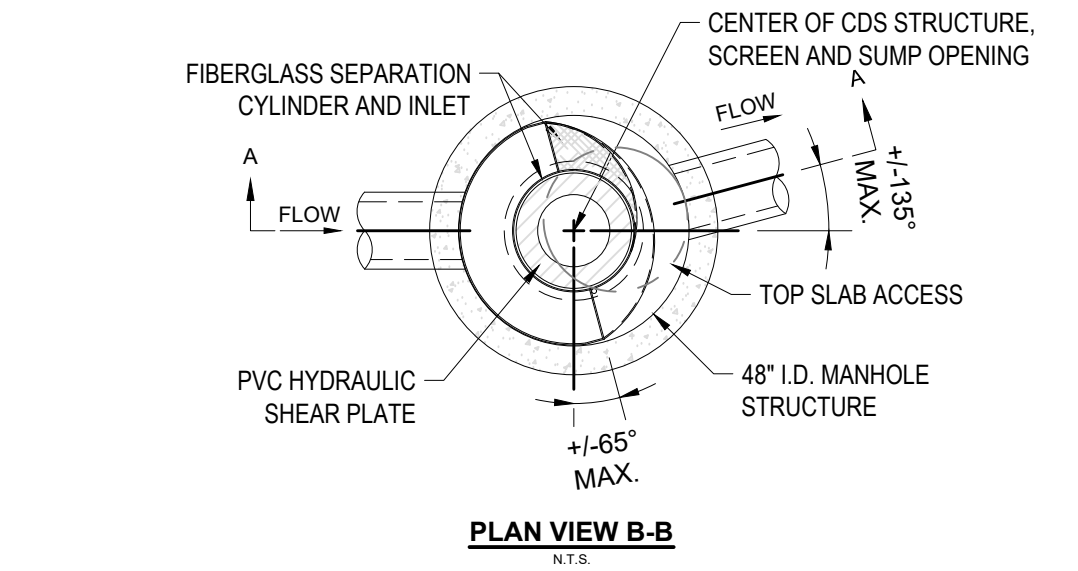


SECTION VIEW

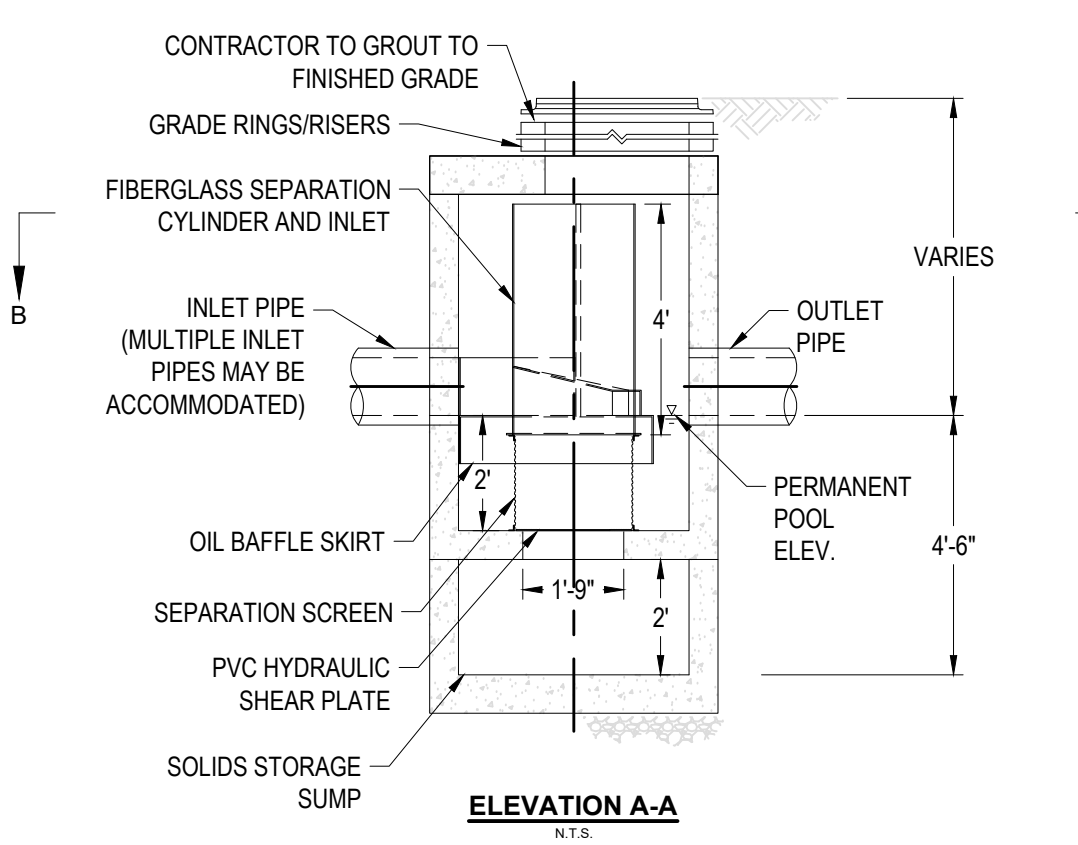
NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR GREASE TRAPS.
3. ALL REINFORCEMENT PER ASTM C1227.
4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
6. TEES AND BAFFLES SOLD SEPARATELY

ITEM NO.	TK-M1500C	WEIGHT	TOP	BOTTOM
		22,600#	5,400#	17,200#
	TK-M1500C2C	24,400#	5,400#	19,000#



PLAN VIEW B-B



ELEVATION A-A

WATER QUALITY UNIT (CDS 2015-4-C)

N.T.S.

1,500 GALLON GREASE TRAP

N.T.S.



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282 Merrimack St., 2nd Floor, Lawrence, MA 01843 (978) 794-1792
 169 Ocean Boulevard, Unit 101, PO Box 249, Hampton, NH 03842 (603) 601-8154
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DESIGNED BY	MWP
DRAWN BY	PJG
CHECKED BY	CPR
DATE	2/19/2025
SCALE	AS NOTED

OWNER/APPLICANT

Tropic Star Development, LLC
 321 D Lafayette Road
 Hampton, NH 03842

REVISIONS

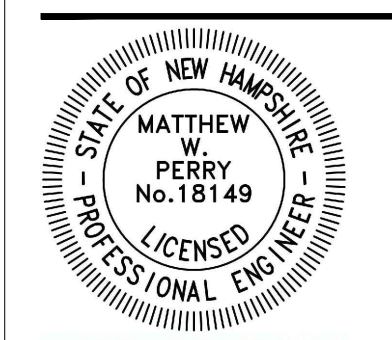
ISSUED FOR

Permitting

PROJECT TITLE
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION
**3 Dover Road
 Durham, NH 03824**

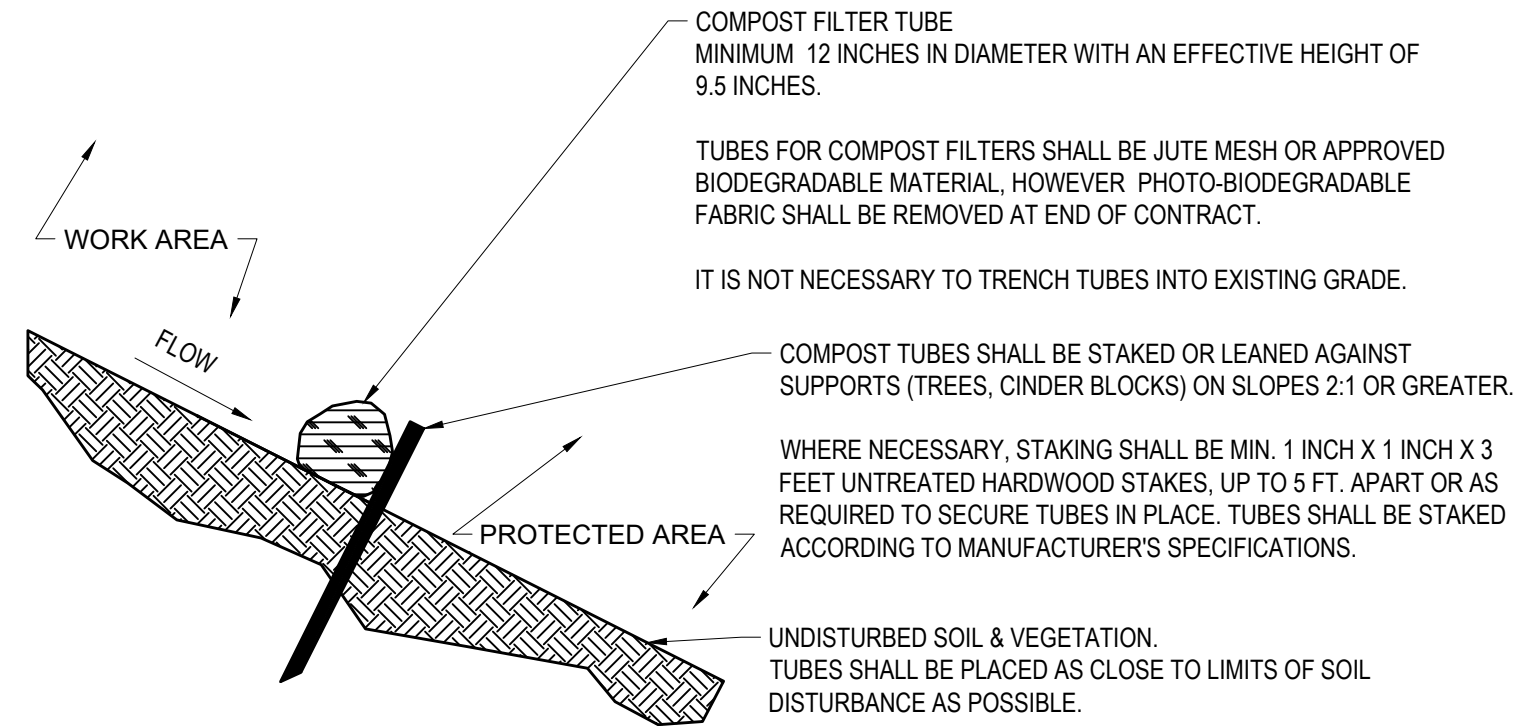
DRAWING TITLE
Construction Details



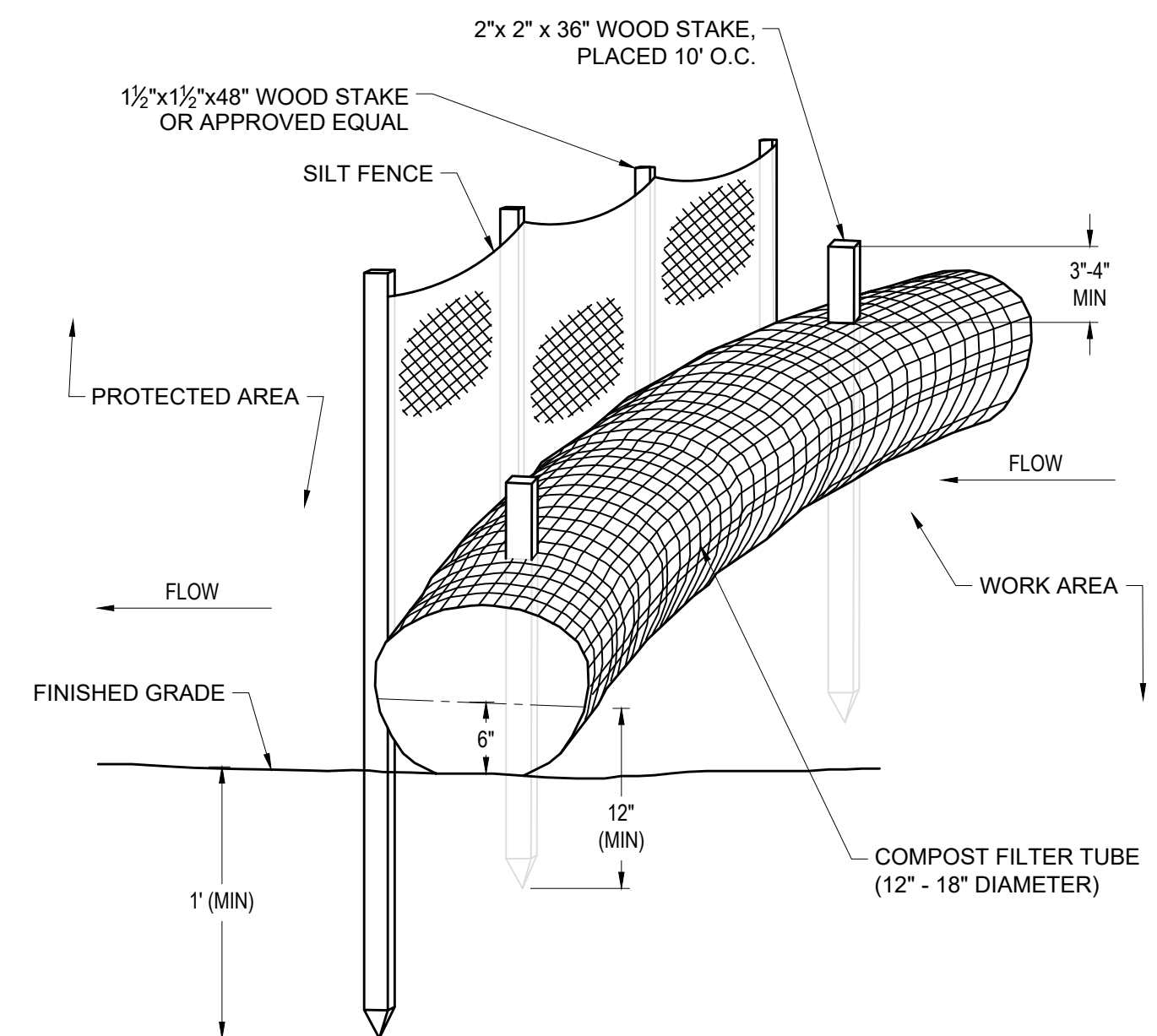
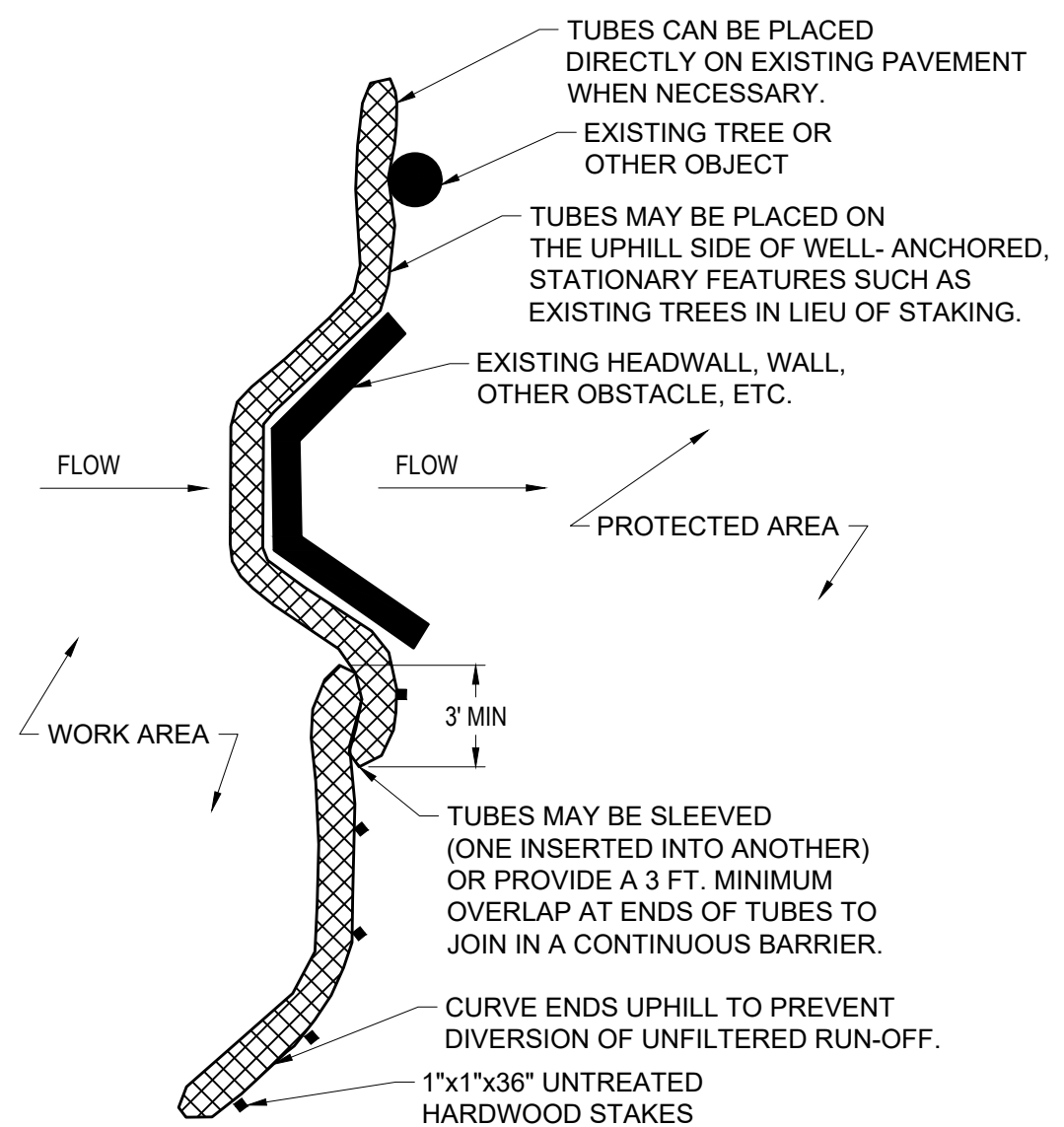
PROJECT NO. T1573
 TEC CAD FILE T1573_DET
 DRAWING NO. **C-10**
 SHEET 10 OF 11

NOTES:

1. PROVIDE A MINIMUM TUBE DIAMETER OF 12 INCHES FOR SLOPES UP TO 50 FEET IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF FILTER TUBES TO CREATE A FILTER BERM. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
2. INSTALL TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
3. TUBE LOCATION MAY BE SHIFTED TO ADJUST TO LANDSCAPE FEATURES, BUT SHALL PROTECT UNDISTURBED AREA AND VEGETATION TO MAXIMUM EXTENT POSSIBLE.
4. DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS.
5. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
6. ADDITIONAL STAKING SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
7. COMPOST TUBE SHALL BE IN FULL CONTACT WITH GROUND SURFACE AND IF NECESSARY, CINDER BLOCKS (OR OTHER EFFECTIVE METHODS) SHALL BE USED TO WEIGH DOWN THE COMPOST FILTER TUBE.

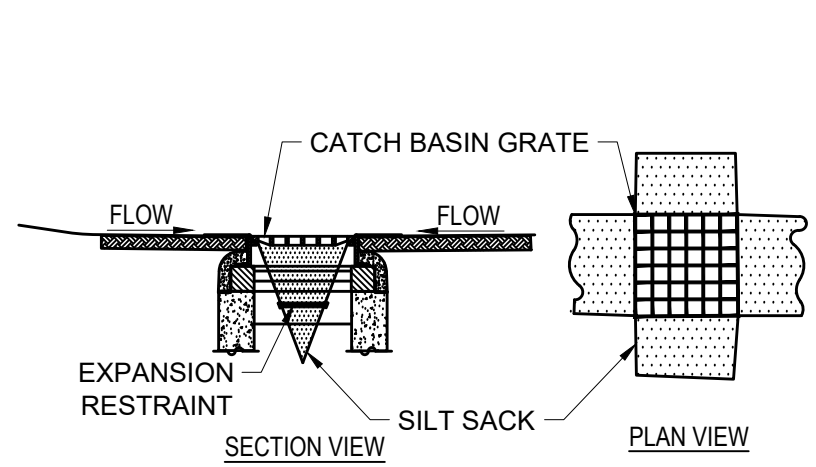


COMPOST FILTER TUBE
N.T.S.



NOTES:

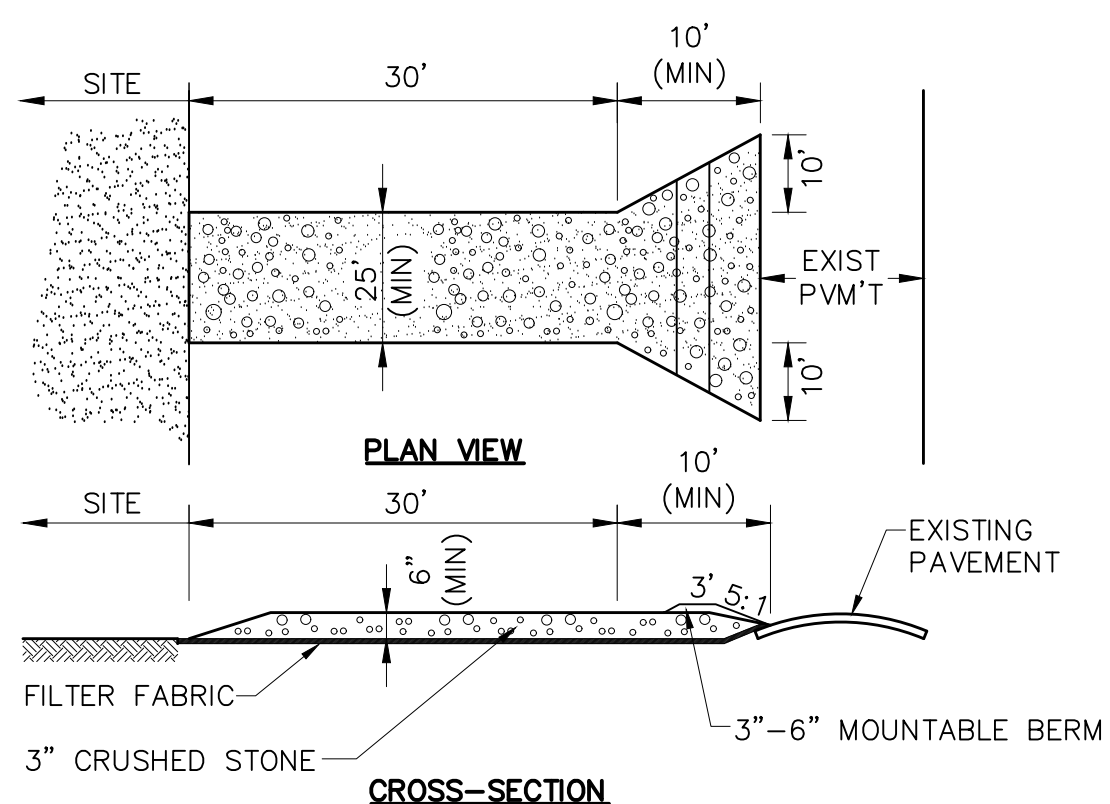
1. SILT FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES. POSTS SHALL BE SPACED 8'-10' ON CENTER.
2. WHEN TWO SECTIONS OF SILT FENCE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. ENTRENCH SILT FENCE BUT NOT FILTER TUBE.
4. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.
5. CONFIGURE TUBES AROUND EXISTING FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF. TUBES SHALL BE PLACED PERPENDICULARLY TO STORMWATER FLOW WHERE POSSIBLE.
6. TUBES FOR COMPOST FILTERS SHALL BE JUTE MESH OR APPROVED BIODEGRADABLE MATERIAL. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
7. TAMP TUBES IN PLACE TO ENSURE GOOD CONTACT WITH SOIL SURFACE. IT IS NOT NECESSARY TO TRENCH TUBES INTO EXISTING GRADE.
8. WHEN STAKING IS NOT POSSIBLE, SUCH AS WHEN TUBES MUST BE PLACED ON PAVEMENT, HEAVY CONCRETE OR CINDER BLOCKS CAN BE USED BEHIND TUBES UP TO 5 FT. APART OR AS REQUIRED TO SECURE TUBES IN PLACE. DO NOT PUNCTURE TUBES WITH STAKES.
9. TUBES CAN BE PLACED DIRECTLY ON EXISTING PAVEMENT WHEN NECESSARY.
10. UPON COMPLETION OF PROJECT, ALL EROSION CONTROL DEVICES SHALL BE REMOVED FROM PROJECT LIMITS.



NOTES:

1. INSTALL SILTSACK IN ALL DOWNGRADIENT EXISTING CATCH BASINS BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

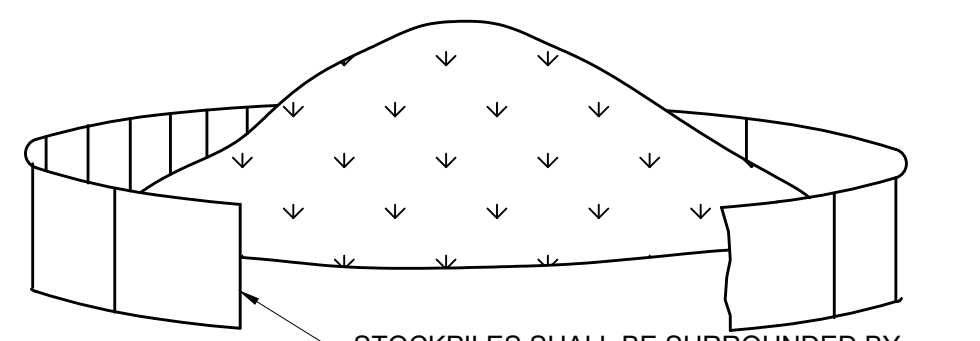
CATCH BASIN INLET PROTECTION
N.T.S.



NOTES:

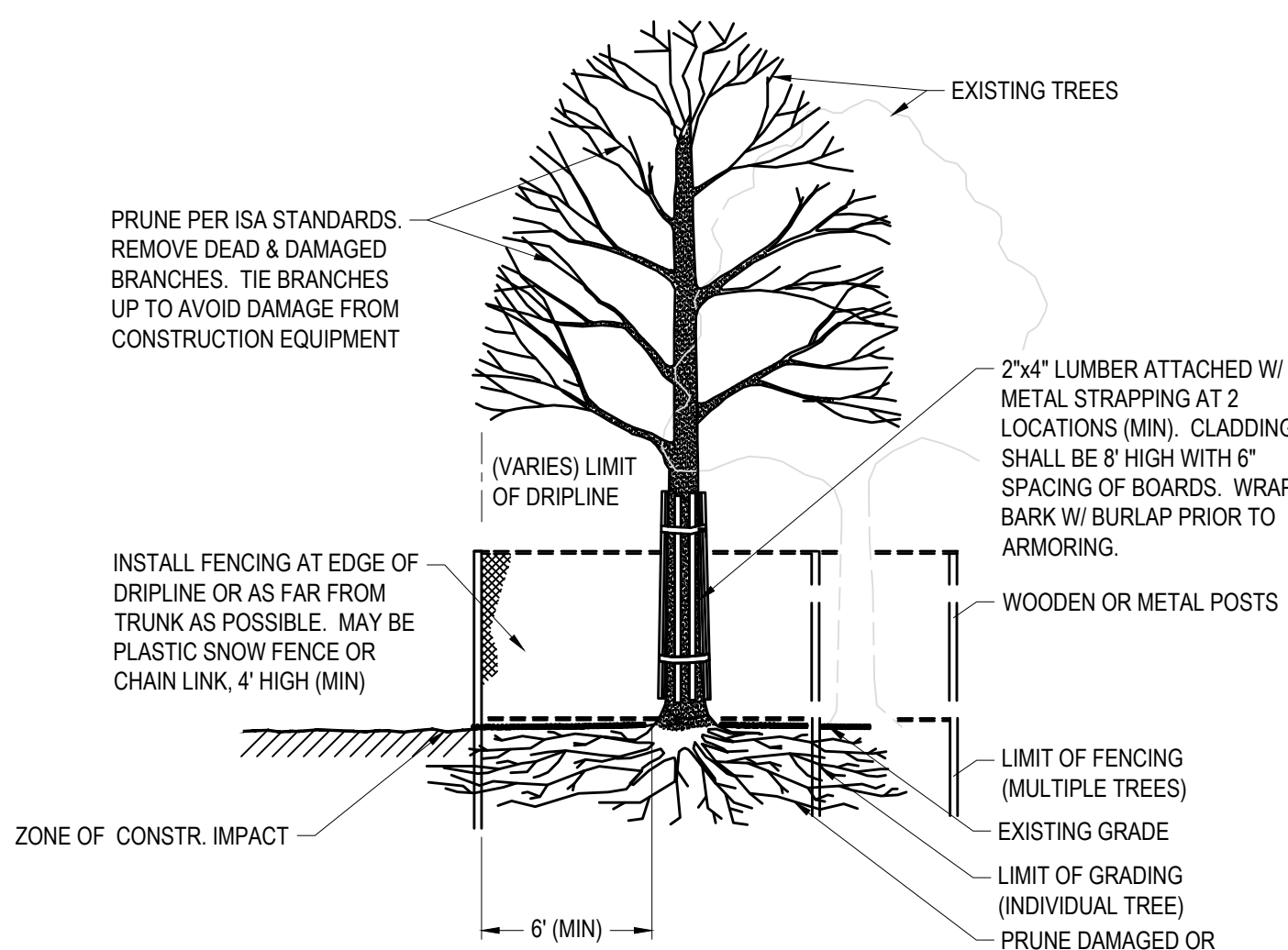
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION EXIT
N.T.S.



NOTES:
SOIL STOCKPILES SHALL BE COVERED WITH ANCHORED TARPS AND THE END OF EACH WORK DAY.

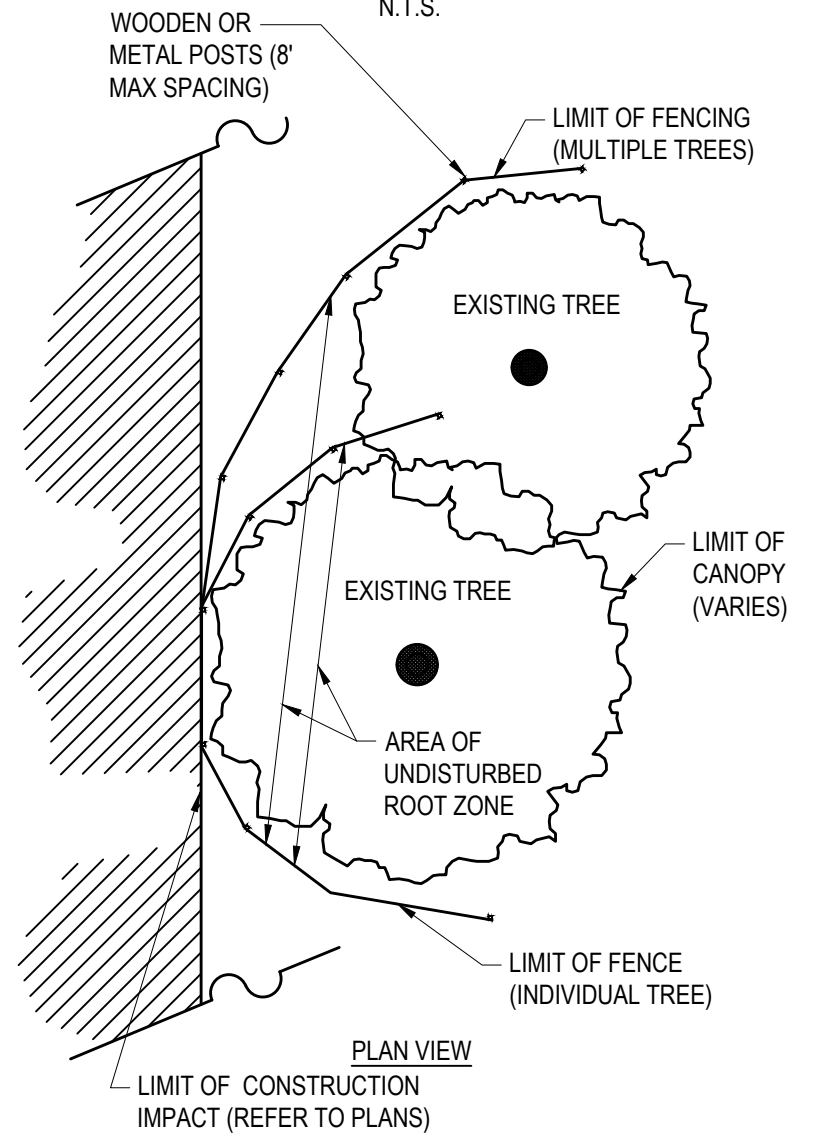
SOIL STOCKPILE
N.T.S.



NOTE:
NO STORAGE OF EQUIPMENT OR STOCKPIPING OF MATERIALS WITHIN DRIPLINE IS ALLOWED.

TREE PROTECTION
N.T.S.

COMPOST FILTER TUBE WITH SILT FENCE
N.T.S.



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CHECKED BY	CPR
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SCALE	AS NOTED

OWNER/APPLICANT
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321 D Lafayette Road
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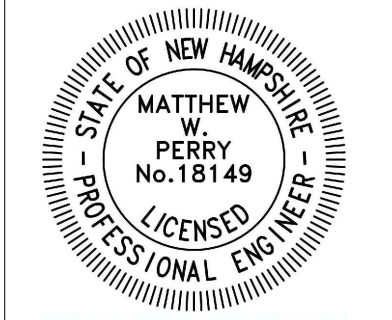
REVISIONS

ISSUED FOR
Permitting

PROJECT TITLE
Proposed Restaurant at 3 Dover Road

PROJECT LOCATION
**3 Dover Road
Durham, NH 03824**

DRAWING TITLE
Construction Details



PROJECT NO. T1573
TEC CAD FILE T1573_DET
DRAWING NO. **C-11**
SHEET 11 OF 11

NOTES:

- REFERENCE: TAX MAP 108, LOT 38
3 DOVER ROAD
DURHAM, NH
- TOTAL PARCEL AREA: 10,881 SQ. FT. OR 0.25 AC.
- OWNER OF RECORD: JESP ENTERPRISES LLC
25 GARDEN LANE
DURHAM, NH 03824
S.C.R.D. BOOK 4530, PAGE 617
- FIELD SURVEY PERFORMED BY J.H.H. & S.N.F. (DOUCET SURVEY) DURING AUGUST, 2024 USING A TOTAL STATION AND A SURVEY GRADE GPS WITH A DATA COLLECTOR AND A DIGITAL LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON NGVD29 PER NHDOT DISK "BM 29" HAVING A PUBLISHED ELEVATION OF 44.97' AND LOCATED ON THE GRANITE STEP OF THE FORMER TOWN OFFICE.
- PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- THE ROUTE 108 (DOVER ROAD) RIGHT OF WAY AS DEPICTED HEREON IS BASED ON REFERENCE PLAN 3 AND LOCATED MONUMENTS SHOWN ON SAID PLAN. THE RIGHT OF WAY WIDTH IS GENERALLY 66' WIDE ACROSS THE SUBJECT PARCEL BUT VARIABLE WIDTH AS A WHOLE. ADJACENT NHDOT TAKINGS FOR THE PROJECT WIDENING TOOK PLACE AROUND THE YEAR 1999. ASIDE FROM THE EASEMENT DEED REFERENCED IN NOTE 11A, NO CONVEYANCE WAS FOUND FROM THE OWNER OF THE PARCEL TO THE STATE OF NEW HAMPSHIRE. THE RIGHT OF WAY PER REFERENCE PLAN 1 IS SHOWN HEREON AS A REFERENCE.
- ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- EASEMENT REFERENCES:
A. EASEMENT TO THE STATE OF N.H. TO CONSTRUCT, MAINTAIN AND REPAIR A SIDEWALK FOR THE GENERAL PUBLIC TO PASS AND REPASS. S.C.R.D. BOOK 2128 PAGE 239 DATED AUG. 2, 1999.
B. EASEMENT TO VERIZON NEW ENGLAND, INC. AND PUBLIC SERVICE COMPANY FOR THE POLE AND APPURTENANCES SHOWN HEREON. S.C.R.D. BOOK 3095 PAGE 182, DATED NOV. 4, 2004.
C. SEWAGE ENTRY APPLICATION AND CONTRACT BETWEEN HAROLD KNIGHT AND THE TOWN OF DURHAM. S.C.R.D. BOOK 587 PAGE 135, DATED OCT. 30, 1950.
D. A 12' WIDE RIGHT OF WAY BENEFITING AND ADJACENT TO THE SUBJECT PREMISES. S.C.R.D. BOOK 500 PAGE 489, DATED DEC. 23, 1940.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.

REFERENCE PLANS:

- "PLAN OF LAND FOR GULF OIL CO. DURHAM NEW HAMPSHIRE" DATED APRIL 16, 1957 BY G.L. DAVIS & ASSOCIATES ENGINEERS S.C.R.D. POCKET 1, FOLDER 3, PLAN 54.
- "AS BUILT ALTA SURVEY STORE #6867 PREPARED FOR CIRCLE K CORPORATION SITUATED IN THE TOWN OF DURHAM, N.H." DATED APRIL 17, 1989 BY R.S.L. LAYOUT & DESIGN, INC. S.C.R.D. PLAN 45-85.
- "STATE OF NH DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLANS OF PROPOSED FEDERAL AID PROJECT OBD-STP-M-X-5133(003), N.H. PROJECT NO. C-2424-C, MAIN STREET/NEWMARKET ROAD/ROUTE 108, TOWN OF DURHAM, COUNTY OF STRAFFORD" FINAL REVISION DATE OF 2/00. ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AND S.C.R.D. PLAN 60-53.

TAX MAP 108, LOT 37
4 MAIN STREET UNITS 18-19
MUISE FAMILY LLC
7 WALL STREET SUITE 200B
WINDHAM, NH 03087
S.C.R.D. BOOK 4971, PAGE 0822

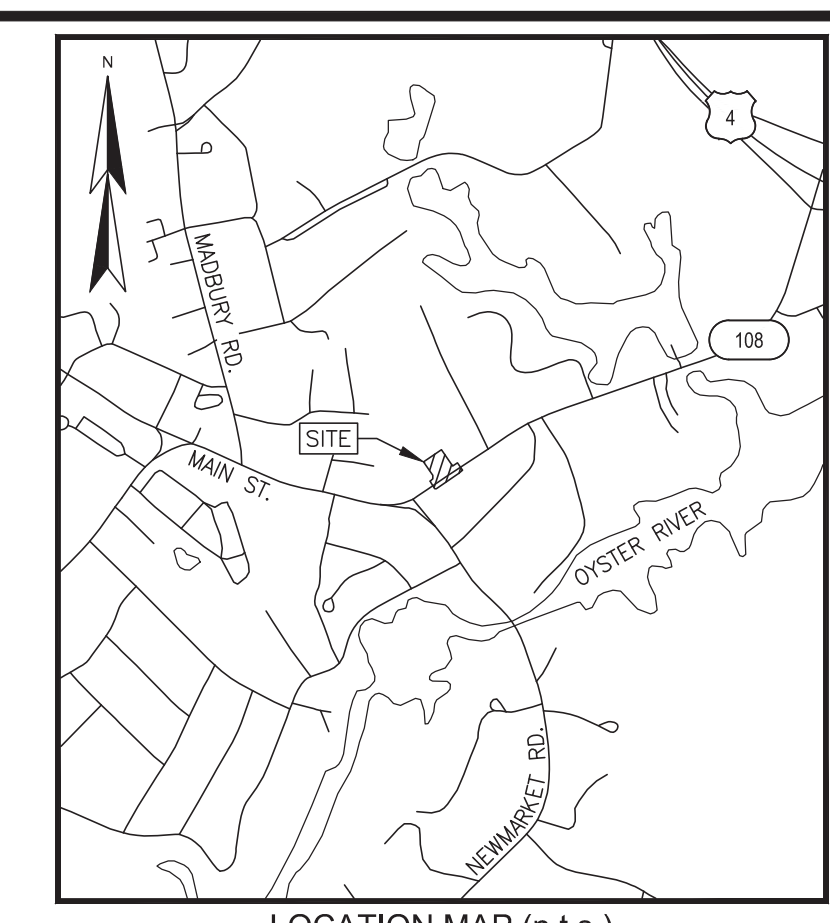
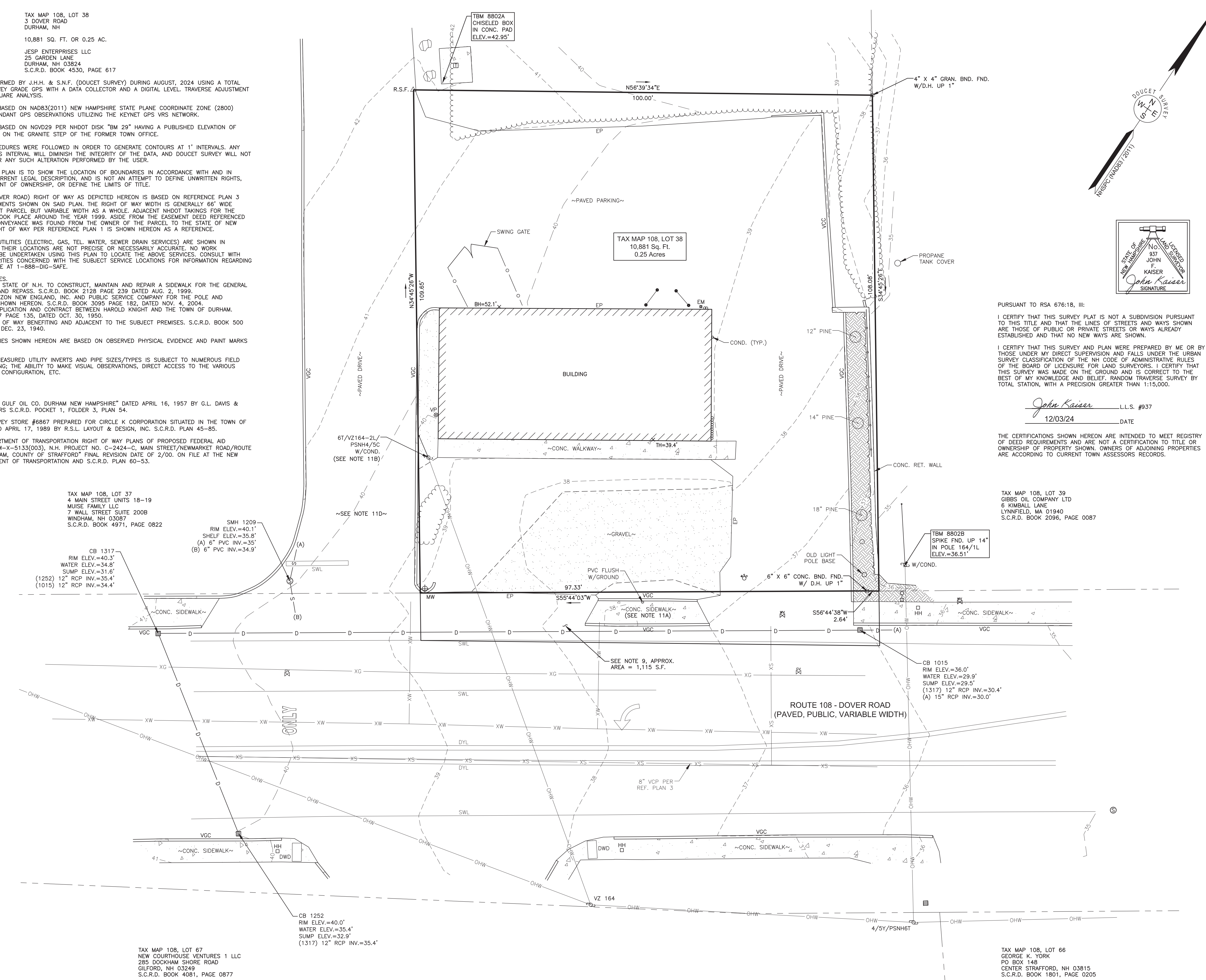
SMH 1209
RIM ELEV.=40.1'
SHELF ELEV.=35.8'
(A) 6" PVC INV.=35'
(B) 6" PVC INV.=34.9'

CB 1317
RIM ELEV.=40.3'
WATER ELEV.=34.8'
SUMP ELEV.=31.8'
(1252) 12" RCP INV.=35.4'
(1015) 12" RCP INV.=34.4'

CB 1252
RIM ELEV.=40.0'
WATER ELEV.=35.4'
SUMP ELEV.=32.9'
(1317) 12" RCP INV.=35.4'

TAX MAP 108, LOT 67
NEW COURTHOUSE VENTURES 1 LLC
285 DOCKHAM SHORE ROAD
GILFORD, NH 03249
S.C.R.D. BOOK 4081, PAGE 0877

TAX MAP 108, LOT 39
GIBBS OIL COMPANY LTD
6 KIMBALL LANE
LYNNFIELD, MA 01940
S.C.R.D. BOOK 2096, PAGE 0087



LEGEND

- EXISTING LOT LINE
- APPROXIMATE ABUTTERS LOT LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- RETAINING WALL
- CHAIN LINK FENCE
- HANDRAIL
- SEWER LINE
- DRAIN LINE
- OVERHEAD WIRE
- TREE LINE
- CONCRETE
- LANDSCAPED AREA
- CRUSHED STONE
- BOUND FOUND (BND. FND.)
- UTILITY POLE
- UTILITY POLE & GUY WIRE
- LIGHT POLE W/ARM
- CATCH BASIN
- SEWER MANHOLE
- WATER GATE VALVE
- WATER SHUTOFF VALVE
- GAS GATE VALVE
- PAD MOUNTED TRANSFORMER
- ELECTRIC METER
- HAND HOLE
- VENT PIPE
- BOLLARD
- ROCK/BOULDER
- CONIFEROUS TREE
- DECIDUOUS BUSH
- MONITORING WELL LOCATION
- BUILDING HEIGHT ELEVATION
- CONCRETE
- CONDUIT
- DRILL HOLE
- DETECTABLE WARNING DEVICE
- DOUBLE YELLOW LINE
- EDGE OF PAVEMENT
- GRANITE
- PVC
- RCP
- REINFORCED CONCRETE PIPE
- RETAINING WALL
- R.S.F.
- RAILROAD SPIKE FOUND
- SINGLE WHITE LINE
- THRESHOLD ELEVATION
- TYP.
- VCC
- VGC
- INVERT I.D. CONNECTION UNKNOWN

APPROXIMATE UTILITY LINES PER REF. PLAN 3

- XS SEWER LINE
- XW WATER LINE
- XG GAS LINE

SCALE: 1 INCH = 10 FT.

PURSUANT TO RSA 676:18, III:
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

John Kaiser L.L.S. #937
12/03/24 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

EXISTING CONDITIONS PLAN
LAND OF
JESP ENTERPRISES LLC
TAX MAP 108, LOT 38
3 DOVER ROAD
DURHAM, NEW HAMPSHIRE

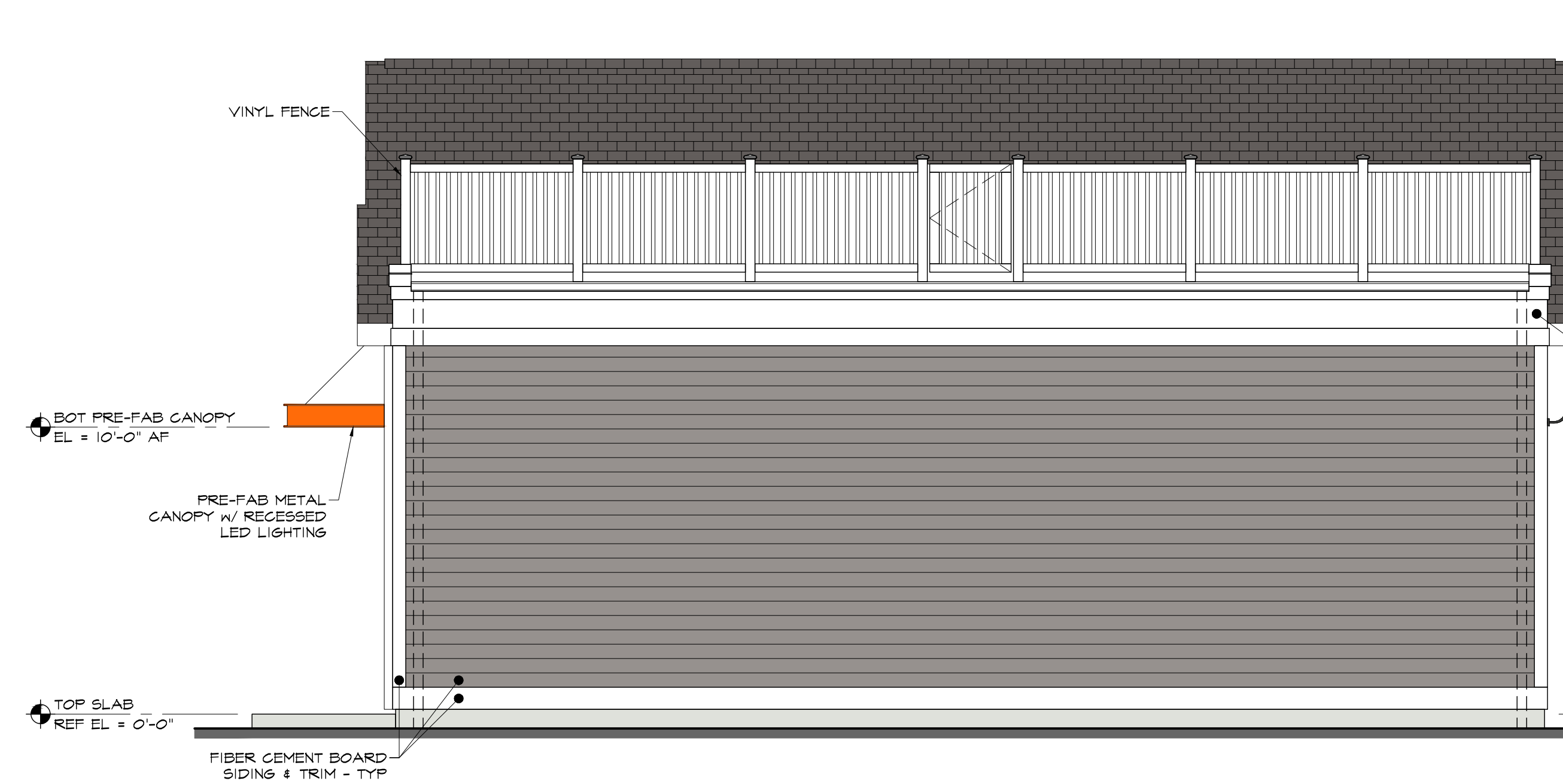
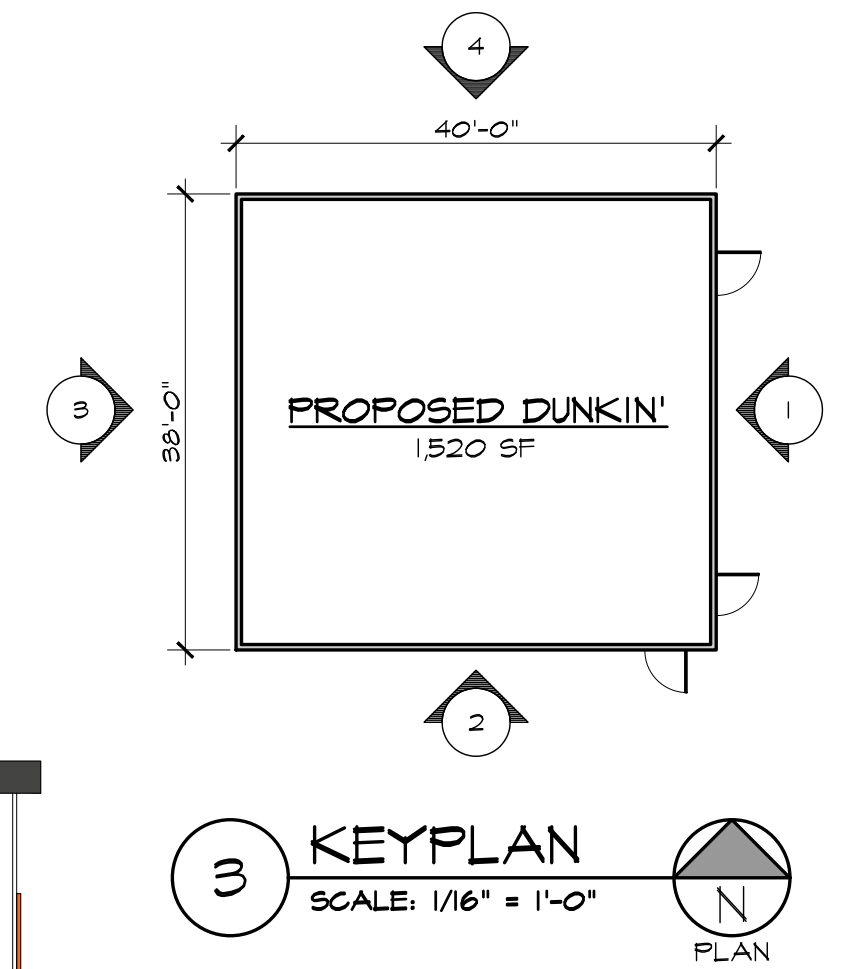
NO.	DATE	ADD REFERENCE UTILITY LINES	J.F.K.
1	11/01/24		

DRAWN BY:	J.R.P.	DATE:	SEPTEMBER 10, 2024
CHECKED BY:	J.F.K.	DRAWING NO.	8802A
JOB NO.	8802	SHEET	1 OF 1

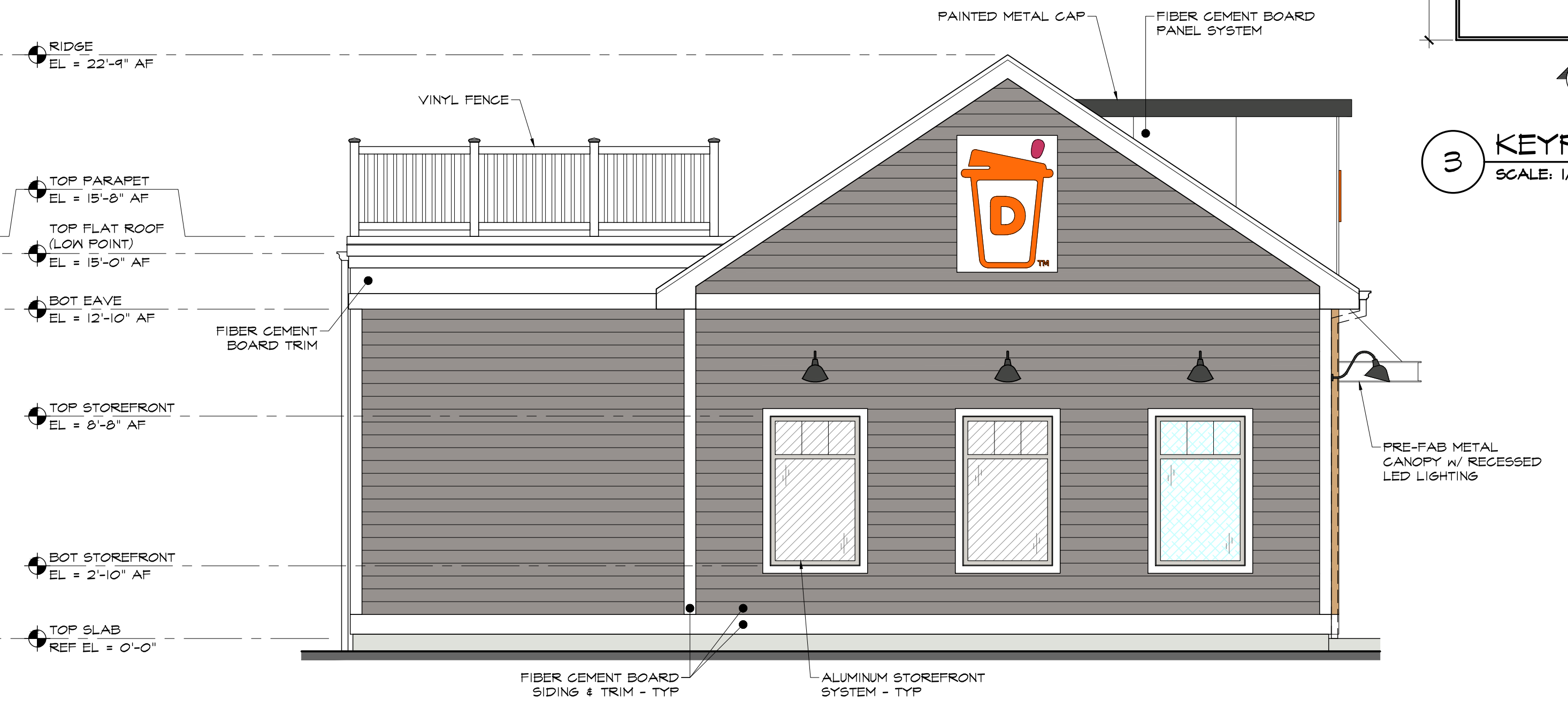
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ZONING NOTES

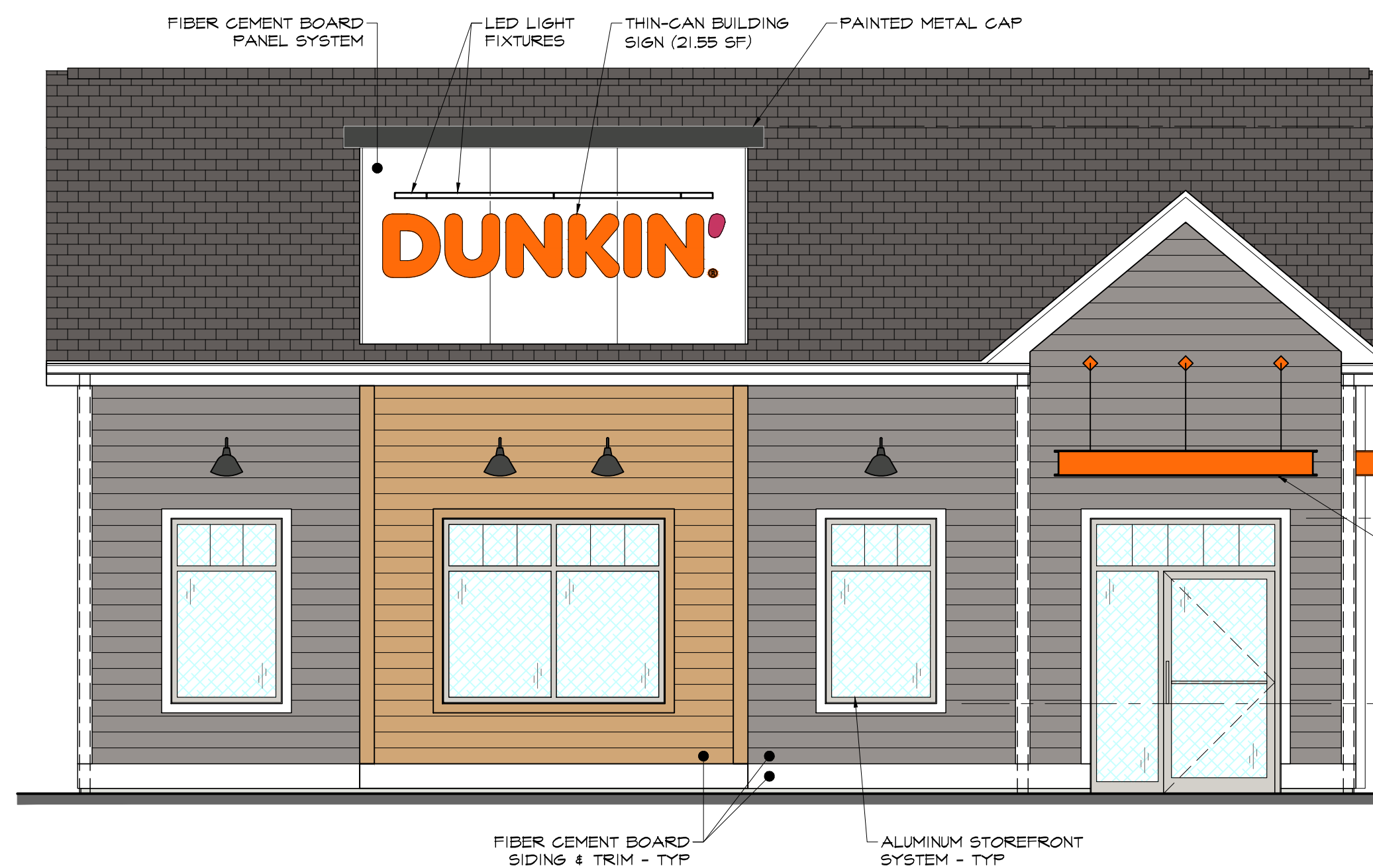
- ZONE: COURTHOUSE (C)
- NO SIGN SHALL PROJECT ABOVE THE ROOF OR PARAPET LINE OF A BUILDING.
- SIGNS MAY BE ILLUMINATED ONLY BY STATIONARY EXTERIOR WHITE LIGHT SOURCES.
- EACH BUSINESS ESTABLISHMENT WILL BE ALLOWED A MAXIMUM OF 48 SQUARE FEET OF TOTAL SIGNAGE. THIS CAN BE COMPOSED OF ANY COMBINATION OF SIGNS IN ACCORDANCE WITH THIS ORDINANCE.



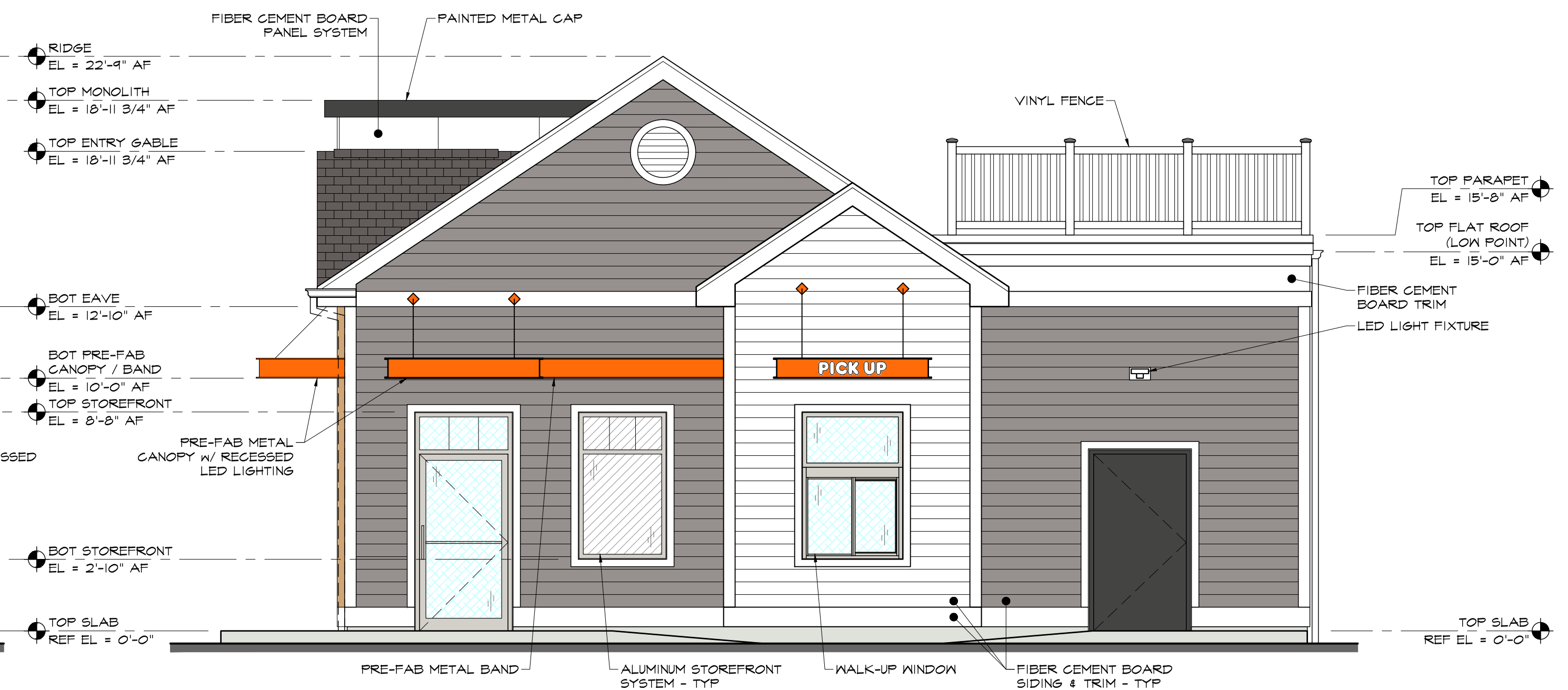
4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



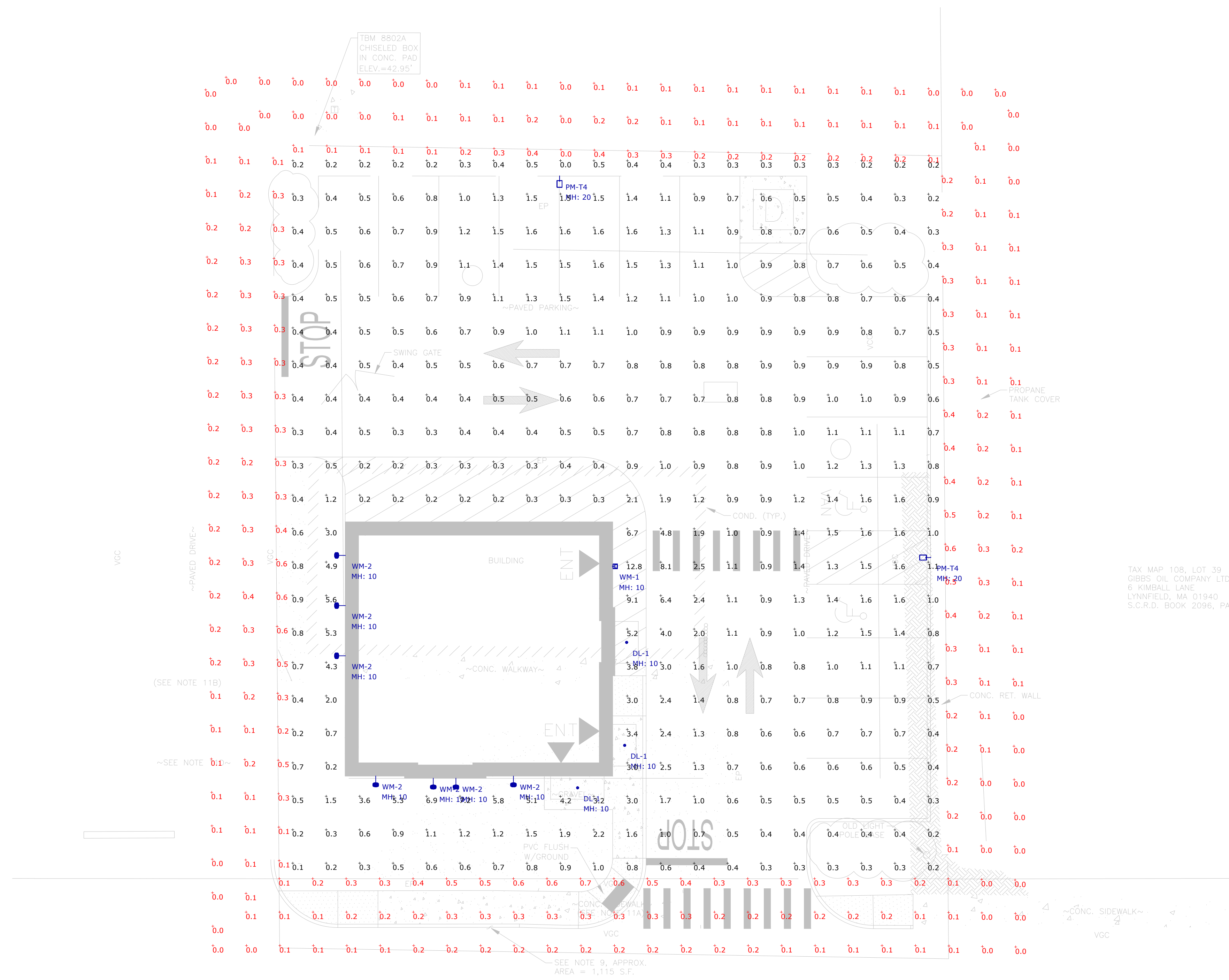
3 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 Site Lighting Plan & Photometrics
SCALE: 1"=10'-0"

Symbol	Label	Qty	Part Number	Arrangement	LLF	Total Watts	Total Luminaire Lumens	BUG Rating
⊕	DL-1	3	Peachtree Lighting # 4BLRD-12-RWD-30K-80-LHW-WL-120	Single	0.950	14.1	849	B1-U0-G0
⊕	PM-T4	2	Xtralight # VNTS-5000L-30K-DIM-4M-N-BZ-XX-HSS	Single	0.950	36	3514	B0-U0-G1
⊕	WM-1	1	WAC Lighting # WP-LED227-30-aBZ	Single	0.950	28	2049	B1-U1-G0
⊕	WM-2	7	TMS Lighting # 18-15LED-30K-120-WM-XX-DIML	Single	0.950	15	1396	B1-U2-G1

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site Lighting Points	Illuminance	Fc	1.12	12.8	0.0	N.A.	N.A.
Property Line	Illuminance	Fc	0.18	0.7	0.0	N.A.	N.A.
Parking Area	Illuminance	Fc	1.06	8.1	0.3	3.53	27.00

- NOTES:**
- A LIGHT LOSS FACTOR OF 0.950 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
 - SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
 - CALCULATION POINTS ARE TAKEN AT GRADE.
 - CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.
 - BASIS OF DESIGN PROVIDED BY SK & ASSOCIATES. FOR FURTHER INFORMATION, PLEASE CONTACT MAIN OFFICE AT (781) 821-1700.

PROJECT:
Dunkin' - 3 Dover Road Durham, NH
Site Lighting Plan, Photometrics & Schedules

CONTACT:
Andrew DeGouff
Applications / Photometrics Team Lead
(781) 232-5378
ADeGouff@sk-assoc.com

PROJECT NUMBER:
DATE: February 18, 2025
REVISION: ---
SCALE: As Noted
DRAWN BY: AD CHECKED BY: AD
DRAWING NUMBER:

SK & Associates
Experience the light™
CT | MA | ME | NH | RI | VT
20 Carver Circle
Canton, MA 02021
(781) 821-1700

PREPARED FOR:

SL1