

TOWN OF DURHAM
8 NEWMARKET RD
DURHAM, NH 03824
PHONE: 603/868-8064
www.ci.durham.nh.us

ZONING BOARD OF ADJUSTMENT REQUEST PROCEDURE

MEETINGS: The Zoning Board of Adjustment (ZBA) will meet on the second Tuesday of each month in the Council Meeting Room at the Town Hall.

FILING OF APPLICATION: Applications for ZBA are available at the Town Office. The application must be filed at the Town Office at least 15 days prior to a meeting, along with an application fee. A notice of the meeting will be published in the Foster's Daily Democrat and a similar notice will be sent, by certified mail, to abutters and nearby property owners. The filing fee will be used to meet these expenses. If the expenses exceed the filing fee, the applicant will be billed for the difference.

LIST OF ABUTTERS: You must prepare a list of all abutting property owners, have it verified at the Town Office, and attach it to your application. If you have any difficulty, consult the Assessor's Office, but **THE ACCURACY OF THE LIST IS YOUR RESPONSIBILITY**. An "abutter" means any person whose property adjoins or is directly across the street or stream from the land under consideration. The list of abutters must also include any holders of conservation, preservation, or agricultural preservation restrictions in accordance with RSA 676:4 (I) (a) of the New Hampshire Planning and Land Use Regulations.

PLOT PLAN: Applications must be accompanied by plot plans in order to be considered by the ZBA. Plans should show the location and shape of the subject structure in relation to lot lines and required setbacks, in addition to location and identification of abutters. Neither the review of any applications or plans by officials of the Town of Durham, nor any subsequent inspection of the premises, should be relied upon as an assurance of conformity to legal requirements. The applicant shall remain fully responsible for complying with all applicable United States, New Hampshire or Durham laws, ordinances, regulations or conditions.

PRESENTATION AT MEETING: The Petitioner should bring all documentation, which will assist the Board in understanding the proposal. Do not assume that anything submitted to a different Town Board will find its way to the ZBA file.

NOTE: Appeals to the Board of Adjustment may be taken by any person aggrieved or by any officer, department, board, or bureau of the municipality affected by any decision of the administrative officer. An appeal of Administrative Decision must be filed with the Board no later than 30 days from the date of the original decision as per the Zoning Board Rules of Procedure Section D(1)(b).

It is necessary that the applicant or his legal representative attend the meeting held for the review and consideration of this petition.

SECTION 2: APPLICATION FOR SPECIAL EXCEPTION

Any Special Exceptions granted shall be valid if exercised within 2 years from the date of final approval, or as further extended by local ordinance or by the zoning board of adjustment for good cause, provided that no such variance shall expire within 6 months after the resolution of a planning application filed in reliance upon the variance.

Description of proposed use showing justification for a Special Exception as specified in the Zoning Ordinance Article _____ Section _____

SECTION 3: APPLICATION FOR EQUITABLE WAIVER

The undersigned hereby requests an Equitable Waiver of Dimensional Requirements as provided in RSA 674:33-A of the New Hampshire Planning and Land Use Regulations.

Please give a brief description of the situation: _____

SECTION 4: APPLICATION FOR A VARIANCE

STANDARD OF REVIEW: Prior to seeking a variance, the property owner must have been DENIED a building permit by the Building Inspector or approval by the Planning Board.

Any Variances granted shall be valid if exercised within 2 years from the date of final approval, or as further extended by local ordinance or by the zoning board of adjustment for good cause, provided that no such variance shall expire within 6 months after the resolution of a planning application filed in reliance upon the variance.

(DIMENSIONAL STANDARDS - 50' SIDE SETBACK)

A Variance is requested from Article 175 Section 54 of the Zoning Ordinance to permit A REPLACEMENT LEACH FIELD 26.5' OFF THE SIDE PROPERTY LINE

WHERE 50' IS REQUIRED. THE PROPOSED POSITION OF THE LEACH FIELD MAXIMIZES THE SEPARATION TO THE WETLANDS, WHILE MAINTAINING AT LEAST HALF THE REQUIRED SETBACK. THE LEACH FIELD POSITION ALSO ALLOWS CONTINUED VEHICLE ACCESS TO THE DRIVE THROUGH BARNS' REAR DOOR, ALLOWS MAINTENANCE OF THE BARN (EQUIPMENT ACCESS) AND KEEPS THE LEACH FIELD AWAY FROM THE STEEP SLOPE LEADING TO THE WETLANDS.

The New Hampshire Legislature has declared that each of the following conditions must be found in order for a variance to be legally granted. Please answer the following questions in support of the variance request either on this form or on a separate sheet of paper.

1. No decrease in value of surrounding properties would be suffered because:

THE NEW LEACH FIELD IS NOT IN DIRECT VIEW OF ANYONES HOME; THERE IS A LEDGE RIDGE
BETWEEN THE NEW LEACH FIELD AND THE AFFECTED ABUTTER (TAX MAP 12, LOT 14 LANGLEY)

2. Granting the variance would not be contrary to the public interest because:

PROPERLY WORKING SEPTIC SYSTEMS ARE IN THE PUBLICS INTEREST IN PROTECTING
WATER QUALITY; THE CURRENT SYSTEM IS LEAKING OUT ONTO THE GROUND WITHIN
20' OF THE WETLANDS.

Current law requires the existence of unnecessary hardship for the granting of any variance, whether that is for a use not allowed in a particular zone or a deviation from a dimensional requirement.

3(A). Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

a. no fair and substantial relationship exists between the general public purpose of the ordinance provision and the specific application of that provision to the property because:

THE SMALL MOUNDED LEACH FIELD WILL BLEND INTO THE SLOPE AND WILL LOOK LIKE AN EXTENSION OF THE HILL, MANTAINING THE RURAL CHARACTER OF THIS ZONE. THE
SUBSTANTIAL WETLANDS AND SETBACKS, WELL AND FUNCTION OF THE EXISTING BUILDINGS
LIMITS THE AREA THAT A REPLACEMENT LEACH FIELD CAN BE LOCATED WITHOUT CUTTING OFF ACCESS TO THE BARN OR BEING IN A SETBACK.

and

b. the proposed use is a reasonable one because:

A NEW SEPTIC SYSTEM NEEDS TO BE INSTALLED ON THIS PROPERTY. THIS AREA HAD
THE BETTER SOILS AND MAXIMIZES THE SETBACK TO THE WETLANDS; IS OUT OF THE WAY
VISUALLY AND WILL BE A SUBSTANTIAL IMPROVEMENT TO THE EXISTING CONDITIONS.

Or

3(B). Owing to special conditions of the property that distinguishes it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

4. By granting the variance substantial justice would be done because:

GRANTING THE VARIANCE WOULD ALLOW THE CONTINUED HISTORIC USE OF THE PROPERTY

AND BRING THE OLD SEPTIC SYSTEM UP TO CURRENT STANDARDS.

5. The use will not be contrary to the spirit and intent of the ordinance because:

THE UPGRADE OF THE SEPTIC SYSTEM WILL PROTECT WATER QUALITY BY REMOVING A

POLLUTION THREAT AND ALSO KEEP A REASONABLE DISTANCE OFF THE PROPERTY LINE.

THERE ARE NO STRUCTURES OR HOMES NEAR THE NEW LEACH FIELD AREA; THE LEACH FIELD
WILL BE A SLIGHT GRASS MOUNDED AREA, IN AN ALREADY CLEARED SPOT, SO THE RURAL
NATURE OF THE PROPERTY WILL BE MAINTAINED.



TOWN OF DURHAM
8 NEWMARKET RD
DURHAM, NH 03824-2898

AUDREY CLINE
Zoning Administrator
Code Enforcement Officer
Health Officer

TEL: (603) 868-8064
acline@ci.durham.nh.us

Decision or Order of the Building Inspector/Code Enforcement Officer

175-12. Administrative Appeals.

Any person who believes that the Zoning Administrator has made an error in the interpretation or application of the provisions of this Ordinance, may appeal such determination to the Zoning Board of Adjustment as an administrative appeal under the provisions of Section 175-19. If the Board finds that the Zoning Administrator erred in his/her interpretation of the Ordinance, it shall modify or reverse the decision accordingly.

175.19. Powers and Duties

B. In exercising the above-mentioned powers, the Board may, in conformity with the provisions hereof, reverse or affirm, wholly or partly, or may modify the order, requirements, decision or determination appealed from and may make such order or decision as ought to be made and to that end shall have all the powers of the officer from whom the appeal is taken.

Applicant: Stephan Reyna, 253 Durham Point Road, Durham NH

Date of order: 8.22.2017

Deadline for application for appeal: 9.22.2017

Decision or Order of the Building Inspector/Code Enforcement Officer:

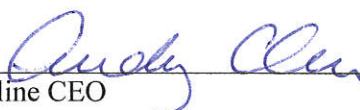
Your septic system plan dated August 10, 2017 is DENIED due to noncompliance with the Durham Zoning Ordinances below:

175-54. Dimensional Standards.

Minimum Side Yard Setback of 50' for Structures

175-7. Definitions: STRUCTURE – That which is built or constructed with a fixed location on the ground or attached to something having a fixed location on the ground. "Structures" include but are not limited to a building, swimming pool, mobile home, billboard, pier, wharf, septic system, parking space/parking lot and deck. It shall not include a minor installation such as a fence under six (6) feet high, a mailbox, a flagpole, or an accessory shed

By Durham Building Inspector/Code Enforcement Officer:



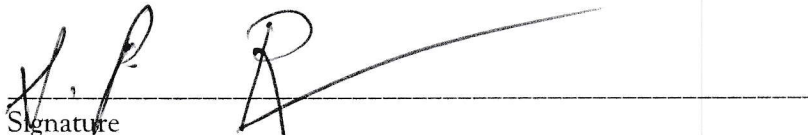
Audrey Cline CEO

LETTER OF AUTHORIZATION

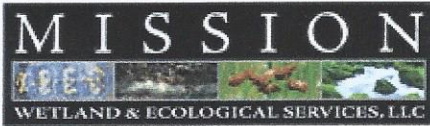
August 17, 2017

Re: Town of Durham Zoning Board Application
Replacement Residential Subsurface Sewage Disposal System
Stephen Reyna Property
253 Durham Point Road
Durham, NH
Tax Map 12, Lot 15

I, Stephen Reyna, owner of the property referenced, authorize Susan J. Faretra, Faretra Septic Design, LLC to be my agent in matters concerning the Town of Durham and NHDES permitting for the Replacement Residential Subsurface Sewage Disposal System Design for that property.


Signature


Date



Mission Wetland & Ecological Services, LLC
P.O. Box 4028
Portsmouth, NH 03802
(603) 361-3204

MEMORANDUM

To Susan Faretra, Faretra Septic Design, LLC Page 1

CC

Subject Wetland Delineation, 253 Durham Point Road, Durham, NH (MWE#17-004)

From Sergio Bonilla, PWS, CWS

Date June 12, 2017

Mission Wetland & Ecological Services, LLC (Mission) delineated the freshwater wetlands associated with the above-referenced property on June 9, 2017. The delineation was conducted by Sergio Bonilla, New Hampshire Certified Wetland Scientist (CWS) #261, in accordance with the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2 – TR-12-1, January 2012)*. The wetland was demarcated in the field using solid pink, alpha-numerically labeled **A-1 (start) through A-12 (stop)**.

Wetlands were classified in accordance with the *US Fish & Wildlife Service Classification of Wetlands and Deepwater Habitats of the United States* (Cowardin, 1979) as palustrine emergent wetlands with persistent vegetation that are seasonally flooded/saturated and/or semi-permanently flooded (PEM1E/F). Mission utilized *The National Wetland Plant List, ERDC/CRREL TR-12-11, Hanover, NH: U.S. Army Corps of Engineers, Cold Regions Research and Engineering Laboratory* (Lichvar, R.W. 2012, 2016) along with the *Field Indicators for Identifying Hydric Soils in New England, Version 4, 2015 and/or Field Indicators of Hydric Soils in the United States: A Guide for identifying and delineating Hydric Soils, Version 7.0* (2010) to determine the presence of hydric soils.

The limit of very poorly drained soils was also demarcated in the field as **VPD-1 (start) through VPD-7 (stop)**. Mission utilized Version 4, as an update to the Hydric Soil Indicators, as Version 3 is referenced by the Society of Soil Scientists of Northern New England (SSSNEE) in the Site-Specific Soil Mapping Standards for New Hampshire and Vermont (February, 2011).

Attached, please find sketch to facilitate survey location. Please call with any questions or if you require additional information.



Abutter's List

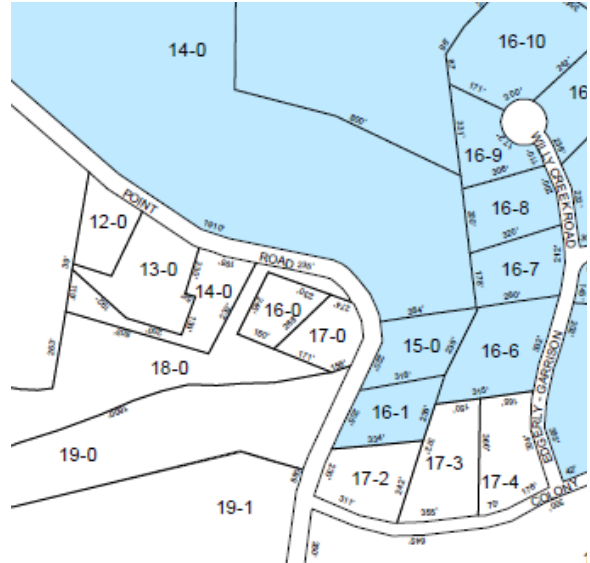
for
Tax Map 12, Lot 15-0
253 Durham Point Rd., Durham, NH

Tax Map 12, Lot 14-0
247 Durham Point Rd
Helen M. Langley
Pamela M. Langley
247 Durham Point Rd.
Durham, NH 03824

Tax Map 12, Lot 16-1
255 Durham Point Rd
Benjamin B. Burns
Jennifer R. Burns
255 Durham Point Rd.
Durham, NH 03824

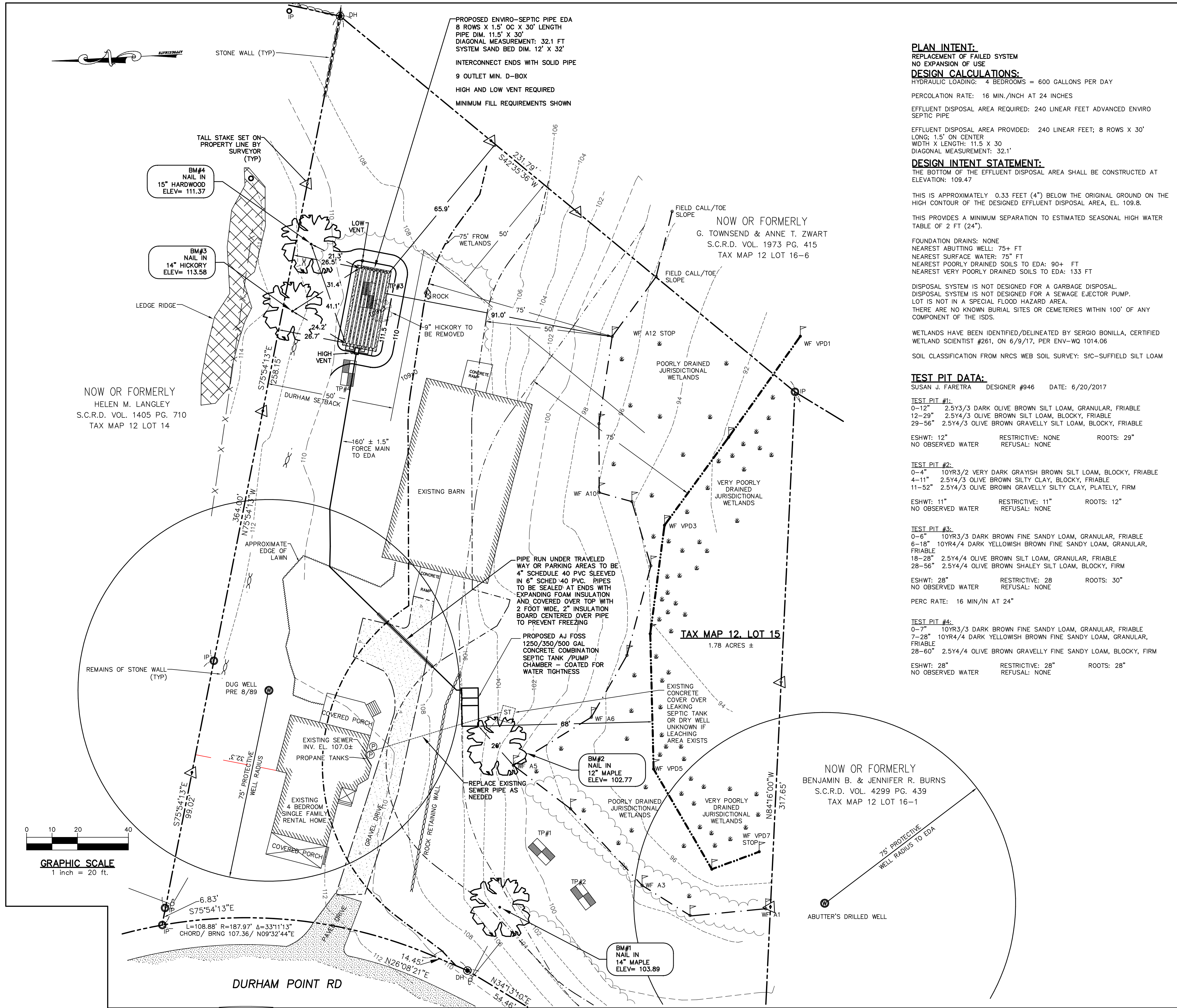
Tax Map 12, Lot 16-6
5 Edgerly Garrison Rd
G. Townsend Zwart
Anne T. Zwart
5 Edgerly Garrison Rd.
Durham, NH 03824

Tax Map 12, Lot 16-7
7 Edgerly Garrison Rd
Mark E. Donaldson
Tracy A. Donaldson
Landamerica/Tax Disbursement
1123 South Parkview Dr.
Covina, CA 91724



Tax Map 16, Lot 17
252 Durham Point Rd.
Alison A. Moy
252 Durham Point Rd.
Durham, NH 03824

Tax Map 16, Lot 19
260 Durham Point Rd.
John V. Macisso
260 Durham Point Rd.
Durham, NH 03824



PLAN INTENT:
 REPLACEMENT OF FAILED SYSTEM
 NO EXPANSION OF USE
DESIGN CALCULATIONS:
 HYDRAULIC LOADING: 4 BEDROOMS = 600 GALLONS PER DAY
 PERCOLATION RATE: 16 MIN./INCH AT 24 INCHES
 EFFLUENT DISPOSAL AREA REQUIRED: 240 LINEAR FEET ADVANCED ENVIRO SEPTIC PIPE
 EFFLUENT DISPOSAL AREA PROVIDED: 240 LINEAR FEET; 8 ROWS X 30' LONG; 1.5' ON CENTER
 WIDTH X LENGTH: 11.5 X 30'
 DIAGONAL MEASUREMENT: 32.1'

DESIGN INTENT STATEMENT:
 THE BOTTOM OF THE EFFLUENT DISPOSAL AREA SHALL BE CONSTRUCTED AT ELEVATION: 109.47

THIS IS APPROXIMATELY 0.33 FEET (4") BELOW THE ORIGINAL GROUND ON THE HIGH CONTOUR OF THE DESIGNED EFFLUENT DISPOSAL AREA, EL. 109.8.

THIS PROVIDES A MINIMUM SEPARATION TO ESTIMATED SEASONAL HIGH WATER TABLE OF 2 FT (24").

NHDES WAIVERS REQUESTED:
 ENV-WQ 1008.04(A) MINIMUM DISTANCES:
 POORLY DRAINED WETLANDS TO TANK - MIN. 50' SEPARATION DISTANCE

REQUESTING SEPARATION DISTANCE OF 20'; TANK TO BE SEALED TO PREVENT INFILTRATION AND EXFILTRATION; TANK IS LOCATED TO ACCEPT EXISTING PLUMBING AND TO BE OFF DRIVEWAY ENOUGH TO AVOID PLOWED SNOW ACCUMULATION IN WINTER

MUNICIPAL WAIVERS REQUESTED:

1) 175-54 DIMENSIONAL STANDARDS: RC ZONE: ALLOW EFFLUENT DISPOSAL AREA (EDA) TO BE 26.5' WHERE 50' SETBACK IS REQUIRED IN THE RC ZONE; EDA IS LOCATED TO PROVIDE MINIMUM 75' FROM WETLANDS AND TO BE IN THE BETTER SOILS ON THE LOT.

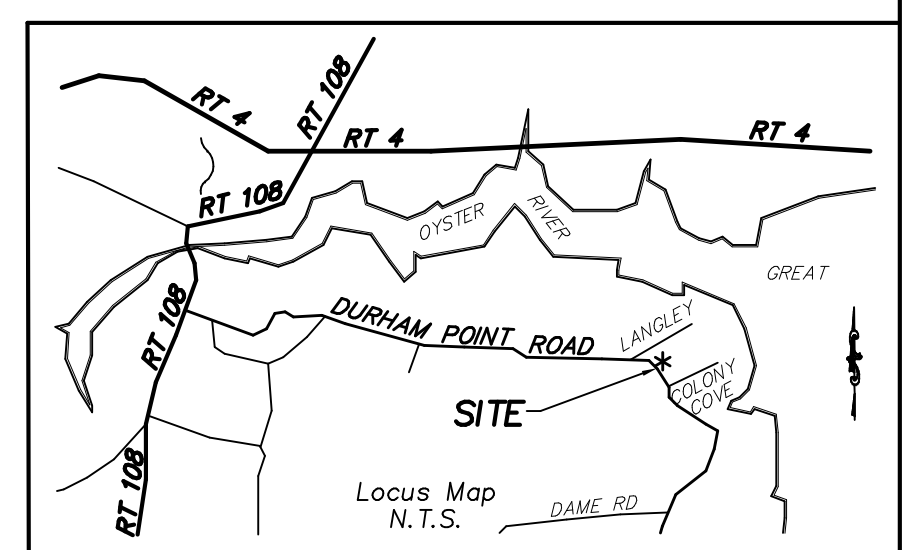
2) 175-65 F. PERFORMANCE STANDARDS WITHIN WCO DISTRICT; SEPTIC SETBACKS: ALLOW REPLACEMENT EDA TO BE 91' FROM WETLANDS WHERE 125' FROM WETLANDS IS REQUIRED; EDA IS LOCATED TO PROVIDE MINIMUM 75' FROM WETLANDS AND TO BE IN THE BETTER SOILS ON THE LOT.

3) 175-65 F. PERFORMANCE STANDARDS WITHIN WCO DISTRICT; SEPTIC SETBACKS: ALLOW REPLACEMENT SEPTIC TANK TO BE 20' FROM POORLY DRAINED AND 68' FROM VERY POORLY DRAINED WETLANDS WHERE 125' FROM WETLANDS IS REQUIRED; TANK IS POSITIONED TO ACCEPT EXISTING PLUMBING FROM EXISTING HOME; TANK TO BE COATED WITH SEALANT FOR WATER TIGHTNESS; POSITION IS TO BE OFF DRIVEWAY ENOUGH TO AVOID PLOWED SNOW ACCUMULATION IN WINTER.

PLAN SPECIFIC NOTES:

- BOUNDARY INFORMATION PROVIDED BY KNIGHT HILL LAND SURVEYING SERVICES, NEWINGTON, NH 8/09/2017.
- GRADING SHOWN FOR SEPTIC SYSTEM ONLY. ADDITIONAL GRADING IS AT THE DISCRETION OF THE CONTRACTOR OR OWNER.

PRODUCT MANUFACTURER (OR EQUIVALENT):
 PRECAST CONCRETE PRODUCTS AVAILABLE THROUGH:
 AJ FOSS PRECAST CONCRETE, 100 COCHECO RD, FARMINGTON, NH 603-755-2515



INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN

SITE LOCATION: 253 DURHAM POINT ROAD
 TAX MAP 12, LOT 15
 DURHAM, NH

SUBDIVISION APPROVAL: # PRE 1967 LOT **LOT SIZE:** 1.78 AC.-TOWN RECORDS **DEED BOOK/PAGE:** SCRD 1122/654

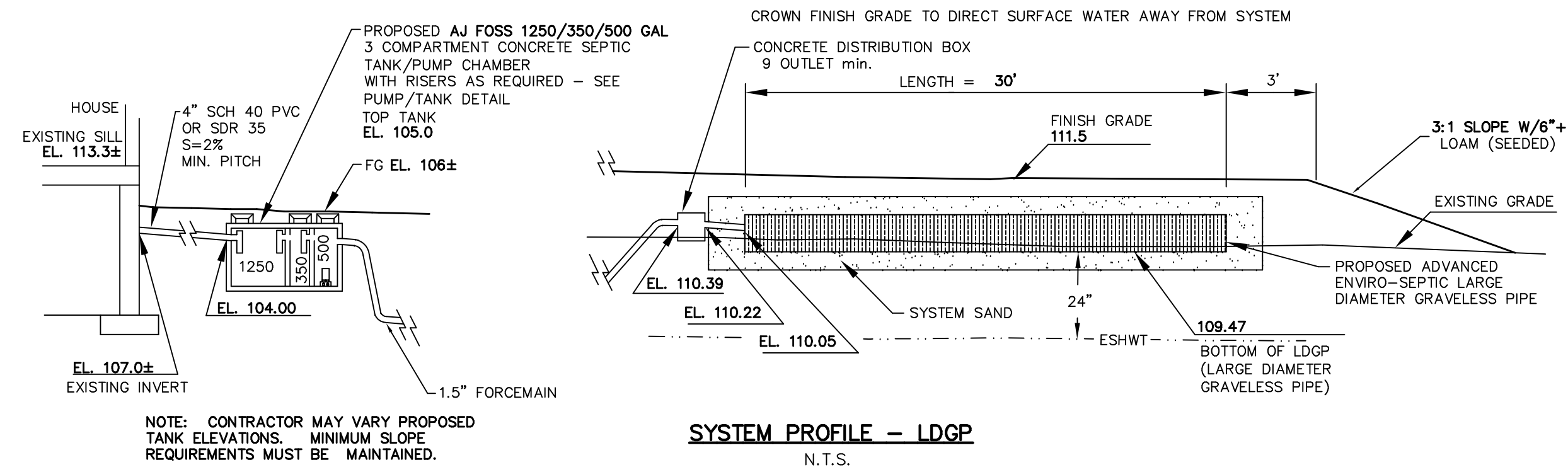
FOR: STEPHEN REYNA
 790 RIVERSIDE DRIVE
 NEW YORK, NEW YORK 10032

DESIGNER: FARETRA SEPTIC DESIGN, LLC

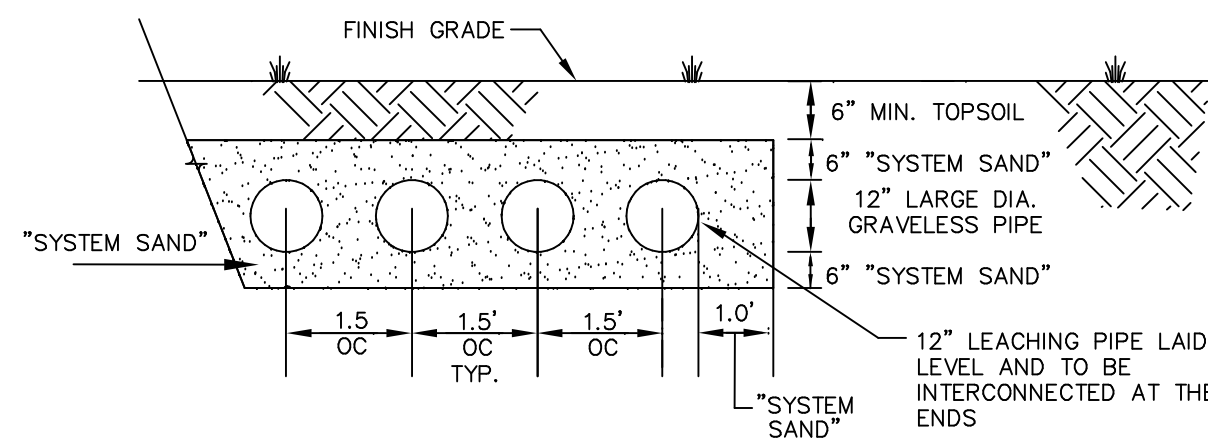
SUSAN J. FARETRA
 NH DESIGNER #946
 181 GLE ROAD, NOTTINGHAM, NH 03290
 PHONE: 603-659-6556
 sjfaretra@comcast.net

Susan J. Faretra
 No. 946
 NH Designer Stamp

Date	Revision/Amendment Description	By	Sheet 1 of 2
			File #17-116



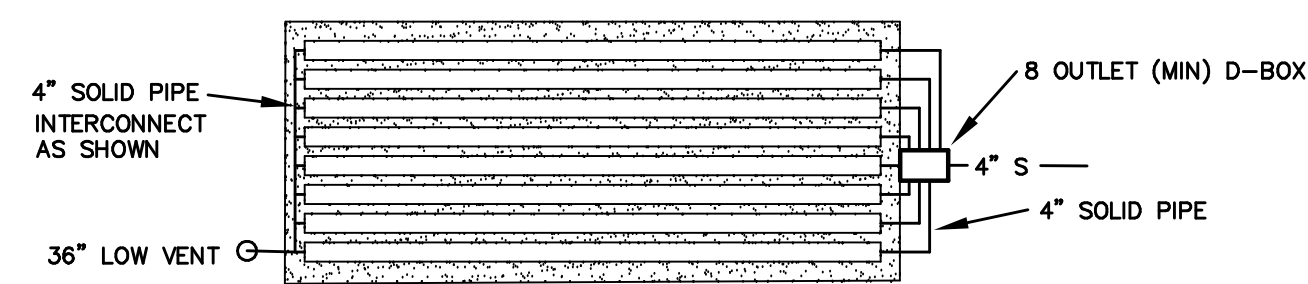
SYSTEM PROFILE - LDGP
N.T.S.



FIELD CROSS SECTION - LDGP
NTS

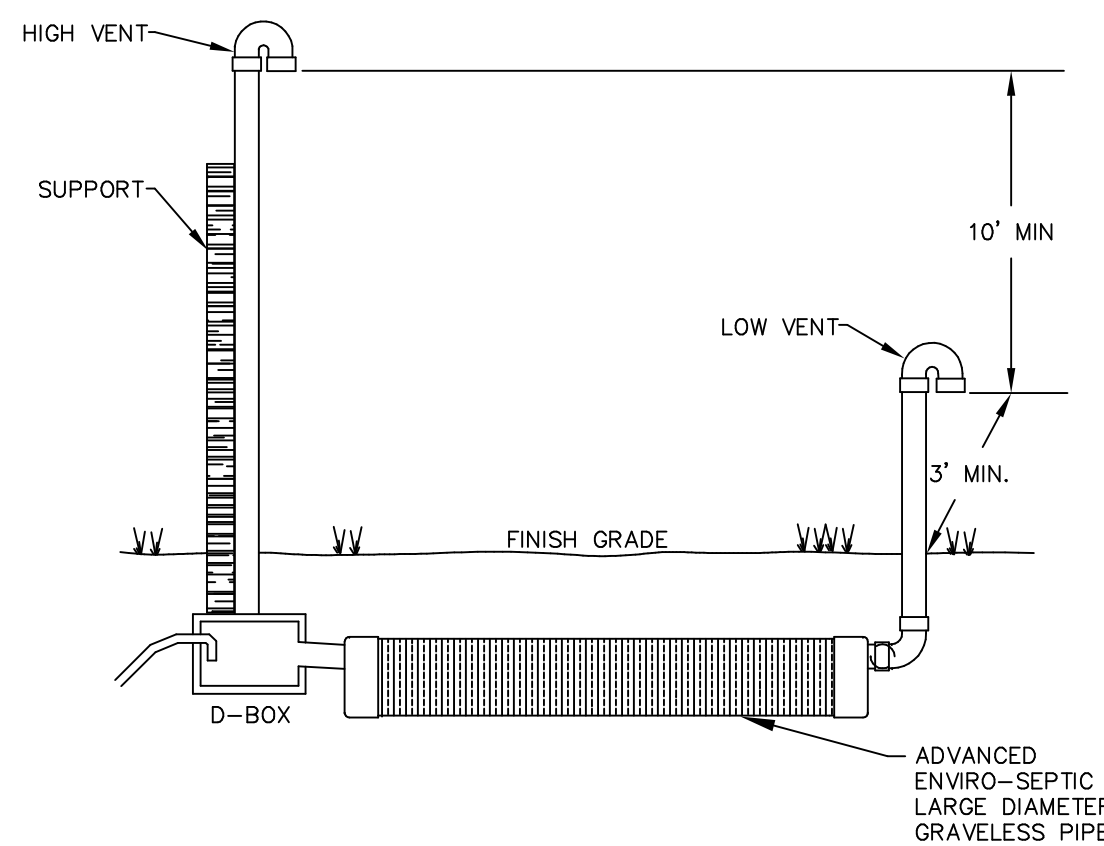
NOTE: CONTRACTOR MAY VARY PROPOSED TANK ELEVATIONS. MINIMUM SLOPE REQUIREMENTS MUST BE MAINTAINED.

8 ROWS WIDE X 30' LONG @ 1.5' ON CENTER
PIPE LAYOUT DIMENSIONS: 11.5' X 30'
SYSTEM SAND BED DIMENSIONS = 12.5' X 32'



REFER TO "Presby Wastewater Treatment System NH Design and Installation Manual" IF UNFAMILIAR WITH PRODUCT
MANUAL CONTAINS SPECIFIC REQUIREMENTS FOR INSTALLATION AND VENTING OPTIONS

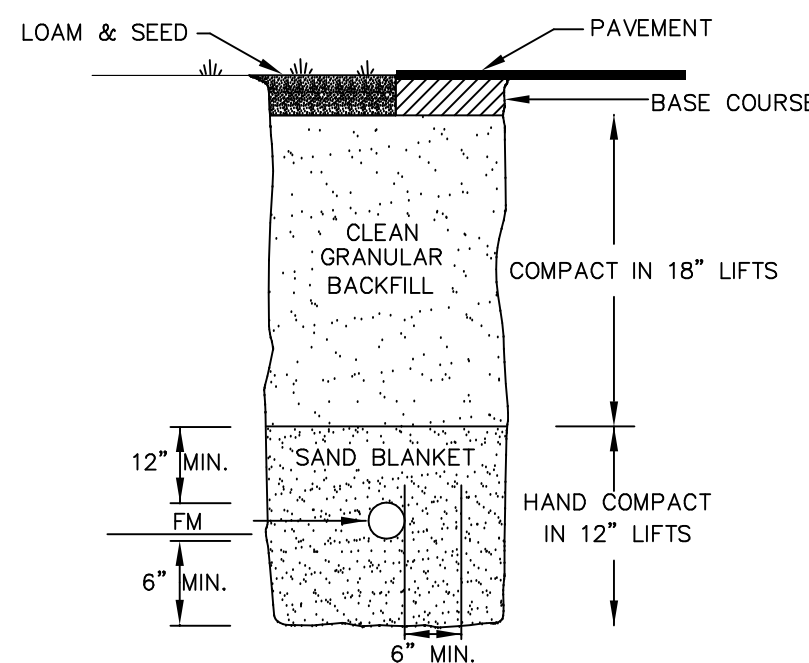
ADVANCED ENVIRO-SEPTIC EDA (LEACH FIELD) LAYOUT
NTS



DIFFERENTIAL VENTING FOR PUMPED SYSTEMS
N.T.S.

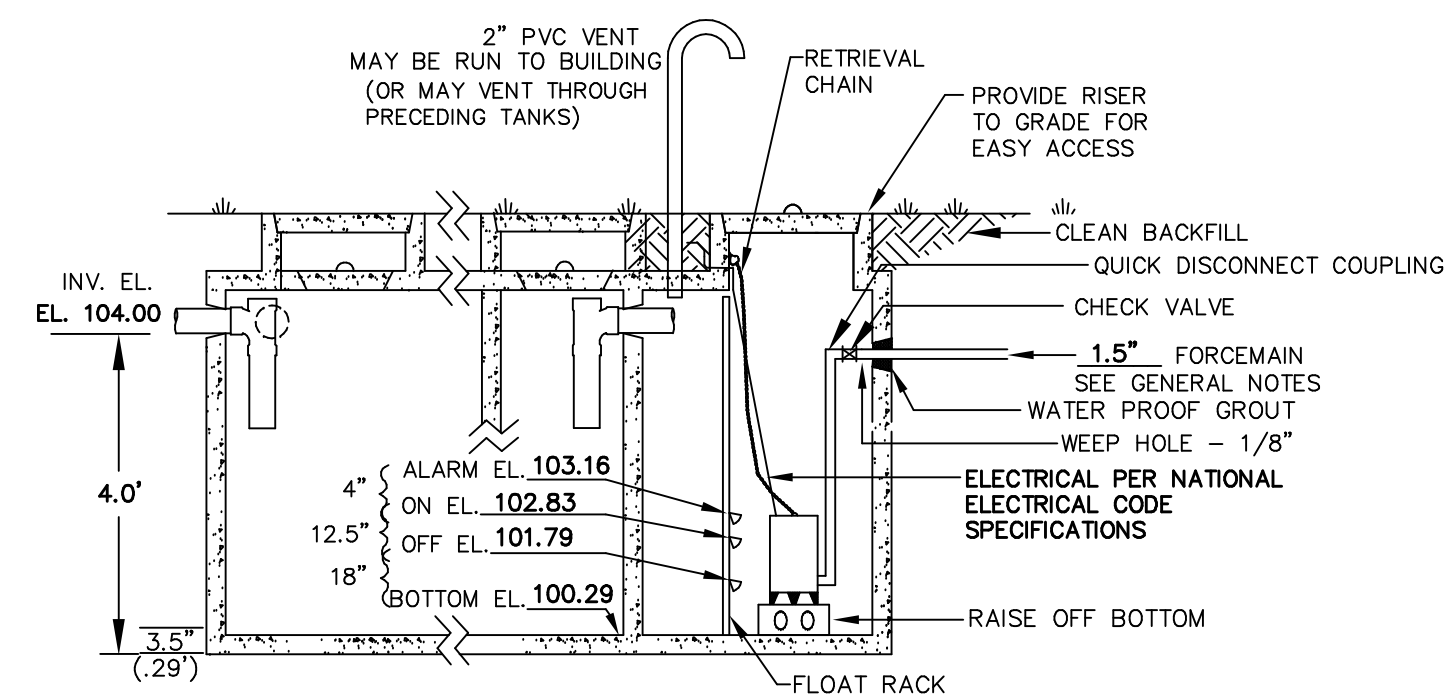
VENTS MAY BE DISGUISED WITH A VARIETY OF PRODUCTS SPECIFICALLY MADE FOR THIS PURPOSE. DO NOT INSTALL A CHARCOAL FILTER OR ANY ATTACHMENT TO THE VENT THAT MAY OBSTRUCT AIR FLOW INTO SYSTEM.

VENT MAY BE RUN TO BUILDING OR TREE AND MUST PITCH UP FROM FIELD. IF PITCH CANNOT BE MAINTAINED, SEE REMOTE VENTING DETAIL IN ENVIRO SEPTIC MANUAL



NOTES:
1. MINIMUM COVER SHALL BE 6'+ FOR PLOWED AREAS, 4'+ FOR CROSS COUNTRY
2. MULTIPLE PIPES IN THE SAME TRENCH SHALL BE SEPARATED BY 12"+

STANDARD TRENCH DETAIL
FOR EFFLUENT SEWER OR FORCEMAIN
N.T.S.



AJ FOSS 1250/350/500 3-COMPARTMENT CONCRETE TANK

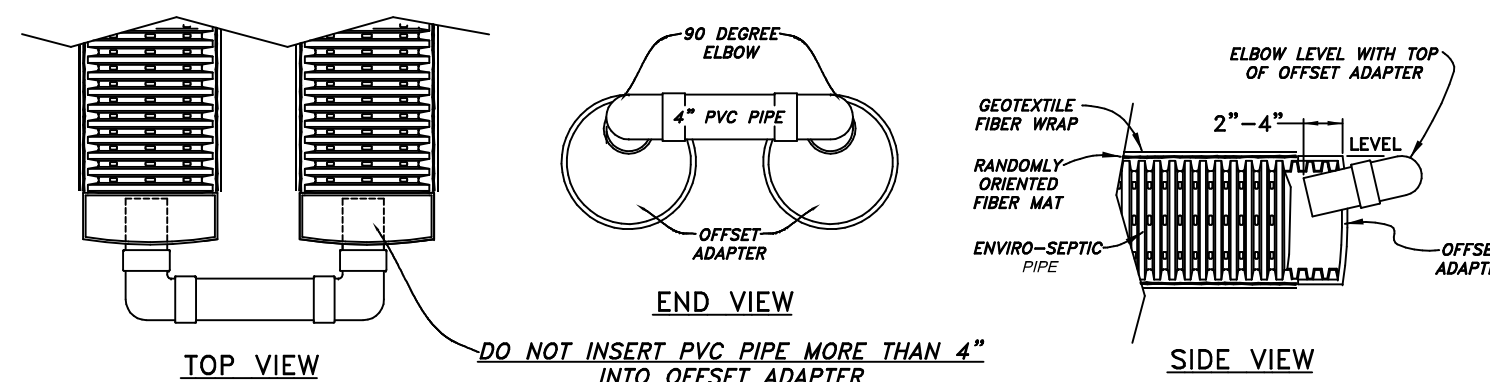
1" DRAW DOWN = 12 GALS.±.
PUMP TO BE SET TO DOSE 150 GALS./CYCLE AND CYCLE 4 TIMES PER DAY AT 600 GPD TOTAL.
PUMP TO BE CAPABLE OF 25 GPM AT A TOTAL HEAD OF 15 FEET.
RECOMMENDED MYERS SRM4 (OR EQUIVALENT) WITH FLOAT CONTROLS AND VISUAL AND AUDIBLE ALARM. ALARM TO BE CENTRALLY LOCATED AND TO BE ON SEPARATE CIRCUIT FROM PUMP.
APPROX. PUMP RUNNING TIME 6 MINS.
PUMP TO HAVE SEPARATE ON/OFF FLOATS SET AS SPECIFIED.

APPROXIMATELY 121 GALLONS OF STORAGE ABOVE ALARM ELEVATION BEFORE BACKUP INTO SEWER.

ALL WIRING FOR PUMPS AND ALARMS SHALL BE DONE BY AN ELECTRICIAN LICENSED TO WORK IN NH

TANK/PUMP DETAIL

SCHEMATIC OF TYPICAL APPURTENANCES
N.T.S.



RAISED CONNECTION DETAIL
(NOT TO SCALE)

GENERAL NOTES:

- THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY OR ENGINEERED SITE PLAN.
- THIS PLAN NOT INTENDED FOR BUILDING LAYOUT. A LICENSED LAND SURVEYOR SHOULD BE RETAINED TO LAY OUT ALL BUILDINGS ON THE SITE AND VERIFY THAT THEY WILL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL ZONING REQUIREMENTS PRIOR TO CONSTRUCTION.
- THIS DISPOSAL SYSTEM MUST BE INSTALLED IN COMPLIANCE WITH CURRENT NHDES RULES. MOST CURRENT NHDES APPROVED VERSION OF MANUFACTURER'S DESIGN MANUAL, AS APPLICABLE, AND SPECIFICATIONS OF THIS PLAN. SEE NHDES CONSTRUCTION APPROVAL FOR ANY ADDITIONAL CONDITIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER TO BE FAMILIAR WITH THE RULES AND INSTALLATION GUIDELINES, AS THEY CAN NOT BE REPRODUCED IN THEIR ENTIRETY ON THIS PLAN.
- INSTALLER IS RESPONSIBLE FOR CLEARING EXCAVATION WITH DIG-SAFE @ 1-888-DIG-SAFE BEFORE CONSTRUCTION.
- INSTALLER MUST REPORT DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION OF THE DISPOSAL SYSTEM.
- EROSION AND SEDIMENTATION INTO WETLANDS OR WATER BODIES OR ONTO ADJUTING PROPERTY MUST BE PREVENTED BY INSTALLER.
- AMENDED PLANS FROM THE DESIGNER WILL BE REQUIRED PRIOR TO NHDES INSPECTION IF CHANGES HAVE BEEN MADE TO THE LOCATION OF SYSTEM COMPONENTS (EXCLUDING THE BED) OR PROPOSED STRUCTURE. IF THE BED IS NOT INSTALLED AT THE LOCATION SHOWN AND ELEVATION SHOWN, A NEW APPROVAL WILL BE REQUIRED.
- TANK, D-BOX AND ALL PIPE CONNECTIONS MUST BE SEALED AND WATER TIGHT. TANK TO BE SEALED WITH JOINT SEALANT MEETING ASTM C990-09. CONNECTIONS BETWEEN TANK AND PIPES TO BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR.
- SEPTIC TANK MUST HAVE ACCESSIBLE Baffles ON INLET, OUTLET, AND BETWEEN COMPARTMENTS IF MULTI-COMPARTMENT TANK IS SPECIFIED. ACCESS TO ALL COMPARTMENTS REQUIRED. SECURED COVER AND RISERS TO BE PROVIDED WHEN FILL OVER TANK IS 12" OR GREATER. SECURED COVER AND RISER TO FINISH GRADE IS REQUIRED OVER ACCESS TO EFFLUENT FILTER, IF SPECIFIED. ACCESS TO THE INTERIOR OF THE TANK SHALL CONFORM TO ENV-WQ 1010.05.
- 4 INCH GRAVITY SEWER TO BE SDR 35 OR SCHEDULE 40 PVC, UNLESS OTHERWISE NOTED. WHERE GRAVITY SEWER IS LESS THAN 75' TO WELL, 4" GRAVITY SEWER TO BE SDR 26. FORCE MAINS TO BE SDR 26, SCHEDULE 40 PVC, OR POLYETHYLENE PIPE ("POLY PIPE"), 100-150 PSI RATING. ALL PIPE USED FOR EFFLUENT CONDUIT (SUCH AS PIPE IN STONE AND PIPE FIELDS) SHALL BE SDR 35 OR STRONGER.
- DISTRIBUTION BOX MUST BE SET ON LEVEL STABLE SOIL BASE OR CONCRETE PAD. DISTRIBUTION BOX SHALL HAVE FLOW EQUALIZER OUTLET FITTINGS. UNLESS SYSTEM UTILIZES A PUMP. IF EFFLUENT IS PUMPED, THE DISTRIBUTION BOX MUST HAVE VELOCITY REDUCING Baffle OR T. IT SHALL NOT RESTRICT AIR FLOW.
- ALL TOPSOIL, ROOTS AND ORGANIC MATTER SHALL BE REMOVED FROM THE AREA TO BE FILLED, INCLUDING THE AREA UNDER THE FILL EXTENSION. DO NOT COMPACT OR SMEAR SUBSOIL WITH MACHINERY. SCARIFY WITH TEETH OF EXCAVATOR BEFORE PLACING FILL. SCARIFY PARALLEL WITH CONTOURS, WORKING FROM THE CENTER OUTWARD. SOIL MUST BE DRY PRIOR TO PREPARATION.
- IF DISPOSAL AREA IS RAISED, SEPTIC SAND FILL TO BE PUSHED ONTO PREPARED SURFACE FROM THE SIDE. DO NOT ALLOW EQUIPMENT ON THE SCARIFIED SOIL SURFACE. CONTINUOUS GRADING AND SHAPING SHALL BE CARRIED OUT TO ASSURE UNIFORM DENSITY.
- MATERIAL SPECIFICATIONS:**
TOPSOIL: 6 INCH MINIMUM LOAM, SEEDED AND MULCHED TO PREVENT EROSION.
BACKFILL: CLEAN, PERMEABLE SAND FILL WITH NO STONES GREATER THAN 3 INCHES OR IN ACCORDANCE WITH CURRENT NHDES APPROVED VERSION OF MANUFACTURER'S DESIGN MANUAL AS APPLICABLE.
SEPTIC STONE (STONE AND PIPE EDA AND CONCRETE CHAMBERS): CLEAN, 1.5" UNIFORMLY SIZED WASHED CRUSHED STONE OR WASHED ROCK PER AASHTO T011-85 AND ENV-WQ 1016.04, TABLE 1014-2.
SYSTEM SAND (ENVIRO-SEPTIC AND ADVANCED ENVIRO-SEPTIC LDGP EDA): CLEAN COARSE CONCRETE SAND MEETING ASTM C-33 WITH NOT MORE THAN 3% PASSING THE #200 SIEVE (VERIFIED BY WASHING SAMPLE PER REQUIREMENTS OF ASTM C-117) OR SAND MEETING PERCENTAGE AND QUALITY RESTRICTIONS PER MANUFACTURER'S DESIGN SPECIFICATIONS.
SEPTIC SAND (6" DIRECTLY BELOW CONCRETE OR PLASTIC CHAMBER EDA AND STONE AND PIPE EDA): MEDIUM TO COARSE SAND, WITH EFFECTIVE SIZE OF 0.25 - 2.0 MM, 5% OR LESS PASSING #200 SIEVE, AND WITH NO STONES GREATER THAN 3/4 INCH OR SAND MEETING ASTM C-33.
FILL TO RAISE EDA AND IN SIDE SLOPES: CLEAN BANK RUN SAND, FREE OF TOPSOIL, HUMUS, DREDDGED MATERIAL OR STONES GREATER THAN 6".
- EFFLUENT CONDUITS (LEACH LINES) AND BED BOTTOM SHALL BE LEVEL PER ENV-WQ 1017.05(H) AND LEACH LINES SHALL BE INSTALLED PER ENV-WQ 1017.01.
- DISPOSAL SYSTEMS MUST BE INSPECTED BY NHDES PRIOR TO BACKFILL. TOWNS MAY HAVE INDEPENDENT INSPECTION REQUIREMENTS.
- ONE FOOT OF COVER IS RECOMMENDED FOR THE DISPOSAL AREA; WHERE COVER IS MORE THAN 18 INCHES, DISPOSAL AREA MUST BE VENTED. VENTING IS REQUIRED FOR ALL ENVIRO SEPTIC SYSTEMS.
- DO NOT ALLOW HEAVY WHEELED MACHINERY, VEHICULAR TRAFFIC, LIVESTOCK OR OTHER HEAVY OBJECTS ON ANY COMPONENT OF SYSTEM UNLESS THAT STRUCTURE IS DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD. DO NOT PUNCTURE ANY COMPONENT OF SYSTEM WITH POLES, STAKES, ETC.
- LAWN IRRIGATION IS NOT TO BE LOCATED OVER EFFLUENT DISPOSAL AREA. TREES AND SHRUBS TO BE MINIMUM OF 10' FROM EFFLUENT DISPOSAL AREA, INCLUDING THE FILL EXTENSION.
- WATER TREATMENT SYSTEM (WATER SOFTNER) BACKWASH SHOULD NOT BE DISCHARGED INTO THE SEPTIC SYSTEM. NHDES ALLOWS BACKWASH TO BE DISCHARGED INTO A MINI DRY WELL, LEACHING PIT OR TRENCH WITHOUT NHDES APPROVAL PROVIDED THE DISPOSAL SYSTEM MEETS ENV-WQ 1022.04 REQUIREMENTS.
- DO NOT DISCHARGE SUMP PUMPS INTO THE SEPTIC SYSTEM.
- OWNERS RESPONSIBILITY:** PROPERLY MAINTAIN THIS SYSTEM THROUGH REGULAR PUMPING OF THE SEPTIC TANK. THE SEPTIC TANK NEEDS PUMPING WHEN THE COMBINED THICKNESS OF THE ACCUMULATED SLUDGE AND SURFACE SCUM LAYERS EQUAL 1/3 OR MORE OF THE TANK DEPTH (1/4 TANK DEPTH FOR ENVIRO-SEPTIC SYSTEMS).
THE OWNER MUST NOT EXCEED DESIGN CAPACITY. DO NOT DISPOSE OF GREASE, OIL, PAINT, MEDICINES, PAPER TOWELS, DIAPERS OR OTHER INAPPROPRIATE, BULKY, HAZARDOUS OR TOXIC MATERIAL INTO THE SYSTEM. FACIAL TISSUE, "FLUSHABLE" WIPES AND "FLUSHABLE" KITTY LITTER DO NOT DECOMPOSE WELL AND CAN CLOG THE PIPES AND THE DISPOSAL AREA. USE CLEANING PRODUCTS, BLEACH AND ANTIBACTERIAL SOAPS JUDICIOUSLY. LIQUID FABRIC SOFTENER IS NOT RECOMMENDED. HEAVY WATER USE, SUCH AS LAUNDRY WASHING, SHOULD BE SPREAD OUT OVER TIME TO AVOID OVERLOADING THE SYSTEM.
- KEEP A COPY OF THIS PLAN AND MARK THE LOCATION OF THE TANK(S) CLEAN OUT COVERS FOR EASY ACCESS TO TANK INTERIOR.
- EFFLUENT DISPOSAL AREA MAY BE REBUILT IN PLACE, WITH REGULATORY APPROVAL, SHOULD FAILURE OCCUR.

CONSTRUCTION DETAILS

INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN

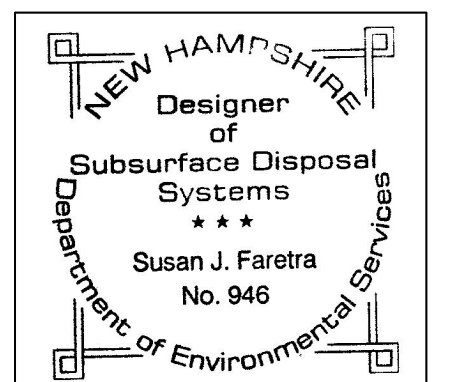
SITE LOCATION: 253 DURHAM POINT ROAD
TAX MAP 12, LOT 15
DURHAM, NH

SUBDIVISION APPROVAL: # PRE 1967 LOT
LOT SIZE: 1.78 AC.-TOWN RECORDS
DEED BOOK/PAGE: SCRD 1122/654

FOR: STEPHEN REYNA
790 RIVERSIDE DRIVE
NEW YORK, NEW YORK 10032

DESIGNER: FARETRA SEPTIC DESIGN, LLC

SUSAN J. FARETRA
NH DESIGNER #946
181 GLE ROAD, NOTTINGHAM, NH 03290
PHONE: 603-659-6556
sjfaretra@comcast.net



Date	Revision/Amendment Description	By	Sheet 2 of 2
			File #17-116