TOWN OF DURHAM
8 NEWMARKET RD
DURHAM, NH 03824
PHONE: 603/868-8064
www.ci.durham.nh.us

ZONING BOARD OF ADJUSTMENT REQUEST PROCEDURE

#433 pd. 7/25 Check # 1086

MEETINGS: The Zoning Board of Adjustment (ZBA) will meet on the second Tuesday of each month in the Council Meeting Room at the Town Hall.

FILING OF APPLICATION: Applications for ZBA are available at the Town Office. The application must be filed at the Town Office at least 15 days prior to a meeting, along with an application fee. A notice of the meeting will be published in the Foster's Daily Democrat and a similar notice will be sent, by certified mail, to abutters and nearby property owners. The filing fee will be used to meet these expenses. If the expenses exceed the filing fee, the applicant will be billed for the difference.

D

LIST OF ABUTTERS: You must prepare a list of all abutting property owners, have it verified at the Town Office, and attach it to your application. If you have any difficulty, consult the Assessor's Office, but THE ACCURACY OF THE LIST IS YOUR RESPONSIBILITY. An "abutter" means any person whose property adjoins or is directly across the street or stream from the land under consideration. The list of abutters must also include any holders of conservation, preservation, or agricultural preservation restrictions in accordance with RSA 676:4 (I) (a) of the New Hampshire Planning and Land Use Regulations.

PLOT PLAN: Applications must be accompanied by plot plans in order to be considered by the ZBA. Plans should show the location and shape of the subject structure in relation to lot lines and required setbacks, in addition to location and identification of abutters. Neither the review of any applications or plans by officials of the Town of Durham, nor any subsequent inspection of the premises, should be relied upon as an assurance of conformity to legal requirements. The applicant shall remain fully responsible for complying with all applicable United States, New Hampshire or Durham laws, ordinances, regulations or conditions.

PRESENTATION AT MEETING: The Petitioner should bring all documentation, which will assist the Board in understanding the proposal. Do not assume that anything submitted to a different Town Board will find its way to the ZBA file.

NOTE: Appeals to the Board of Adjustment may be taken by any person aggrieved or by any officer, department, board, or bureau of the municipality affected by any decision of the administrative officer. An appeal of Administrative Decision must be filed with the Board no later than 30 days from the date of the original decision as per the Zoning Board Rules of Procedure Section D(1)(b).

It is necessary that the applicant or his legal representative attend the meeting held for the review and consideration of this petition.

Please send this form with Plot Plan and List of Abutters to the Town of Durham, 8 Newmarket Rd., Durham, NH 03824, Attn: Zoning Board of Adjustment.

Appeal for Applicant

State of New Hampshire Strafford, SS

To: Zoning Board of Adjustment, Town of Durham NH 03824

Name of Applicant: Martha Garland

Address: 110 Mill Rd Durham, NH Phone # 603-662-6377

Email: _____

Owner of Property Concerned: Same
(If same as above, write "Same")

Address: Same
(If same as above, write "Same")

Location of Property: 110 Mill Rd Durham, NH
(Street & Number, Subdivision and Lot number)

Description of Property (Give Tax Map number, length of frontage, side and rear lines and other pertinent descriptive information) Tax Map #13, Lot #15-1, Road Frontage: 1,133ft

Please see attached for more information

Fill in Section 1, 2, 3 or 4 below as appropriate. Do not fill in more than one section. This application is not acceptable unless all required statements have been made. Additional information may be supplied on separate sheets if the space provided is inadequate.

SECTION 1: APPEAL FROM AN ADMINISTRATIVE DECISION

Appeal must be filed no later than 30 days from the date of the original decision.

Relating to the interpretation and enforcement of the provision of the Zoning Ordinance.

Decision of the enforcement officer to be reviewed: _____
_____ Number _____ Date _____

Article _____ Section _____ of the Zoning Ordinance in question.

SECTION 2: APPLICATION FOR SPECIAL EXCEPTION

Any Special Exceptions granted shall be valid if exercised within 2 years from the date of final approval, or as further extended by local ordinance or by the zoning board of adjustment for good cause, provided that no such variance shall expire within 6 months after the resolution of a planning application filed in reliance upon the variance.

Description of proposed use showing justification for a Special Exception as specified in the Zoning Ordinance Article_____Section_____

_____

_____

_____

SECTION 3: APPLICATION FOR EQUITABLE WAIVER

The undersigned hereby requests an Equitable Waiver of Dimensional Requirements as provided in RSA 674:33-A of the New Hampshire Planning and Land Use Regulations.

Please give a brief description of the situation:_____

_____

_____

SECTION 4: APPLICATION FOR A VARIANCE

STANDARD OF REVIEW: Prior to seeking a variance, the property owner must have been DENIED a building permit by the Building Inspector or approval by the Planning Board.

Any Variances granted shall be valid if exercised within 2 years from the date of final approval, or as further extended by local ordinance or by the zoning board of adjustment for good cause, provided that no such variance shall expire within 6 months after the resolution of a planning application filed in reliance upon the variance.

A Variance is requested from Article 175-30 Section D-3D of the Zoning Ordinance to permit_____

The dwelling to be enlarged in order to have a bedroom on the first floor and more in-line with the surrounding properties' living space.

_____

The New Hampshire Legislature has declared that each of the following conditions must be found in order for a variance to be legally granted. Please answer the following questions in support of the variance request either on this form or on a separate sheet of paper.

1. No decrease in value of surrounding properties would be suffered because:

The existing structure is in disrepair, visibly unappealing and of significant low value. By replacing the existing structure with a new structure, the property value will increase and have no negative impact on the surrounding property values, which have greater value.

2. Granting the variance would not be contrary to the public interest because:

The purpose of the restriction is to limit impacts to the wetlands. The proposed enlargement of the structure will not be located any closer to the wetland.

Current law requires the existence of unnecessary hardship for the granting of any variance, whether that is for a use not allowed in a particular zone or a deviation from a dimensional requirement.

3(A). Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

a. no fair and substantial relationship exists between the general public purpose of the ordinance provision and the specific application of that provision to the property because:

The home was originally built in 1846 and the proposed plan intends to reuse its existing rock foundation to avoid unnecessary disturbance. Since the proposed enlargement will not further impact the wetland, there is no fair and substantial relationship between the purpose of the restriction and its public purpose.

and

b. the proposed use is a reasonable one because:

Single family homes are expressly permitted in this zoning district and denying this variance would be an unnecessary hardship for a senior member of the community because the modernized house design will help avoid stairs and not change the existing slop toward the wetland.

Or

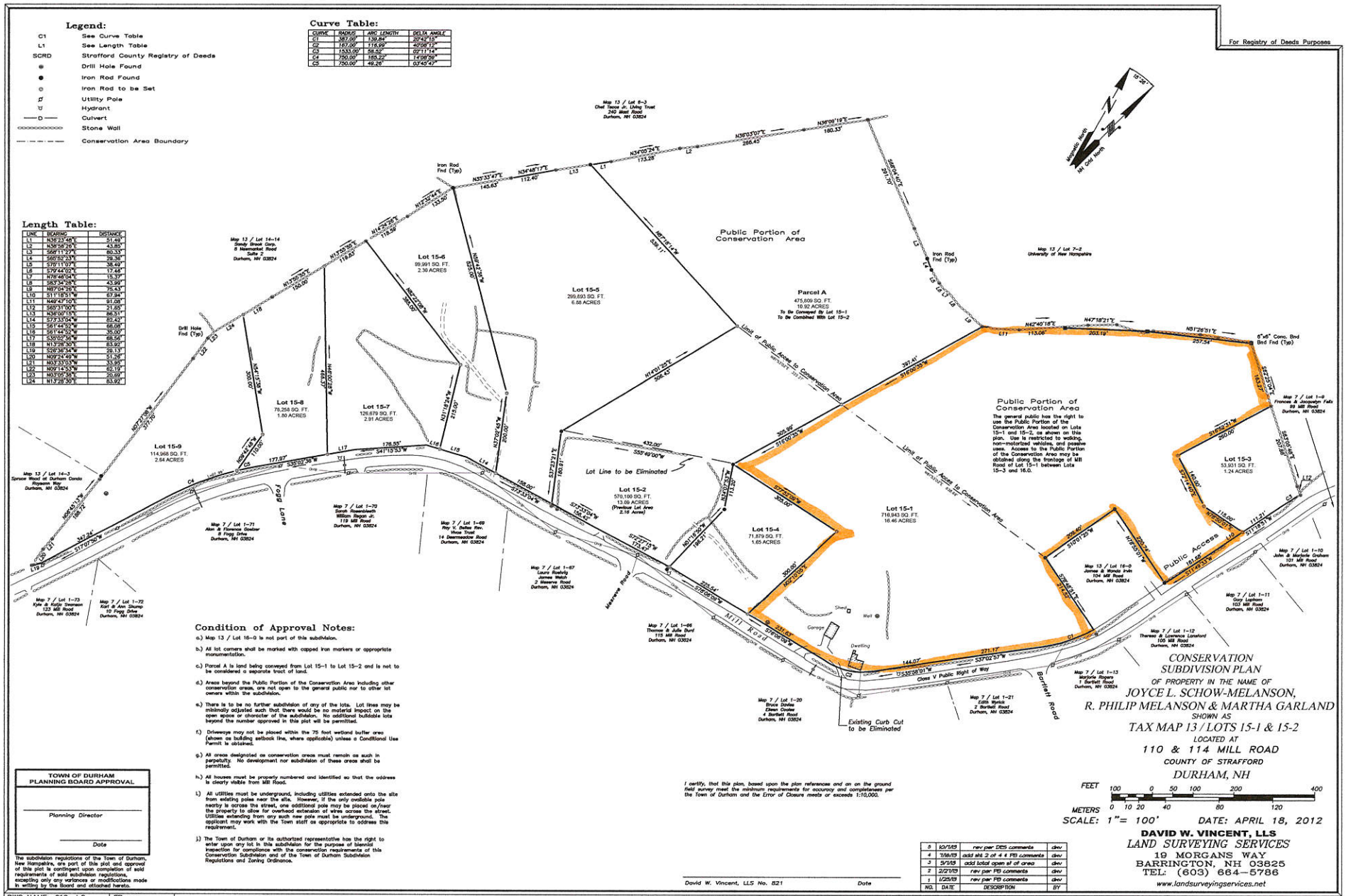
3(B). Owing to special conditions of the property that distinguishes it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

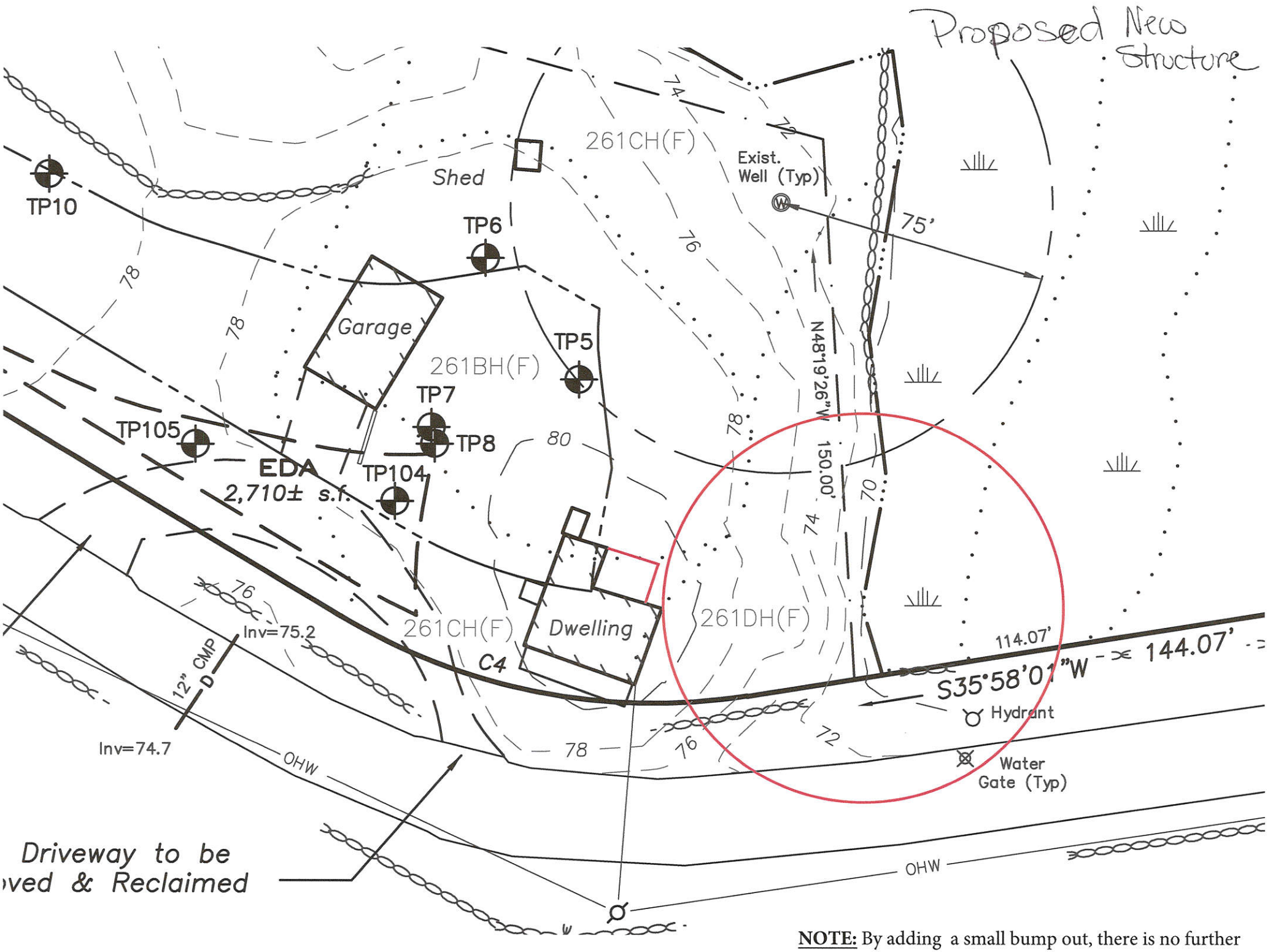
4. By granting the variance substantial justice would be done because:

Substantial justice balances the private loss of the landowner against the intended public gain. In this case, the applicant stands to suffer a loss with no gain by the public which would be unjust.

5. The use will not be contrary to the spirit and intent of the ordinance because:

The spiritual intent of the ordinance is to protect wetlands not previously protected. The proposed expansion poses no further impact to wetlands and therefore is not contrary to the spirit and intent of the ordinance.


Legend:
C1 See Curve Table
L1 See Length Table
SCRD Strafford County Registry of Deeds
Drill Hole Found
Iron Rod Found
Iron Rod to be Set
Utility Pole
Hydrant
Culvert
Stone Wall
Conservation Area Boundary
Curve Table:
CURVE | RADIUS | ARC LENGTH | DELTA ANGLE
C1 | 387.00' | 139.84' | 20°42'15"
C2 | 167.00' | 116.99' | 40°08'12"
C3 | 1533.00' | 58.02' | 02°10'14"
C4 | 750.00' | 185.22' | 14°08'56"
C5 | 750.00' | 49.26' | 03°45'47"
Length Table:
LINE | BEARING | DISTANCE
L1 | N36°23'48"E | 31.46'
L2 | N38°58'26"E | 43.85'
L3 | S86°11'27"E | 80.33'
L4 | S60°52'23"E | 29.36'
L5 | S78°11'07"E | 38.40'
L6 | S79°44'02"E | 17.48'
L7 | N78°48'04"E | 15.37'
L8 | S85°34'28"E | 43.99'
L9 | N87°04'26"E | 75.43'
L10 | S11°18'51"W | 67.94'
L11 | N49°47'10"E | 91.08'
L12 | S69°31'00"E | 21.65'
L13 | N38°09'10"E | 86.51'
L14 | S73°53'04"W | 62.43'
L15 | S61°44'50"W | 66.08'
L16 | S61°44'50"W | 35.00'
L17 | S39°02'36"W | 68.56'
L18 | N13°28'50"E | 83.92'
L19 | S26°36'54"W | 28.13'
L20 | N09°24'49"W | 51.26'
L21 | N03°33'03"W | 33.89'
L22 | N09°14'53"W | 62.19'
L23 | N03°05'39"E | 20.69'
L24 | N13°28'50"E | 63.92'
For Registry of Deeds Purposes
Public Portion of Conservation Area
Parcel A
475,809 SQ. FT.
10.92 ACRES
To Be Conveyed By Lot 15-1
To Be Combined With Lot 15-2
Lot 15-1
710,943 SQ. FT.
16.46 ACRES
Lot 15-2
570,100 SQ. FT.
13.09 ACRES
(Previous Lot Area 2.19 Acres)
Lot 15-3
53,931 SQ. FT.
1.24 ACRES
Lot 15-4
71,879 SQ. FT.
1.65 ACRES
Lot 15-5
299,893 SQ. FT.
6.88 ACRES
Lot 15-6
99,991 SQ. FT.
2.30 ACRES
Lot 15-7
126,679 SQ. FT.
2.91 ACRES
Lot 15-8
76,258 SQ. FT.
1.80 ACRES
Lot 15-9
114,968 SQ. FT.
2.64 ACRES
Limit of Public Access to Conservation Area
Lot Line to be Eliminated
Existing Curb Cut to be Eliminated
Public Access
Class V Public Right of Way
Mill Road
Fogg Lane
Meserve Road
Bartlett Road
Shed
Well
Garage
Dwelling
Iron Rod Fnd (Typ)
Drill Hole Fnd (Typ)
6"x6" Conc. Bnd Bnd Fnd (Typ)
Map 13 / Lot 6-3 Chet Tasos Jr. Living Trust 240 West Road Durham, NH 03824
Map 13 / Lot 14-14 Sandy Brook Corp. 5 Newmarket Road Suite 2 Durham, NH 03824
Map 13 / Lot 14-3 Spruce Road at Durham Condo Rogerson Way Durham, NH 03824
Map 7 / Lot 1-73 Kyle & Katja Swanson 123 Mill Road Durham, NH 03824
Map 7 / Lot 1-72 Karl & Ann Stump 10 Fogg Drive Durham, NH 03824
Map 7 / Lot 1-71 Alan & Florence Gaston 8 Fogg Drive Durham, NH 03824
Map 7 / Lot 1-70 Sarah Rosenbleeth William Regan Jr. 119 Mill Road Durham, NH 03824
Map 7 / Lot 1-69 Roy V. Bates Rev. Trust 14 Deermeadow Road Durham, NH 03824
Map 7 / Lot 1-67 Laura Rodwig James Waltz 2 Meserve Road Durham, NH 03824
Map 7 / Lot 1-66 Thomas & Julie Bunt 115 Mill Road Durham, NH 03824
Map 7 / Lot 1-20 Bruce Davies Dawn Cooley 4 Bartlett Road Durham, NH 03824
Map 7 / Lot 1-21 Edith Wyrick 2 Bartlett Road Durham, NH 03824
Map 13 / Lot 16-0 James & Wanda Ivie 104 Mill Road Durham, NH 03824
Map 7 / Lot 1-12 Therese & Lawrence Lankford 105 Mill Road Durham, NH 03824
Map 7 / Lot 1-13 Matthew Rogers 1 Bartlett Road Durham, NH 03824
Map 7 / Lot 1-9 Frances & Jacquelyn Falk 99 Mill Road Durham, NH 03824
Map 7 / Lot 1-10 John & Marjorie Graham 101 Mill Road Durham, NH 03824
Map 7 / Lot 1-11 Gary Leyhem 103 Mill Road Durham, NH 03824
Map 13 / Lot 7-2 University of New Hampshire
Condition of Approval Notes:
a.) Map 13 / Lot 16-0 is not part of this subdivision.
b.) All lot corners shall be marked with capped iron markers or appropriate monumentation.
c.) Parcel A is land being conveyed from Lot 15-1 to Lot 15-2 and is not to be considered a separate tract of land.
d.) Areas beyond the Public Portion of the Conservation Area including other conservation areas, are not open to the general public nor to other lot owners within the subdivision.
e.) There is to be no further subdivision of any of the lots. Lot lines may be minimally adjusted such that there would be no material impact on the open space or character of the subdivision. No additional buildable lots beyond the number approved in this plat will be permitted.
f.) Driveways may not be placed within the 75 foot wetland buffer area (shown as building setback line, where applicable) unless a Conditional Use Permit is obtained.
g.) All areas designated as conservation areas must remain as such in perpetuity. No development nor subdivision of these areas shall be permitted.
h.) All houses must be properly numbered and identified so that the address is clearly visible from Mill Road.
i.) All utilities must be underground, including utilities extended onto the site from existing poles near the site. However, if the only available pole nearby is across the street, one additional pole may be placed on/near the property to allow for overhead extension of wires across the street. Utilities extending from any such new pole must be underground. The applicant may work with the Town staff as appropriate to address this requirement.
j.) The Town of Durham or its authorized representative has the right to enter upon any lot in this subdivision for the purpose of biennial inspection for compliance with the conservation requirements of this Conservation Subdivision and of the Town of Durham Subdivision Regulations and Zoning Ordinance.
TOWN OF DURHAM
PLANNING BOARD APPROVAL
Planning Director
Date
The subdivision regulations of the Town of Durham, New Hampshire, are part of this plat and approval of this plat is contingent upon completion of said requirements of said subdivision regulations, excepting only any variances or modifications made in writing by the Board and attached hereto.
I certify, that this plan, based upon the plan references and on on the ground field survey meet the minimum requirements for accuracy and completeness per the Town of Durham and the Error of Closure meets or exceeds 1:10,000.
David W. Vincent, LLS No. 821
Date
5 10/15/19 rev per DES comments dmv
4 7/16/19 add sht 2 of 4 & PB comments dmv
3 5/3/19 add total open sf of area dmv
2 2/21/19 rev per PB comments dmv
1 1/25/19 rev per PB comments dmv
NO. DATE DESCRIPTION BY
CONSERVATION SUBDIVISION PLAN
OF PROPERTY IN THE NAME OF
JOYCE L. SCHOW-MELANSON,
R. PHILIP MELANSON & MARTHA GARLAND
SHOWN AS
TAX MAP 13 / LOTS 15-1 & 15-2
LOCATED AT
110 & 114 MILL ROAD
COUNTY OF STRAFFORD
DURHAM, NH
FEET 100 0 50 100 200 400
METERS 0 10 20 40 80 120
SCALE: 1"= 100' DATE: APRIL 18, 2012
DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
19 MORGANS WAY
BARRINGTON, NH 03825
TEL: (603) 664-5786
www.landsurveyingservices.net
DWG NAME: 019sub2 FB: rec
SHEET 2 OF 4 09_019
(Only Sheets 1 & 2 to be Recorded)



NOTE: By adding a small bump out, there is no further encroachment of wetlands

Alternative Designs Inc.		
18-009	FIRST FLOOR	964 S.F.
	SECOND FLOOR	964 S.F.
	TOTAL	1928 S.F.

1/A1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

CODE:

1. ALL CONSTRUCTION SHALL FOLLOW LOCAL STATE BUILDING CODE, MANUFACTURES' SPECIFICATIONS, AND WELL KNOWN INDUSTRY STANDARDS. IF ANY QUESTIONS SHALL ARISE, THE DESIGNER OR ENGINEER ON RECORD SHALL BE CONTACTED.
2. INTERNATIONAL RESIDENTIAL CODE 2009 (IRC 2009) AND THE REFERENCED STANDARDS INCLUDED THEREIN. AHJ = AUTHORITY HAVING JURISDICTION.
   A. NUMBER OF UNITS: 1 (1 OR 2)
   B. NUMBER OF STORIES: 2 (MAX. 3)

DESIGN LOADS:

1. UNIFORM FLOOR LIVE LOAD (NON-BEDROOM):
   A. NON-BEDROOM 40PSF
   B. BEDROOM 30PSF
   C. ATTIC 20PSF
2. UNIFORM FLOOR DEAD LOAD: 10PSF
3. ROOF SNOW LOAD (AHJ):
   A. GROUND SNOW LOAD: 55 PSF (TOWN, STATE SPECIFIC)
4. WIND DESIGN:
   A. EXPOSURE CATEGORY B (A-D, R301.2.1.4) (B IS NORMAL)
   B. WIND SPEED ZONE (AHJ) 100 (90 - 120, MOST OF NORTHERN AND WESTERN NH AND WESTERN MA=90, CENTRAL AND SOUTH NH AND MA = 100, NH COAST, BOSTON AND SOUTH = 110, CAPE COD AND ISLANDS = 120, R301.2.4)
   C. TOPOGRAPHIC EFFECTS (AHJ): NO (YES/NO)
5. SEISMIC
   A. DESIGN CATEGORY (AHJ) (A-E, R301.2.2), (C FOR MOST OF SOUTH AND CENTRAL NH AND B FOR MA)
6. DAMAGE:
   A. WEATHERING: SEVERE (CONCRETE) (R301.2(3))
   B. TERMITE INFESTATION PROBABILITY: SLIGHT (NORTHERN NH), MODERATE (SOUTHERN NH), HEAVY (MA)
7. DESIGN FROST DEPTH OF 4 FEET BELOW FINISHED GRADE (4' IS TYPICAL; VERIFY AS NEEDED WITH AHJ)
8. WINTER DESIGN TEMP: NH: 0 DEG. F., MA 10 DEG. F. (PER 301.2(1))
9. FLOOD HAZARD (AHJ): NO

GENERAL NOTES:

1. THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHODS OF ASSEMBLY TO THE VARIOUS COMPONENTS. THE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL HAVE REVIEWED THESE PLANS, SEEN THE SUBJECT PROPERTY, AND BE CAPABLE OF EXECUTING THE DETAIL WORK AS NECESSARY TO ACHIEVE THE INTENDED RESULT, IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHAVA MPS.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ALTERNATIVE DESIGNS INC. FOR JUSTIFICATION AND OR CORRECTION BEFORE PROCEEDING WITH WORK.
4. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING LEGAL FEES) ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
5. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
6. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR STRUCTURAL ENGINEER BEFORE PROCEEDING.
7. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CONSULTATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED BEFORE ANY WORK IS PROCEEDED WITH.
8. ALTERNATIVE DESIGN ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE DESIGNER OR ENGINEER ON RECORD.
9. ALTERNATIVE DESIGN ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER ON RECORD.
10. REPRODUCTION OF DESIGNER PLANS AND STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITTED.
11. SECTIONS, DETAILS, NOTES, METHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION, OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED DURING CONSTRUCTION. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE REMOVED AFTER CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.

Alternative Designs Inc.
www.altdesigns.us
Residential/Commercial Design
94 Old Granite Street
Manchester, NH 03101
phone: (603) 645-4388
fax: (603) 645-6010

MORRIS RESIDENCE

NEW HOUSE TO BE BUILT IN DURHAM, NH

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

REVISIONS

18-009
FEB 2018
SHEET 1 OF 8

A1

FOUNDATIONS:

1. FOUNDATIONS CONSIST OF CONTINUOUS FOOTINGS ASSUMED TO BEAR ON COMPACTED STRUCTURAL FILL PLACED ON UNDISTURBED NATURAL SOIL HAVING AN ASSUMED ALLOWABLE BEARING PRESSURE OF 2,500 PSF (TO BE VERIFIED BY BUILDER). IF THE SOIL AT BEARING DEPTH IS DISTURBED OR THE ACTUAL ALLOWABLE BEARING PRESSURE IS LESS THAN 2,500 PSF, THEN A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED.
2. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.
3. THE BOTTOM PERIMETER FOUNDATIONS SHALL BE DESIGN FROST DEPTH BELOW FINISHED GRADE.
4. THE BOTTOM 3 INCHES OF FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND SHOVEL.
5. FINISH EXTERIOR GRADE SHALL BE AT LEAST 8" BELOW TOP OF FOUNDATION WALL.
6. PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF WALLS TO THE GRADES INDICATED.
7. UNBRACED/UNBALANCED FOUNDATION WALLS: MAXIMUM UNBALANCED FILL: 24" WITHOUT DESIGN/ENGINEER INPUT/APPROVAL. (EXAMPLE:GARAGE SLAB ON GRADE WHERE BACKFILL WILL BE MORE THAN 24" BELOW TOP OF SLAB) (SEE R404.1.2) (ENGINEER DESIGN REQUIRED WHEN >48")
8. WE RECOMMEND THAT WALKOUT AND KNEEWALL STYLE BASEMENTS BE REVIEWED. (IE. WHENEVER PERIMETER FOUNDATION WALLS ARE NOT FULL HEIGHT).

PROVIDE FORMWORK FOR ALL FOOTINGS, WALLS, AND PIERS. EARTH FORMED FOUNDATIONS ARE NOT ALLOWED.

10. SUB-SOIL SHALL HAVE 3/4 " MAXIMUM AGGREGATE WITHIN 12" OF SLAB ON GRADE
11. ANCHOR BOLTS: 1/2" X 9" (MIN. 7" EMBEDMENT) @ 4' OC AND BETWEEN 6-12" OF EACH END. (R403.1.6)
12. DAMP PROOFING:WAYS REQUIRED BELOW GRADE WHEN INTERIOR SPACE IS CREATED (PER R406)
13. WATERPROOFING REQUIRED WHEN INTERIOR SPACE CREATED AND HIGH WATER TABLE OR OTHER CONDITIONS. (PER R406)

CONCRETE:

1. CONCRETE SHALL BE A MIX DESIGNED FOR ULTIMATE STRENGTH IN ACCORDANCE WITH ACI 211.1 TO ACHIEVE THE DESIRED COMPRESSIVE STRENGTH. STANDARD MINIMUM 3,000 PSI FOR FOOTINGS AND INTERIOR FLOOR, 3,500 PSI FOR WALLS AND GARAGE SLAB. (R402.2)
2. CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND. CONCRETE SHALL NOT BE EXPOSED TO WATER (I.E. RAIN) DURING SETTING PERIOD.
3. CONCRETE FLOORS SHALL BE PLACED OVER MIN. 4" THICK POROUS LAYER (SUCH AS CRUSHED STONE) WITH DRAINAGE AND APPROVED VAPOR BARRIER. (R405.2.2)
4. TOP OF FOUNDATION WALLS AND SLABS SHALL BE SMOOTH AND LEVEL.
5. NO PIPE GREATER THAN 4" DIAMETER WITH APPROPRIATE SLEEVE SHALL PASS THROUGH CONCRETE WITHOUT ENGINEER APPROVAL. PIPE SLEEVES SHALL BE PROVIDED AND SPACED A MINIMUM THREE DIAMETERS APART.
6. KEYS SHALL BE 2"X4", WITH BEVELED SIDES, UNLESS OTHERWISE NOTED
7. CONSTRUCTION JOINTS SHALL BE FORMED WITH A KEY, AND REINFORCING SHALL BE LAPPED TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.
8. EXPOSED CONCRETE SHALL BE RUBBED IMMEDIATELY AFTER REMOVAL OF FORMS AND SNAP TIES REMOVED TO FLUSH.
9. OPENINGS IN CONCRETE WALLS SHALL BE LOCATED, SIZED, AND REINFORCED (WITH THE EXCEPTION OF SMALL OPENINGS AND/OR SLEEVES OF A SIZE THAT WILL NOT DISPLACE OR INTERRUPT THE CONTINUITY OF THE REINFORCING) AS SHOWN ON RESPECTIVE DETAILS. ANY ALTERATIONS REQUIRE APPROVAL OF THE STRUCTURAL ENGINEER.
10. DO NOT BACKFILL FOUNDATION WALLS UNTIL THE CONCRETE HAS BEEN IN PLACE FOR SEVEN (7) DAYS AND ATTAINED 75% OF ITS DESIGN COMPRESSIVE STRENGTH, AND FLOOR DIAPHRAGMS ARE IN PLACE. (R404.1.7)

REINFORCING STEEL:

1. REINFORCING STEEL SHALL BE NEW STEEL BAR, FREE FROM LOOSE RUST AND SCALE, AND CONFORMING TO ASTM A615, GR 60.
2. STANDARD MINIMUM FOUNDATION FOOTING: 16" WIDE X 8" HIGH WITH NO REINFORCING.
3. STANDARD MINIMUM VERTICAL FOUNDATION WALL REINFORCING FOR COMMON CONDITIONS:

WALL HEIGHT	MAX. BACKFILL	WALL THICKNESS	HORIZONTAL REINFORCING (R404.1.2)	VERTICAL * REINFORCING
8'	7'	8"	1 #4 WITHIN 12" OF TOP AND 1 #4 AT MID-HEIGHT	#6 @ 36" OC *
9'	8'	10"	1 #4 WITHIN 12" OF TOP AND #4 BARS AT THIRD HEIGHTS	#6 @ 30" OC *
10'	9'	10"	1 #4 WITHIN 12" OF TOP AND #4 BARS AT THIRD HEIGHTS	#6 @ 30" OC **

TABLE ABOVE ASSUMES BEST SOIL CLASS GW, GP, SW AND SP.

* AT 8' AND 9' WALLS, VERTICAL REINFORCING NOT REQUIRED IF 75% DESIGN COMPRESSIVE STRENGTH AND 7 DAYS BEFORE BACKFILL IS ATTAINED

** AT 10' WALLS, ADDITIONAL ENGINEERING REQUIRED IF BACKFILLED BEFORE 75% DESIGN COMPRESSIVE STRENGTH IS ATTAINED

4. FLATWORK: WELDED WIRE FABRIC (WWF 6"X6" X NO. 10) RECOMMENDED IN ALL FLATWORK. IT SHALL CONFORM TO ASTM A185. LAP TWO SQUARES AT JOINTS AND TIE AT 3'-0" O.C. FURNISH WWF IN FLAT SHEETS.
5. PLAN CONTROL JOINTS AT 10-12' OC BOTH DIRECTIONS. WWF MUST NOT CROSS CONTROL JOINTS.
6. DECOUPLE FLATWORK FROM WALLS.
7. WELDED WIRE FABRIC SHALL BE SUPPORTED ON CONCRETE BRICKS SP. AT 24" OC EACH DIRECTION ON GRADE. WELDED WIRE FABRIC SHALL BE SUPPORTED ON ELEVATED DECK WITH CONTINUOUS BOLSTERS LOCATED OVER JOISTS AND BEAMS.
8. CLEAR CONCRETE COVER OVER BARS SHALL BE IN ACCORDANCE WITH ACI 318.
9. ACCESSORIES SHALL HAVE UPTURNED LEGS AND BE PLASTIC-DIPPED AFTER FABRICATION. ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI EDITION.
10. LAP REINFORCING TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.
11. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE PRIOR APPROVAL OF STRUCTURAL ENGINEER.
12. ANCHOR BOLT MATERIAL SHALL CONFORM TO ASTM A36, A307, OR BETTER, AND MEET IRC 2009 CODE.

WOOD:

1. WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL, ANSI/AF&PA, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2012 (NDS)" INCLUDING "DESIGN VALUES FOR WOOD CONSTRUCTION", NATIONAL FOREST PROTECTION ASSOCIATION.
2. ALL LUMBER SHALL BE NEW AND STRAIGHT AS DESCRIBED IN "STANDARD GRADING RULES FOR NORTHEASTERN LUMBER" BY NORTHEASTERN LUMBER MANUFACTURERS ASSOCIATION.
3. NEW WOOD FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT AS SPECIFIED IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
4. WOOD CONSTRUCTION SHALL CONFORM TO IBC 2009 CHAPTER 23 AND SECTION 2308 "CONVENTIONAL LIGHT -FRAME CONSTRUCTION."
5. FRAMING FOR WALLS AND JOISTS SHALL BE SPRUCE:PINE -FIR NO. 1/NO. 2 OR BETTER. UNLESS NOTED OTHERWISE, DIMENSIONAL LUMBER REPRESENTS NOMINAL SIZES.
6. SHEATHING PANELS SHALL BE MARKED WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) TRADEMARK AND SHALL MEET THE LATEST US PRODUCT STANDARD PS 1 OR APA PRP -108 PERFORMANCE STANDARDS.
7. ALL WALL SHEATHING PANELS SHALL BE NOMINAL 1/2" THICK APA RATED , UNLESS OTHERWISE NOTED, FASTEN WITH 8D COMMON NAIL SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 12" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). 1 -3/8" MIN. FASTENER PENETRATION. LAY WALL WITH REQUIREMENTS OF IRC 604.
8. ALL ROOF SHEATHING PANELS SHALL BE 15/32" THICK UNLESS NOTED OTHERWISE, C -D EXTERIOR GRADE, APA RATED EXPOSURE 1 MEETING DOC PS1 OR PS2. FASTEN WITH 8D COMMON NAILS SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 6" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). 1 3/8" MIN. FASTENER PENETRATION. LAY ROOF SHEATHING WITH LONG DIMENSION PERPENDICULAR TO SUPPORT MEMBERS.
9. WOOD TO STEEL AND WOOD TO WOOD BOLTED CONNECTORS SHALL BE MADE WITH ASTM A307 BOLTS WITH FLAT WASHERS. BOLT HOLES IN WOOD SHALL BE 1/32" LARGER THAN THE BOLT. WOOD NAILERS SHALL BE FASTENED WITH 3/8" DIA. BOLTS STAGGERED AT 20" OC UNLESS OTHERWISE NOTED.
10. FASTENING SCHEDULE (SEE ALSO R602.3(1)):
    I. PLATE TO STUD, DIRECT: 2 - 16D
    II. STUD TO PLATE, TOENAIL: 4 - 8D
13. WOOD IN CONTACT WITH SOIL, MOISTURE, WEATHER, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN PINE NO. 2, OR BETTER AND APPROVED FOR THE APPLICATION.
14. BRACING: THE PERMANENT LATERAL BRACING SYSTEM INCLUDES PLYWOOD, WALL AND ROOF SHEATHING WITH FASTENING AND LAYOUT AS DEFINED BY: SECTION 602. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED TO LATERALLY SUPPORT THE STRUCTURE DURING CONSTRUCTION.
15. ENGINEERED LUMBER (LVL, ETC.) SHALL MATCH MANUFACTURER AND SERIES LISTED OR APPROVED EQUIVALENT. PROVIDE LATERAL SUPPORT AT ALL BEARING POINTS AND ALONG COMPRESSION EDGES AT INTERVALS OF 24" OC, OR CLOSER.
16. MINIMUM SECTION WIDTH = 1-3/4", 3-1/2", 5-1/4" AND 7" MEMBERS MAY BE COMBINATIONS OF 1-3/4"MEMBERS. FOLLOW MANUFACTURER'S GUIDELINES FOR MULTIPLE MEMBER CONNECTIONS AND FOR SIDE LOADED BEAMS.
17. WOOD CONSTRUCTION CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO., INC., OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING FASTENERS.
18. ALL FLUSH FRAMING TO HAVE APPROPRIATELY SIZED METAL JOIST HANGERS.
19. LATERAL RESTRAINT REQUIRED AT ENDS OF FLOOR FRAMING SOLID BLOCK OF SAME MATERIAL (R502.7)
20. BRIDGING OR CONT. 1X3 BRACE NAILED TO UNDERSIDE OF FLOOR FRAMING REQUIRED AT 8' INTERVALS (R502.7.1)
21. HEADERS: DEFAULT (MAX. 48" SPAN UNLESS POINT LOAD FROM ABOVE OR LATERAL BRACING REQUIREMENTS. SEE R.502.5) :
    1. INTERIOR: (2) 2X8
    2. EXTERIOR: (2) 2X10 (WITH 2-1/2" RIGID FOAM INSULATION).
22. WIND BRACING: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH R602.10.3.3. (GENERAL REFERENCE: R602)
23. RAFTER/CEILING JOIST HEEL CONNECTIONS (VAULTED CLGS @ 1/3) TABLE R802.5.1(9)

PRE-ENGINEERED WOOD TRUSSES:

1. ALL PRE-ENGINEERED WOOD TRUSSES SHALL CONFORM TO ANSI/TPII -2002 "NATIONAL DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION."
2. THE MANUFACTURER OF THE PRE-ENGINEERED TRUSSES SHALL BE A TRUSS PLATE INSTITUTE (TPI) CERTIFIED PLANT. PROOF OF CERTIFICATION SHALL BE SUBMITTED TO THE DESIGNER/ENGINEER PRIOR TO FABRICATION OF THE WOOD TRUSSES.
3. THE CONTRACTOR SHALL ENSURE PROPER HANDLING, BRACING, AND LATERAL RESTRAINT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) SHALL BE DESIGNED BY THE TRUSS MANUFACTURER AND INSTALLED BY THE CONTRACTOR. ALL PERMANENT TRUSS BRACING/LATERAL RESTRAINT REQUIREMENTS AND LOCATIONS SHALL BE DETAILED AND SUBMITTED PRIOR TO CONSTRUCTION TO THE ENGINEER OF RECORD BY THE TRUSS MANUFACTURER. ALTERNATIVELY, THE TRUSS DESIGNER MAY DESIGN ALL TRUSSES SUCH THAT NO PERMANENT LATERAL RESTRAINT IS REQUIRED.
4. ALL ROOF TRUSSES SHALL BE DESIGN FOR THE FOLLOWING UNIFORM LOADS WITH 5 1/2" OR 3 1/2" MAX BEARING. COORDINATE TRUSS BEARING WITH BEARING WALL FRAMING WIDTH:
    A. SNOW LIVE LOAD: GROUND SNOW LOAD X 0.7= XX PSF
    B. BOTTOM CHORD LIVE LOAD (ATTIC): 20 PSF
    C. TOP CHORD DEAD LOAD: 10 PSF
    D. BOTTOM CHORD DEAD LOAD: 10 PSF
5. TRUSS SHALL BE DESIGNED FOR AN UNBALANCED UNIFORM SNOW LOADING AS WELL AS ANY DRIFTED VALLEY SNOW LOADING CONDITIONS, AND WIND LOADING AS SPECIFIED IN THE PROJECT BUILDING CODE.
6. PRE-ENGINEERED ROOF TRUSSES TO BE APPROVED BY THE STRUCTURAL ENGINEER. TRUSS SHOP DRAWINGS SHALL BE DESIGNED, STAMPED, AND SUBMITTED BY A LICENSED PROFESSIONAL ENGINEER QUALIFIED TO PERFORM THE WORK IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMITTAL SHALL INCLUDE ALL LOADING COMBINATIONS, A FULL REPORT FOR EACH TRUSS, AND TEMPORARY AND PERMANENT LATERAL TRUSS RESTRAINT LAYOUT AND DETAILS.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL VENTS, STACKS, RISERS, DRAINS, ETC. BEFORE TRUSSES ARE FIXED IN PLACE.
8. ALL TRUSSES SHALL HAVE HURRICANE CLIPS INSTALLED AT EACH END OF EACH TRUSS IN ORDER TO PREVENT LIFT.
9. ALL TRUSS TO TRUSS CONNECTION DESIGNS ARE RESPONSIBILITY OF THE TRUSS MANUFACTURER.
10. ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) IS THE RESPONSIBILITY OF THE TRUSS DESIGNER. BRACING AND LATERAL TRUSS RESTRAINT (INCLUDING DETAILS) SHALL BE SHOWN ON TRUSS DESIGN DRAWINGS AND TRUSS ERECTION DRAWINGS.

MASONRY:

1. CONCRETE MASONRY UNITS (CMU) SHALL BE NOMINAL THICKNESS UNLESS NOTED OTHERWISE.
2. MASONRY CONSTRUCTION SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402)
3. SPECIFIED MASONRY COMPRESSIVE STRENGTH, F'M = 1500PSI.
4. HOLLOW LOAD BEARING CMU SHALL HAVE THE FOLLOWING PROPERTIES: ASTM C90, TYPE I, GRADE N-I (NORMAL WEIGHT) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ACCORDING TO ASTM C140, OVEN DRY WEIGHT OVER 125PCF AND MAXIMUM MOISTURE ABSORPTION OF 13PCF.
5. MORTAR SHALL BE ASTM C270, TYPE S WITH 28 DAY COMPRESSIVE STRENGTH OF 2000PSI. MIX MORTAR MATERIALS TO PRODUCE MORTAR CUBES HAVING A 2000PSI COMPRESSIVE STRENGTH WHEN TESTED IN ACCORDANCE WITH COMPRESSIVE STRENGTH TEST ASTM C780.
6. GROUT SHALL BE ASTM C476, FINE GROUT WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000PSI.
7. VERTICAL AND HORIZONTAL DEFORMED REINFORCEMENT SHALL BE ASTM A615 GR 60 AND HORIZONTAL JOINT REINFORCEMENT SHALL BE ASTM A82, GALVANIZED ACCORDING TO ASTM A641 CLASS 1 AS SPECIFIED.
8. PRISM TESTS ACCORDING TO ASTM E446 ARE REQUIRED PRIOR TO WORK.
9. GROUT CMU SOLID AT EXPANSION ANCHOR LOCATIONS.
10. CORES AND BOND BEAMS WITH REINFORCING SHALL BE FILLED SOLIDLY WITH GROUT. FILLING SUCH CORES AND BOND BEAMS WITH MORTAR IS STRICTLY PROHIBITED. IN ADDITION, CARE SHALL BE EXERCISED IN KEEPING CORES FREE FROM MORTAR DROPPINGS.
11. MINIMUM REINFORCING REQUIREMENTS FOR REINFORCED CMU WALLS SHALL CONFORM TO THE SCHEDULE SHOWN ON THE CONTRACT DRAWINGS AND THE APPLICABLE BUILDING CODE REQUIREMENTS.
12. GROUT SHALL BE PLACED USING LOW OR HIGH LIFT GROUTING PROCEDURES CONFORMING TO ACI/ASCE. TERMINATE GROUT POURS 1-1/2" BELOW TOP COURSE OF PLACEMENT. REINFORCING SHALL BE SPLICED A MINIMUM OF 40 BAR DIAMETERS.
13. VERTICAL REINFORCING SHALL BE SECURELY HELD IN PROPER ALIGNMENT AND POSITION DURING GROUTING OPERATIONS BY USING "REBAR POSITIONERS," AS MANUFACTURED BY WIRE BOND OR APPROVED EQUIVALENT. THE PRODUCT, IN ADDITION, SHALL ALLOW FOR GUIDING THE SPLICED REINFORCING DROPPED FROM THE TOP OF THE LIFT.
14. MASONRY SHALL BE BRACED DURING CONSTRUCTION. BRACE SPACING SHALL NOT EXCEED TEN TIMES THE WALL THICKNESS BUT NOT LESS THAN THE PROCEDURES LISTED UNDER NCMA-TEK 72
15. PROVIDE FULL HEIGHT VERTICAL REINFORCEMENT AT EACH SIDE OF CONTROL JOINTS, WINDOWS, DOORS, AND WALL OPENINGS, AT ALL ENDS OF WALLS AND CORNERS. REINFORCING SHALL BE GROUTED SOLID AND MATCH THE DIAMETER OF THE TYPICAL WALL REINFORCING.

FIRE RESISTANT CONSTRUCTION

1. FOLLOW SECTION 302. A FEW COMMON CRITICAL LOCATIONS FOLLOW:
    A. GARAGE/RESIDENCE OR GARAGE/ATTIC SEPARATION 5/8" TYPE X GYPSUM DRYWALL AT GARAGE SIDE WHEN ADJACENT TO LIVING SPACE. 5/8" TYPE X DRYWALL REQUIRED AT CEILING WHEN LIVING SPACE ABOVE. (TABLE R302.6)
    B. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS REQUIRES MIN. " GYPSUM (R302.7)
    C. FIREBLOCKING IS REQUIRED TO ISOLATE EACH FLOOR LEVEL. 2X BLOCKING AND " GYPSUM AND FIBERGLASS/MINERAL WOOL IF SECURE ARE ALL ACCEPTABLE (R302.11.1)
2. DUPLEX/2 FAMILY STANDARD SEPARATION IS 5/8" TYPE X BOTH SIDES. (R302.3)

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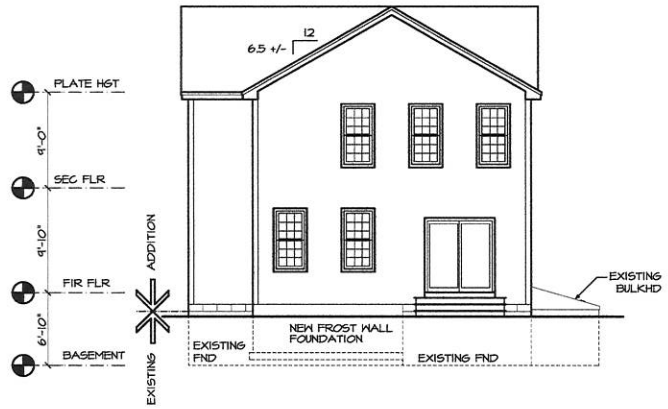


1 / A3 REAR ELEVATION

SCALE: 1/8" = 1'-0"

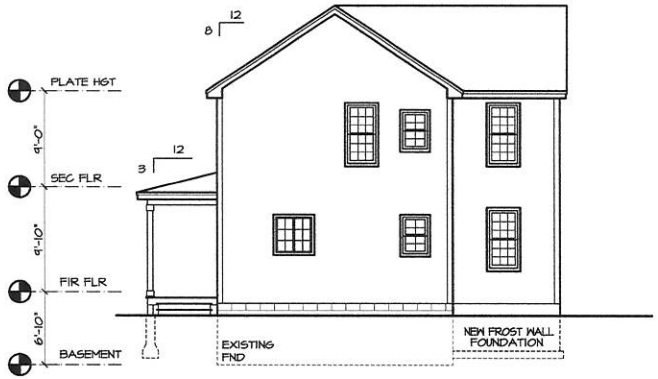
WINDOW SCHEDULE				
MARK	QTY	MODEL NUMBER	RSO	NOTES
A		244DH2856	7'6 HD HT	DBL HUNG (EGRESS)
B		244DH2436		DBL HUNG
C		CN235		3'5 X 3'5 CASEMENT

NOTES:

1. RSO TO BE DETERMINED BY WINDOW MANUFACTURER.
2. BEDROOM WINDOWS TO MEET EGRESS
3. IN ACCORDANCE WITH I.R.C.(2009)-R612.2, WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE EXT. FINISHED GRADE OR EXT. DECK BELOW, THE LOWEST PART OF THE CLEAR OPENING IS TO BE A MIN. OF 24" ABV. THE FIN. FLR.
4. WINDOWS ARE BASED ON ANDERSEN 200 SERIES TILT-WASH MODEL NUMBERS

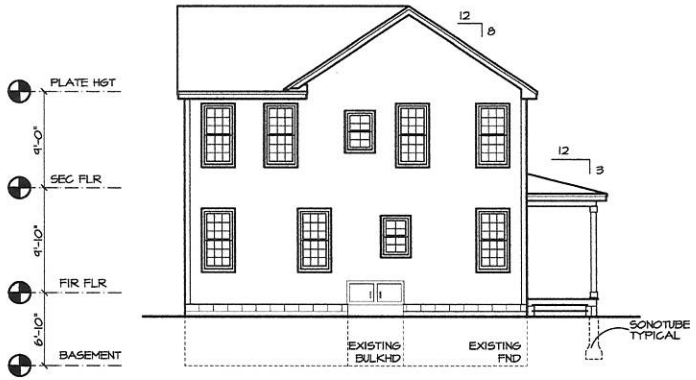
DOOR SCHEDULE				
MARK	QTY	SIZE	RSO	NOTES
1		3'0 X 6'8		ENTRY DOOR W/ TRANSOM
2		6'0 X 6'8		EXT. SLIDER DOOR
3		1'6 X 6'8		INTERIOR
4		2'4 X 6'8		INTERIOR
5		2'6 X 6'8		INTERIOR
6		5'0 X 6'8		BIFOLD
7				
8				
9				
10				
11				

RSO TO BE DETERMINED BY DOOR MANUFACTURER.



2 / A3 RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



3 / A3 LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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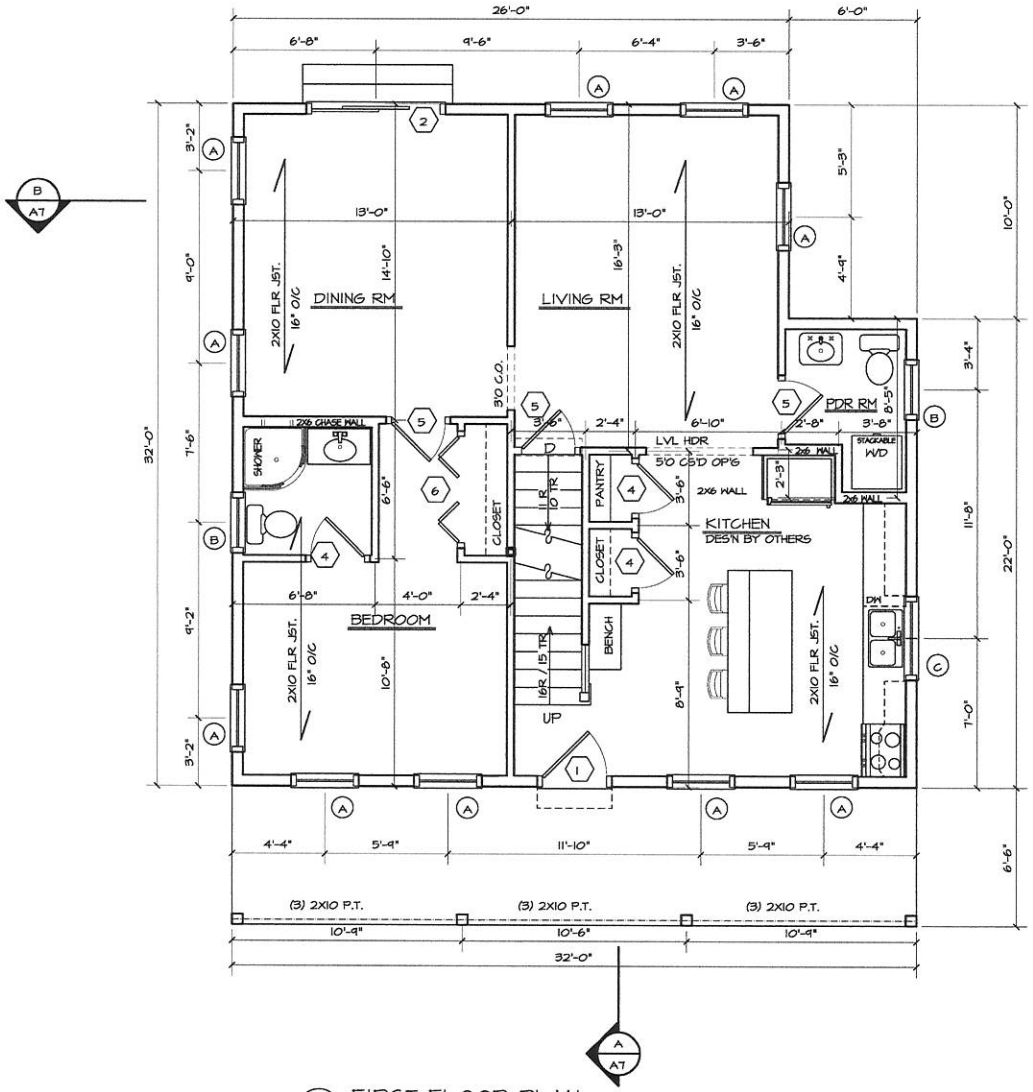

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.3.3.

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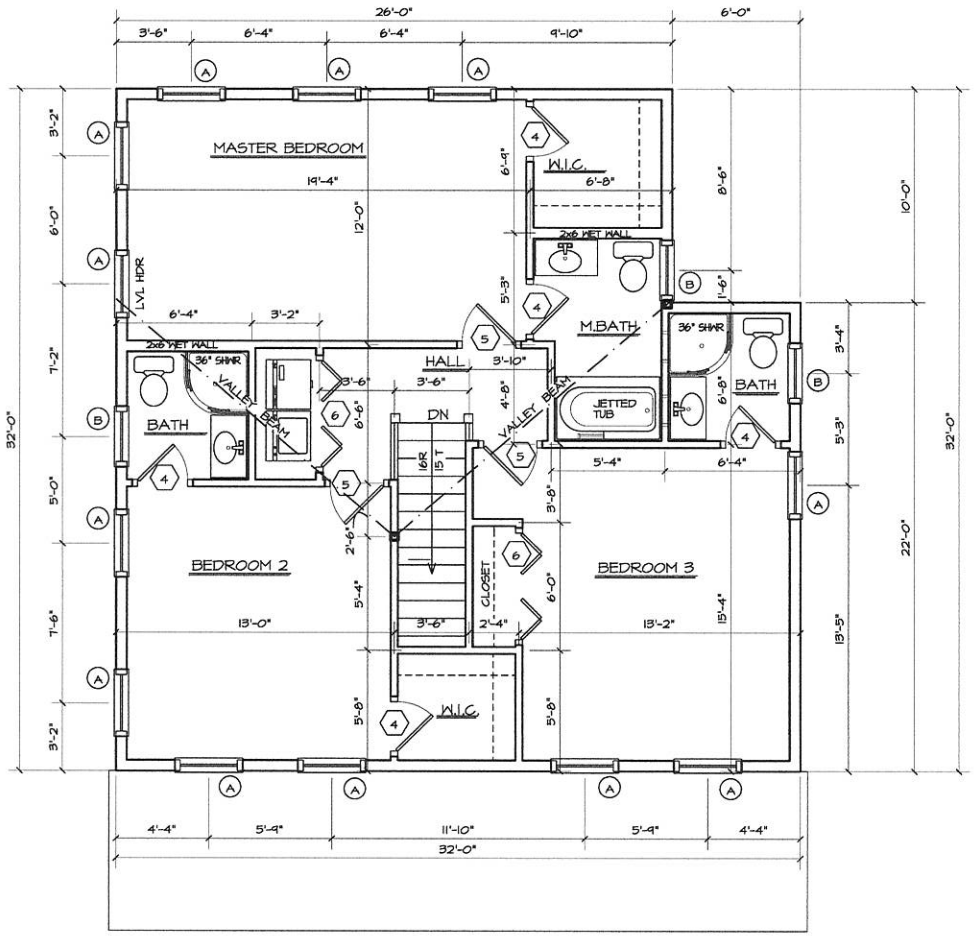

1 / A5 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.3.3.

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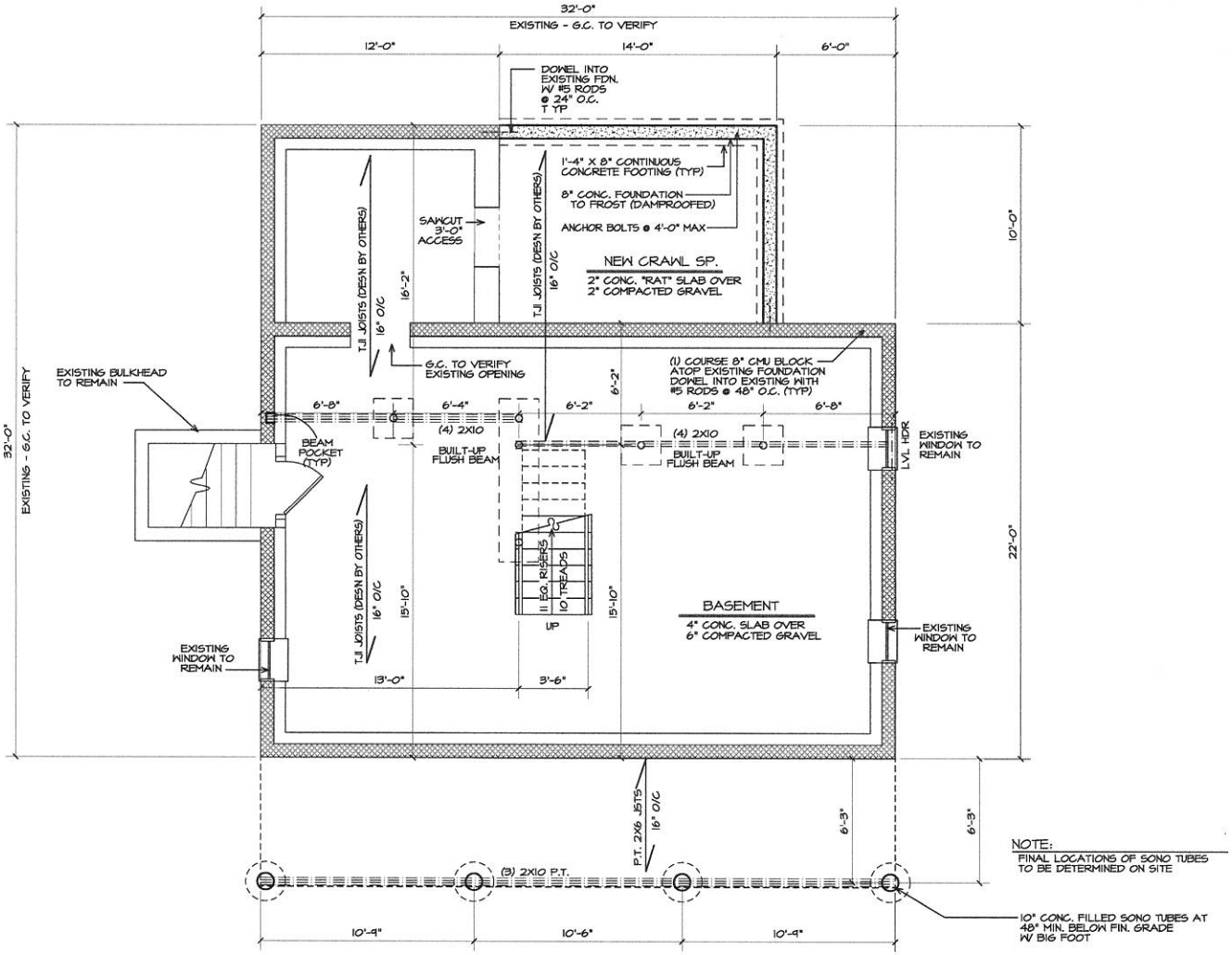
GENERAL NOTE: EXISTING FOUNDATION INFORMATION PROVIDED BY OWNER; ALTERNATIVE DESIGNSS INC IS NOT RESPONSIBLE FOR ANY ERRORS OR DEVIATIONS FROM ACTUAL CONDITIONS. G.C. IS TO VERIFY ALL CONDITIONS PRIOR TO START OF CONSTRUCTION FOR ACCURACY AND SHALL CONSULT WITH A.D.I. ABOUT ANY DISCREPENCIES THAT MAY CAUSE ISSUE WITH THE STRUCTURAL DESIGN.



NOTE:
FINAL LOCATIONS OF SONO TUBES TO BE DETERMINED ON SITE

1 / A6 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

CONC BULKHEAD SIZE AND LOCATION TO BE DETERMINED BY SITE CONDITIONS AND/OR CONTRACTOR

WALKOUTS AS PER SITE CONDITIONS AND CONTRACTOR

STEEL SASH WINDOW SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR

NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION

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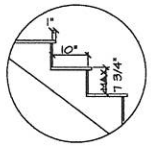


STAIR CODE

NOT TO SCALE

GENERAL NOTES

A. 2X12 RIDGE BOARD

B. 2X10 RAFTERS 16 " O/C (UNLESS OTHERWISE NOTED) PLYWOOD SHEATHING, 15# BUILDING PAPER, & 235# ASPHALT SHINGLES W/ ICE SHIELD AT RAFTER TAILS AND VALLEYS.

C. 2X6 COLLAR TIES AT 32" O/C (TYPICAL)

D. 2X8 CEILING JOISTS AT 16" O/C WITH R-38 FIBERGLASS BATT INSULATION (TYPICAL)

E. METAL DRIP EDGE, 1X4 PINE BLOCKING (SUB-FASCIA) 1X8 PINE BOARD FASCIA, & 3/8" EXTERIOR, AC PLYWOOD SOFFIT WITH 2" CONTINUOUS LOUVERED VENTS (TYPICAL)

F. 2X6 STUDS 16" O/C, R-21 FIBERGLASS BATT INSULATION IN BETWEEN, 1/2" PLYWOOD SHEATHING & EXTERIOR SIDING W "TYVEK" OR EQUAL (OPTIONAL) AND 1/2" GYP. BD. ON THE INTERIOR.

G. 2-2X6 TOP PLATES AND 1-2X6 SHOE (BOTTOM PLATE)

H. 2X10 FLOOR JOISTS 16" O/C (UNLESS OTHERWISE NOTED) WITH 3/4" T&G SUBFLOOR (GLUED & NAILED) R-30 FIBERGLASS BATT INSULATION AT FIRST FLOOR ONLY.

J. 8" CONCRETE FOUNDATION WALL WITH 1-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)

K. 4" CONCRETE SLAB FLOOR OVER (MIN. 6") COMPACTED GRAVEL

L. 8" CONCRETE FROST WALL TO BE 48" MIN. BELOW FINISHED GRADE

M. 1'-4" X 8" CONTINUOUS CONCRETE FOOTING (TYPICAL)

N. 4-2X10 BUILT-UP BEAM OVER 3 1/2" DIAM. STEEL LALLY COLUMN WITH TOP AND BOTTOM END PLATES, OVER 24"X24"X12" CONCRETE FOOTINGS.

O. 1X3 STRAPPING AT 16" O/C & 1/2" GYP. BD. (TYPICAL)

P. 3-2X12 STAIR STRINGERS

Q. CONTINUOUS RIDGE VENT

R. 2X6 STUD WALL @ 16" O.C.

S. HURRICANE CLIPS AND FRAMING ANCHORS AS REQ'D.

T. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB

DESIGN LOADS

LIVE LOAD AT LIVING SPACES: 40 PSF
LIVE LOAD AT SLEEPING SPACES: 30 PSF
GROUND SNOW LOAD: 55 PSF

FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALLS PARALLEL TO JOIST DIRECTION.

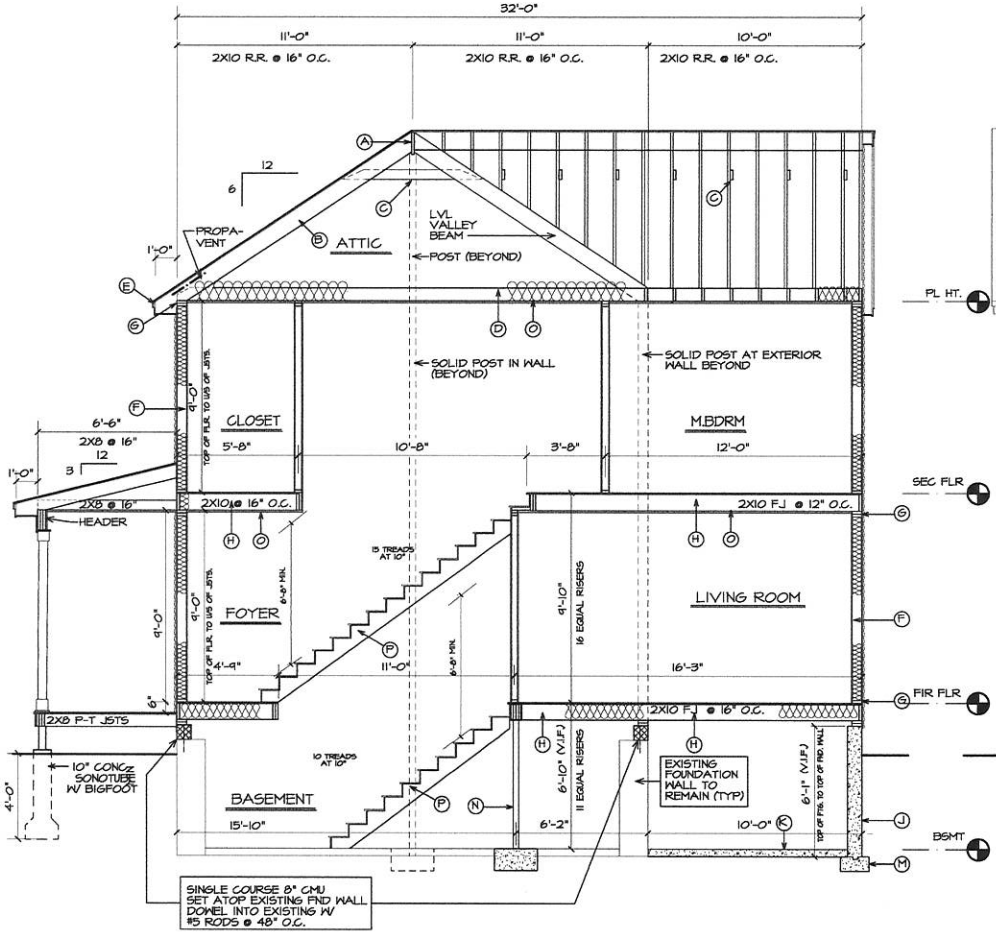
PROVIDE 1X4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.

WHERE PREENGINEERED FLOOR OR ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.

ALL LUMBER MUST BE NO. 2 OR BETTER, SPRUCE - PINE - FIR.

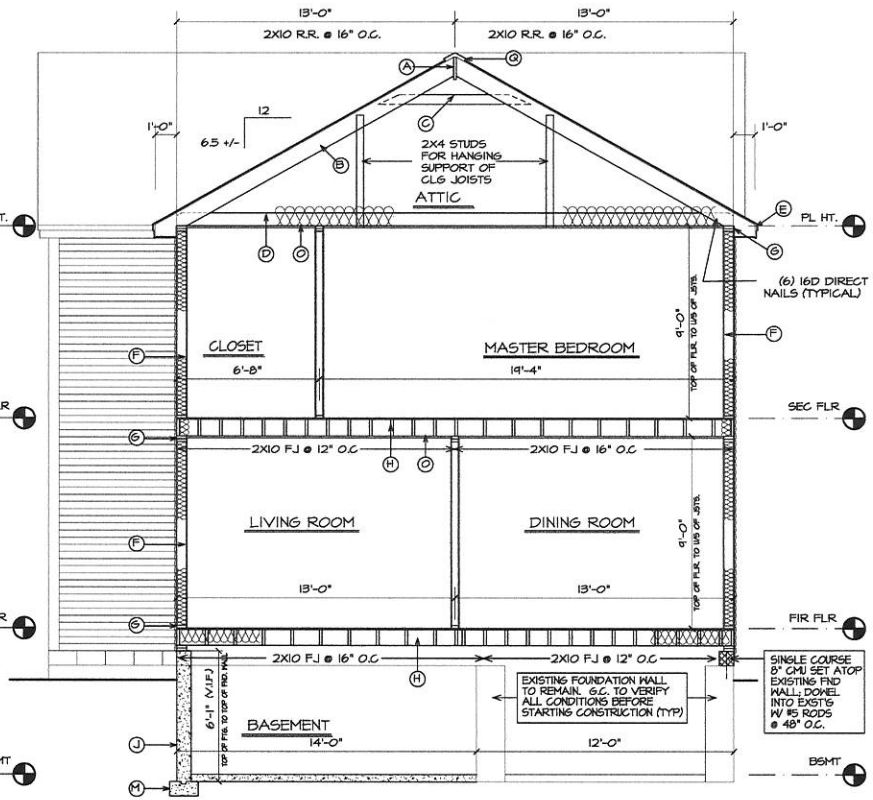
PROVIDE MOISTURE VAPOR RETARDERS IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILINGS IN ACCORDANCE WITH I.R.C. SECTIONS R-506.23 AND R6013

ATTIC ACCESS (MIN 22" X 30") LOCATION TO BE DETERMINED BY CONTRACTOR



A/A4 TYPICAL SECTION

SCALE: 1/4" = 1'-0"



B/A4 TYPICAL SECTION

SCALE: 1/4" = 1'-0"

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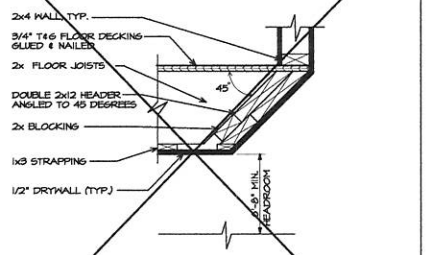
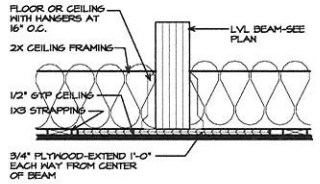
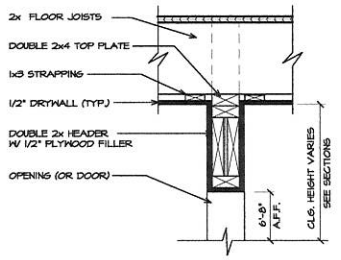


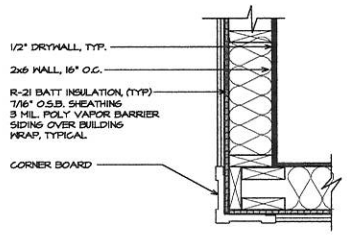
1 STAIRWELL HEADER
SCALE: 1" = 1'-0"



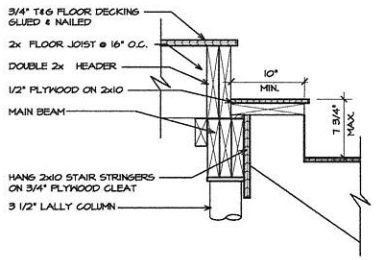
2 LVL FLUSH BEAM
SCALE: 1" = 1'-0"



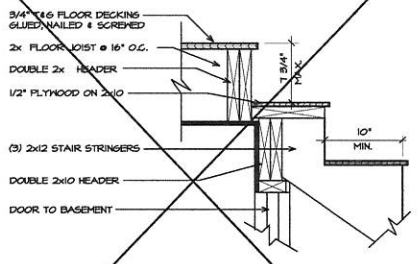
3 INTERIOR HEADER DTL.
SCALE: 1" = 1'-0"



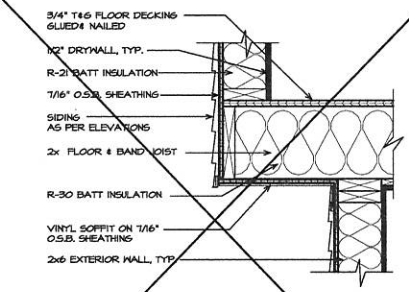
4 CORNER DETAIL
SCALE: 1" = 1'-0"



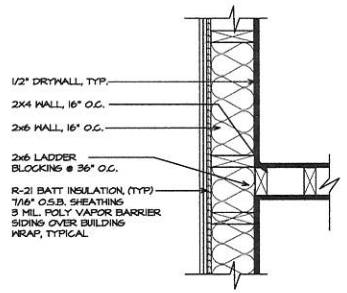
5 STAIRWELL BEAM
SCALE: 1" = 1'-0"



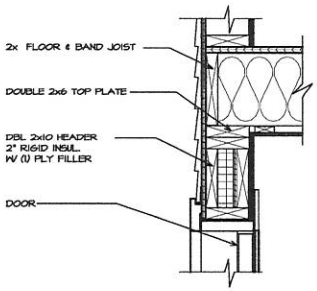
6 STAIR OVER HEADER
SCALE: 1" = 1'-0"



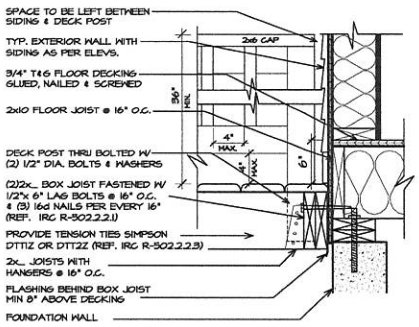
7 CANTILEVER DETAIL
SCALE: 1" = 1'-0"



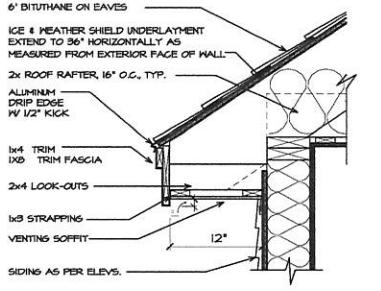
8 INT. WALL TO EXT. WALL
SCALE: 1" = 1'-0"



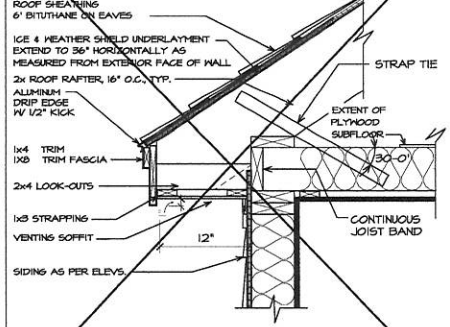
9 EXT. DOOR HEADER DTL
SCALE: 1" = 1'-0"



10 DECK TO HOUSE DETAIL
SCALE: 1" = 1'-0"



11 SOFFIT DETAIL (LOW EAVE)
SCALE: 1" = 1'-0"



12 SOFFIT DETAIL (HIGH EAVE)
SCALE: 1" = 1'-0"

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Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

REVISIONS

18-009
FEB 2018
SHEET 8 OF 8

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