

TAX MAP 14 LOT 18-0  
 CHERYL ST ONGE REV TRUST  
 8 WISWALL ROAD  
 DURHAM, NH 03824

TAX MAP 14 LOT 18-1  
 CHERYL ST ONGE REV TRUST  
 8 WISWALL ROAD  
 DURHAM, NH 03824  
 S.C.R.D. BOOK 4260 PAGE 864

TAX MAP 14 LOT 20  
 JOHN R. SHEEHAN, III & LAURA J. SHEEHAN  
 224 PACKERS FALLS ROAD  
 DURHAM, NH 03824  
 S.C.R.D. BOOK 2991 PAGE 236

TAX MAP 14 LOT 39  
 UNIVERSITY OF NEW HAMPSHIRE  
 OFFICE OF THE PRESIDENT  
 THOMPSON HALL  
 DURHAM, NH 03824

TAX MAP 17 LOT 12-0  
 DANIEL N. LAROCHE, SR.  
 C/O ALBERT LAROCHE  
 9 WISWALL ROAD  
 DURHAM, NH 03824  
 S.C.R.D. BOOK 1448 PAGE 265

TAX MAP 14 LOT 31-0  
 MYLETA ENG REV LIVING TRUST  
 216 PACKERS FALLS ROAD  
 DURHAM, NH 03824  
 S.C.R.D. BOOK 2887 PAGE 524

TAX MAP 17 LOT 14  
 DANIEL T.V. HUNTOON  
 206 MAIN STREET  
 WENHAM, MA 01984  
 S.C.R.D. BOOK 4440 PAGE 364

TAX MAP 17 LOT 11  
 TOWN OF DURHAM  
 8 NEWMARKET ROAD  
 DURHAM, NH 03824  
 S.C.R.D. BOOK 1988 PAGE 737

TEST PIT #1  
 ELEVATION = 100.3'  
 8/15/2018

6'-7"	5Y 5/2- OLIVE, LOAMY CLAY, LOOSE, SUB-ANGULAR BLOCKY
8'-2"	2Y 5/4- LIGHT OLIVE BROWN, LOAMY CLAY, LOOSE, SUB-ANGULAR BLOCKY
20'-22"	5Y 5/2- OLIVE, GRAY, CLAY FINE PLATY

ROOTS TO 20"  
 REFUSAL, NONE OBSERVED  
 WATER, NONE OBSERVED  
 ESHWT, 10"  
 RESTRICTIVE 30"  
 PERC TEST 60MIN/INCH AT 1"

TEST PIT #2  
 ELEVATION = 106.6'  
 8/23/2018

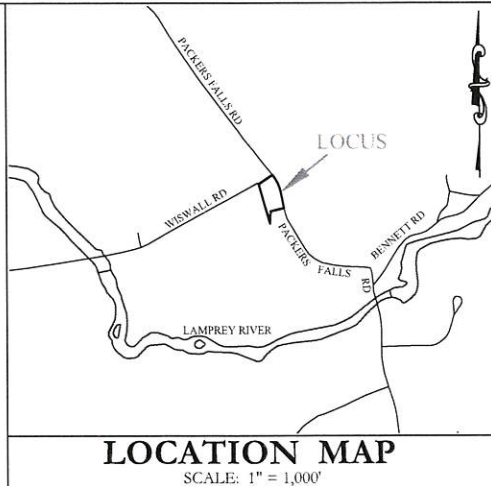
6'-7"	10YR 3/5-DARK BROWN, VERY FINE SANDY LOAM, GRANULAR, FRIABLE
7'-4"	2Y 5/4- LIGHT OLIVE BROWN, VERY FINE SANDY LOAM, GRANULAR, FRIABLE
42'-45"	2Y 7/3- PALE YELLOW, FINE SAND, LOOSE, SUB-ANGULAR BLOCKY

ROOTS TO 14"  
 REFUSAL, NONE OBSERVED  
 WATER, NONE OBSERVED  
 ESHWT, 42"  
 RESTRICTIVE 10"  
 PERC TEST 3 MIN/INCH AT 1"

TEST PIT #3  
 ELEVATION = 107.8'  
 8/23/2018

10'-8"	10YR 3/5-DARK BROWN, VERY FINE SANDY LOAM, GRANULAR, FRIABLE
8'-4"	2Y 5/4- LIGHT OLIVE BROWN, VERY FINE SANDY LOAM, GRANULAR, FRIABLE
44'-46"	2Y 7/3- PALE YELLOW, FINE SAND, LOOSE, SUB-ANGULAR BLOCKY

ROOTS TO 32"  
 REFUSAL, NONE OBSERVED  
 WATER, NONE OBSERVED  
 ESHWT, 44"  
 RESTRICTIVE 10"  
 PERC TEST 3 MIN/INCH AT 1"



NOTES:

- REFERENCE: TAX MAP 17 LOTS 13-1 & 13-2 S.C.R.D. BOOK 4586 PAGE 443
- PARCEL AREAS:  
 LOT 13-1 AREA: 16,093 SQ. FT. OR 0.37 AC.  
 LOT 13-2 AREA: 55,444 SQ. FT. OR 1.27 AC.
- OWNER OF RECORD: ARNE, LLC  
 37 LEONARD AVENUE  
 HOOKSETT, NH 03106
- ZONE: R RURAL  
 DIMENSIONAL REQUIREMENTS:  
 MINIMUM LOT AREA 150,000 sq. ft.  
 MINIMUM FRONTAGE (COLLECTOR STREET) 300 ft.  
 MINIMUM FRONT SETBACK 30 ft.  
 MINIMUM SIDE SETBACK 50 ft.  
 MINIMUM REAR SETBACK 50 ft.  
 MAXIMUM PERMITTED BUILDING HEIGHT 30 ft.  
 MAXIMUM PERMITTED BUILDING HEIGHT BY CONDITIONAL USE 35 ft.  
 BUFFER FOR POORLY DRAINED SOIL 100 ft.
- FIELD SURVEY PERFORMED BY S.D.B. ON 7/9/2018. TRAVERSE ADJUSTMENT IS BASED ON THE COMPASS RULE METHOD OF ADJUSTMENT.
- HORIZONTAL DATUM IS BASED ON TRACT III OF THE DEED REFERENCED ABOVE.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTION.
- THE TAX MAP SHOWS THE PROPERTY DESCRIBED IN THE SUBJECT DEED AS BEING 2 PARCELS, TAX MAP 17 LOTS 13-1 AND 13-2. THERE ARE 3 TRACTS DESCRIBED IN THE DEED REFERENCED ABOVE. THE TOWN OF DURHAM HAS STATED THAT PARCEL III WAS MERGED WITH PARCEL I.
- THIS PROPERTY FALLS ENTIRELY WITHIN ZONE X OF FEMA FIRM PANEL 33017C0377E HAVING AN EFFECTIVE DATE OF 9-30-2015.
- JURISDICTIONAL WETLANDS WERE DELINEATED BY AMBIT ENGINEERING, INC. ON 8/21/18. THE WETLAND DELINEATED WAS DETERMINED TO BE POORLY DRAINED SOIL.
- THE APPROVED SEPTIC SYSTEM SHOWN HEREON IS A PRESBY ENVIRONMENTAL ENVIRO-SEPTIC SYSTEM. NHDES CONSTRUCTION APPROVAL ISDS\_eCA2018099055.

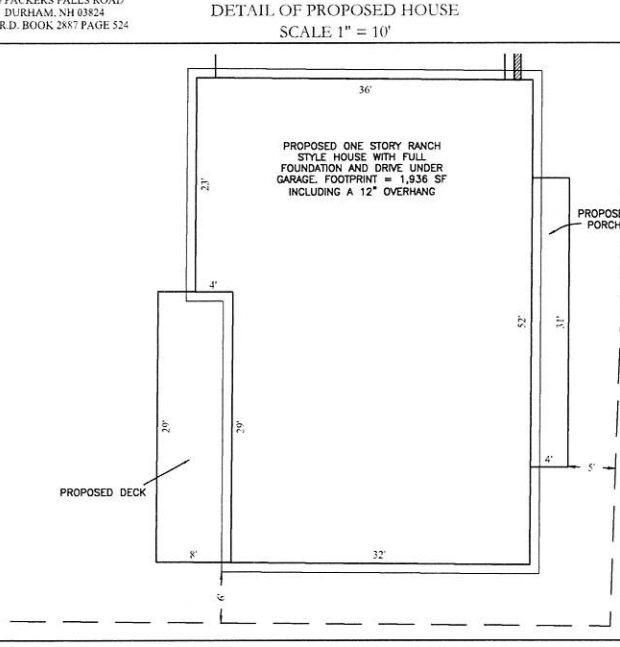
PLAN REFERENCES:

- PLAN TITLED "SUBDIVISION OF THE PROPERTY OF ALBERT LAROCHE" DATED 10-1-84, PREPARED BY RAYMOND G. CUSHMAN, RECORDED AT THE SCRD AS PLAN 25-19.

**SOIL INFORMATION**

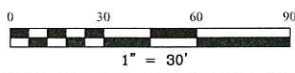
MAP SYMBOL AND NAME: SOIL TYPE: ScA SCANTIC SILT LOAM, 0 TO 3% SLOPES. SOIL TYPE: HcC HcC6-CHARLTON FINE SANDY LOAM, 6 TO 15% SLOPES.

SOIL TYPE: ScB SCANTIC SILT LOAM, 3 TO 8% SLOPES.



LEGEND

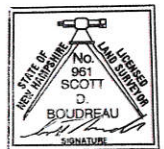
- — IRON PIPE/ROD FOUND
- — DRILL HOLE FOUND OR SET
- — CORNER - NOTHING FOUND/SET
- — IRON ROD SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- ⊕ — UTILITY POLE
- — BOUNDARY LINE
- — ABUTTER LINE
- — OVERHEAD WIRES
- — RIGHT-OF-WAY
- — DEED LINES
- — EDGE OF PAVEMENT
- — BUILDING SETBACK LINE
- — TREE LINE
- — STONE WALL
- — WETLAND BOUNDARY



SITE PLAN  
 LAND OF  
 ARNE, LLC  
 (TAX MAP 17 LOTS 13-1 & 13-2)  
 215 & 221 PACKERS FALLS ROAD  
 DURHAM, NH

DRAWN BY: SDB	DATE: SEPTEMBER 18, 2018
CHECKED BY: ARB	DRAWING NAME: 18018C-1
JOB NAME: 18018	SHEET 1 OF 1

Boudreau  
 Land  
 Surveying, LLC  
 SCOTT D. BOUDREAU, L.L.S. #961  
 2 BEATRICE LANE  
 NEWMARKET, NH 03857  
 (603) 659-3468



LLS. #961  
 SEPTEMBER 18, 2018 DATE