

Addition & Alterations

30 DURHAM POINT ROAD

30 DURHAM POINT ROAD, DURHAM, NH 03824

PROJECT DESCRIPTION

These plans describe an addition and alteration to an existing 1966 single family residence. The scope of work includes the addition of two living units for family with slight renovation to existing to support this. The addition is approximately 2,224 SF.

The drawing set and specifications were developed by Alden Architects. 3D images for visualization purposes only.



DRAWING INDEX		Revision	Date
G0.01	COVER SHEET		
AS1.01	SITE AND AREA PLAN		
AD1.0	(E) BASEMENT		
AD1.1	(E) FIRST FLOOR		
AD2.1	(E) ELEVATIONS		
A1.00	BASEMENT PLAN		
A1.01	FIRST FLOOR PLAN		
A2.01	ELEVATIONS		
A2.02	ELEVATIONS		
Total Drawing Sheets: 9			

NOT FOR CONSTRUCTION

CLIENT **KATHLEEN MORRIS**
30 DURHAM POINT ROAD, DURHAM, NH 03824

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Street Address City, State, Zip
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REVISIONS

DRAWN BY
HAR
03/25/2020

Project #
2019003

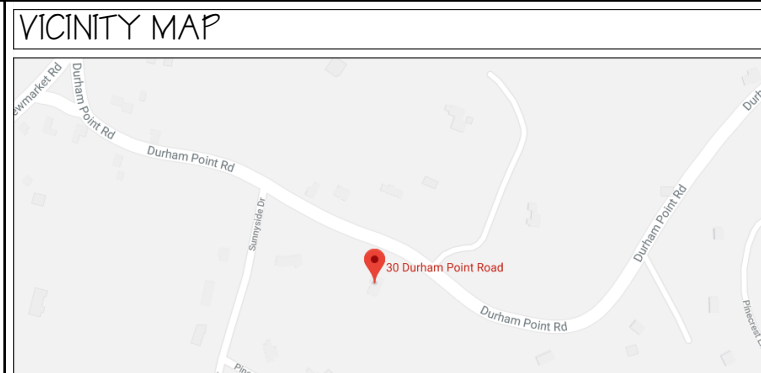
COVER SHEET
SCALE 12" = 1'-0"

PROJECT STATUS
VARIANCE APPLICATION

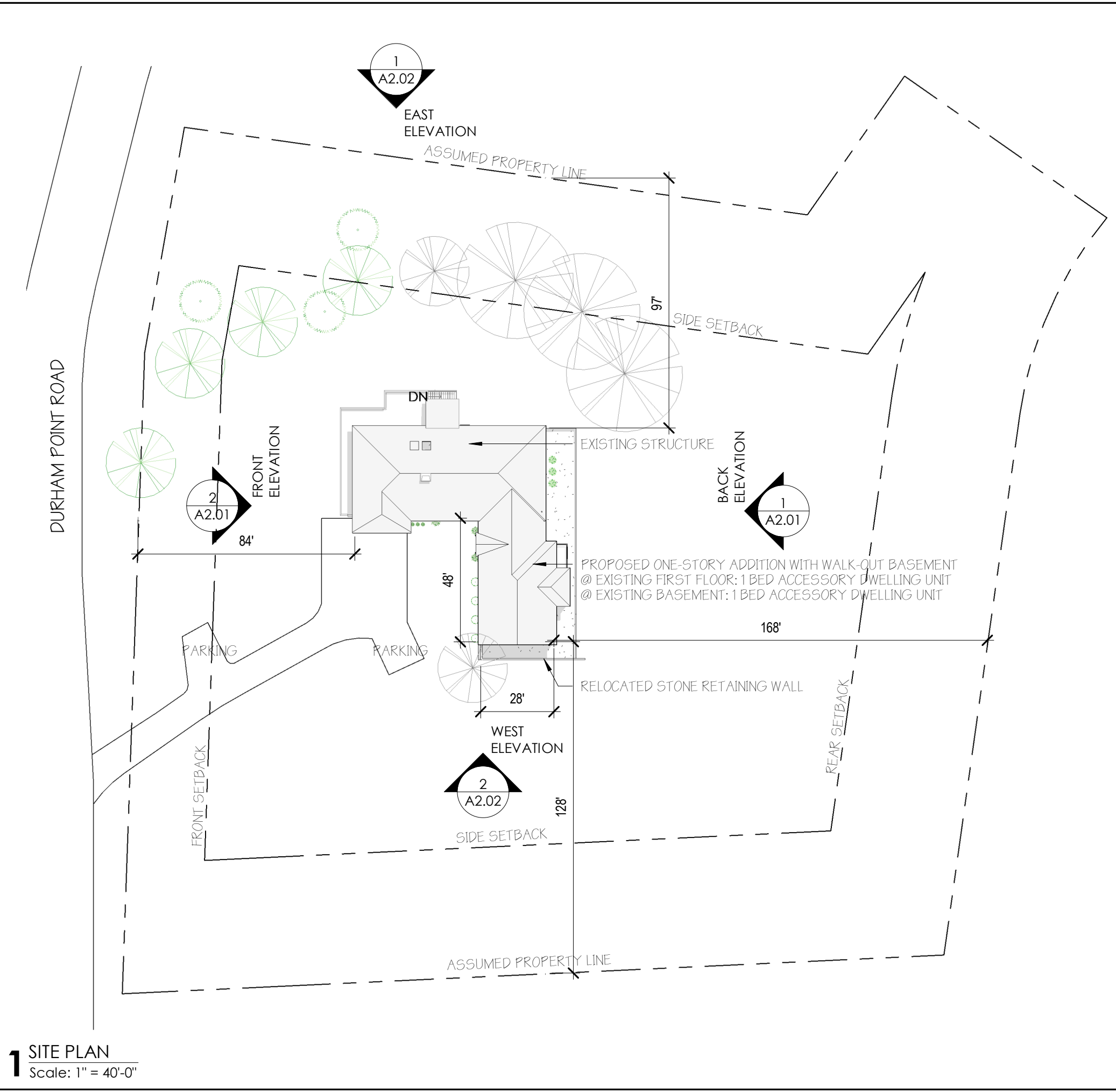
GO.01

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PROJECT ZONING DATA		[Required] /	(Provided)
Assessor's Data	Map 008-002-003	Parcel	2264
Zoning Info	Residence C (RC)	Proposed Use	R
Property Info	Lot [150,000 SF]/(131,551 SF)	Frontage	[300']/(300')
Bldg Setbacks	Front (30') Side (50') Rear (50')		
Bldg Restrictions	Impervious Coverage [20%]/(20%) Height [30']/(25')		
Site Information	Water Supply (Private) Sewage (Private)		
Flood Zone	Outside Area (Yes) Map 8		
Floor Area	Exist. 3,128 SF Mod. + 2,750 SF New 5,878 SF		



PROJECT CODE SUMMARY	
Building Codes	International Residential Code 2009 RSA 155-A:10; BCR 300 Durham Architectural Design Standards Zoning & General By-Laws
Local Jurisdiction	Durham, NH
City, State	
Occupancy Group	R-3 (One- and Two-Family Dwelling)
Type of Construction	Type V-B (Wood Construction)



1 SITE PLAN
Scale: 1" = 40'-0"

SITE PLAN NOTES

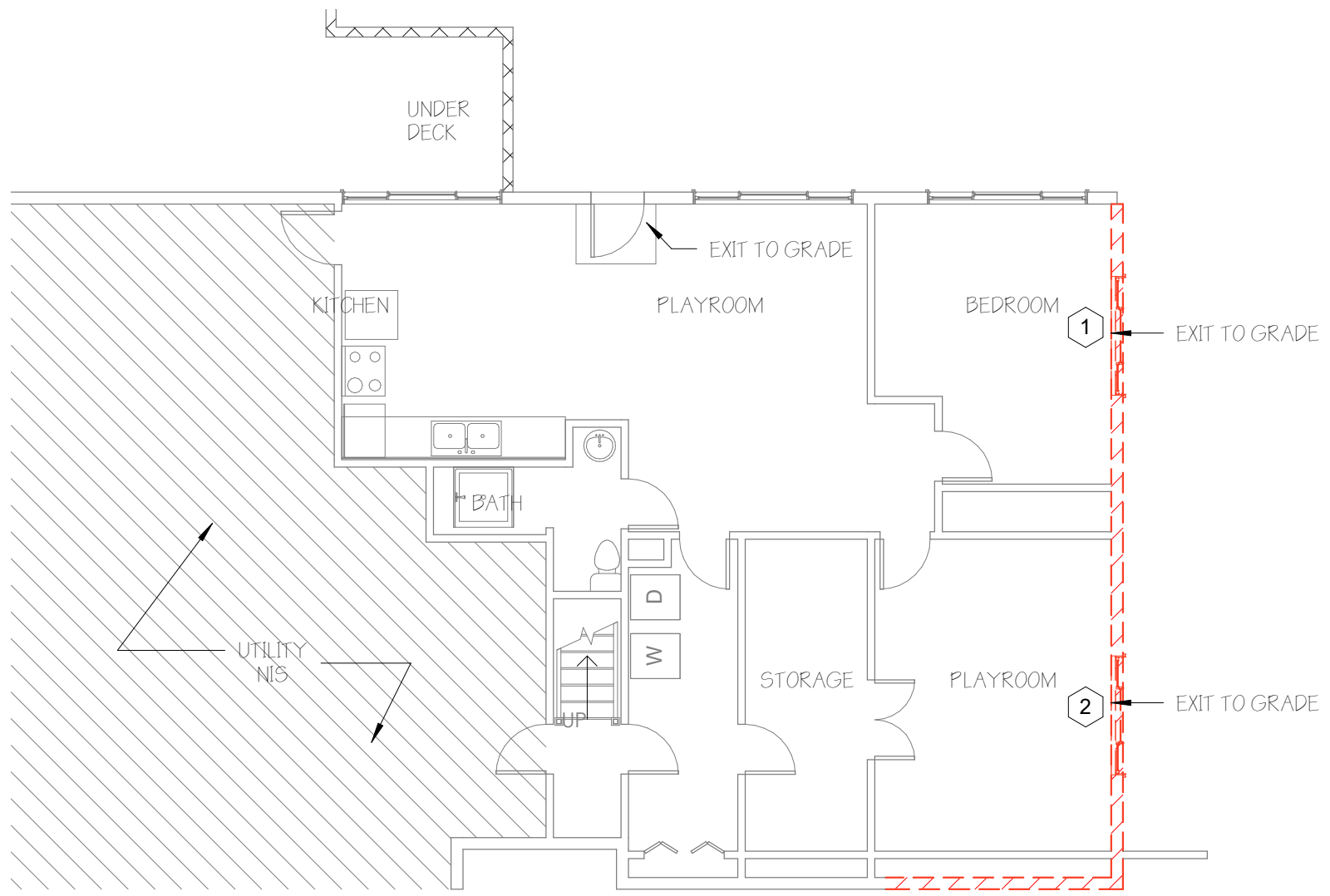
Drainage:
Provide 5% minimum positive drainage slope away from foundation at any new work and 2% general slope away from adjacent property line and towards the public right-of-way. All new downspouts to be drained to splash blocks, minimum 2 ft long, or sub-surface drain system as indicated.

Tree Preservation:
Protect all existing trees as required to prevent damage or harm whenever applicable, including, without limitation, vehicles, machinery, or building supplies or materials (including fluids) during any construction. Provide protective chain link construction fencing around existing trees to the fullest extent possible. The intent is to preserve natural grades at the base of existing trees and minimize construction disturbance. The General Contractor shall take care during trenching, foundation excavations and construction to preserve and protect noted trees and their root systems.

- Storm Drain Pollution Prevention:**
1. Timing of grading activities shall be during the dry weather.
 2. Provide temporary and permanent planting of exposed soil.
 3. Provide temp. sediment basins & traps to contain run off.
 4. Provide straw ground cover/mulching over soil prior to rainy season. Provide covers over stockpiles and excavated soils with secured tarps or plastic sheathing.
 5. Provide temporary silt fences or straw rolls at downslope of construction zone prior to rainy season. Provide storm drain inlet filters as required.
 6. Stabilize construction entrance as required.
 7. Adjacent properties, undisturbed areas, and street/sidewalks to be protected from construction impacts.
 8. Sediment laden water is not permitted to leave the site.
 9. Measures shall be taken such that the storage, handling and disposal construction materials and wastes will be prevented to have contact with storm water.
 10. The grading and drainage shall comply with all applicable National Pollutant Discharge Elimination System regulations set forth by the EPA to control storm water pollution.
 11. The storm runoff generated by new work shall not drain onto adjacent properties. The existing storm drainage from the adjacent properties shall not be blocked by the new work.

SITE AND AREA PLAN	SCALE AS indicated	REVISIONS
	PROJECT STATUS VARIANCE APPLICATION	DRAWN BY HAR 03/25/2020
AS1.01	PROJECT # 2019003	CLIENT KATHLEEN MORRIS 30 DURHAM POINT ROAD, DURHAM, NH 03824

ALDEN ARCHITECTS
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1 BASEMENT - EXISTING DAYCARE FACILITY
Scale: 1/8" = 1'-0"

MEASURED DRAWING DISCLAIMER

This measured drawing has been prepared, in part, based upon information furnished by others as well as with on-site field measurement, photography, and documentation. While this information is believed to be reliable, the Architect assumes no responsibility for the accuracy of this measured drawing or for any errors or omissions that may have been incorporated into it as a result of incorrect information provided to the Architect. Those relying on this measured document are advised to obtain verification of its accuracy on-site prior to construction.

DEMOLITION NOTES

1. Demolition indicated is for general reference purposes only and is not intended to identify all of the demolition, removal of finishes, etc. General Contractor shall be responsible for all demolition and legal disposal of waste necessary to accommodate new work in whether indicated or not.
2. The Contractor must adhere to the scope of work shown on the drawings. No work is authorized if it expands the original scope of work unless it is approved in writing by the owner. Any work undertaken by the Contractor and any additional required documentation or cost to the project without prior written approval is the sole responsibility of the Contractor.
3. Coordinate removal of existing floor finishes to accommodate new proposed flooring. Adjust under -layments as necessary to ensure smooth/level transitions between different materials and new and existing work.
4. Remove vents, jacks, wiring, etc. where abandoned.
5. Notify Owner of any scheduled shut-off of utilities which serve currently occupied spaces.
6. Items to be salvaged for reinstallation are indicated as such on the Architectural drawings.
7. Perform demo Work to prevent dust and pollutant hazards. Do not endanger adjacent spaces, structures, or the public.

EXISTING CONDITIONS PHOTOS



Note: Imagery is from Assessor's Office, Google Street View and/or Personal Photos taken at or around (05/01/19).

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03/25/2020

Project # 2019003

(E) BASEMENT
SCALE AS indicated

PROJECT STATUS
VARIANCE APPLICATION

AD1.O

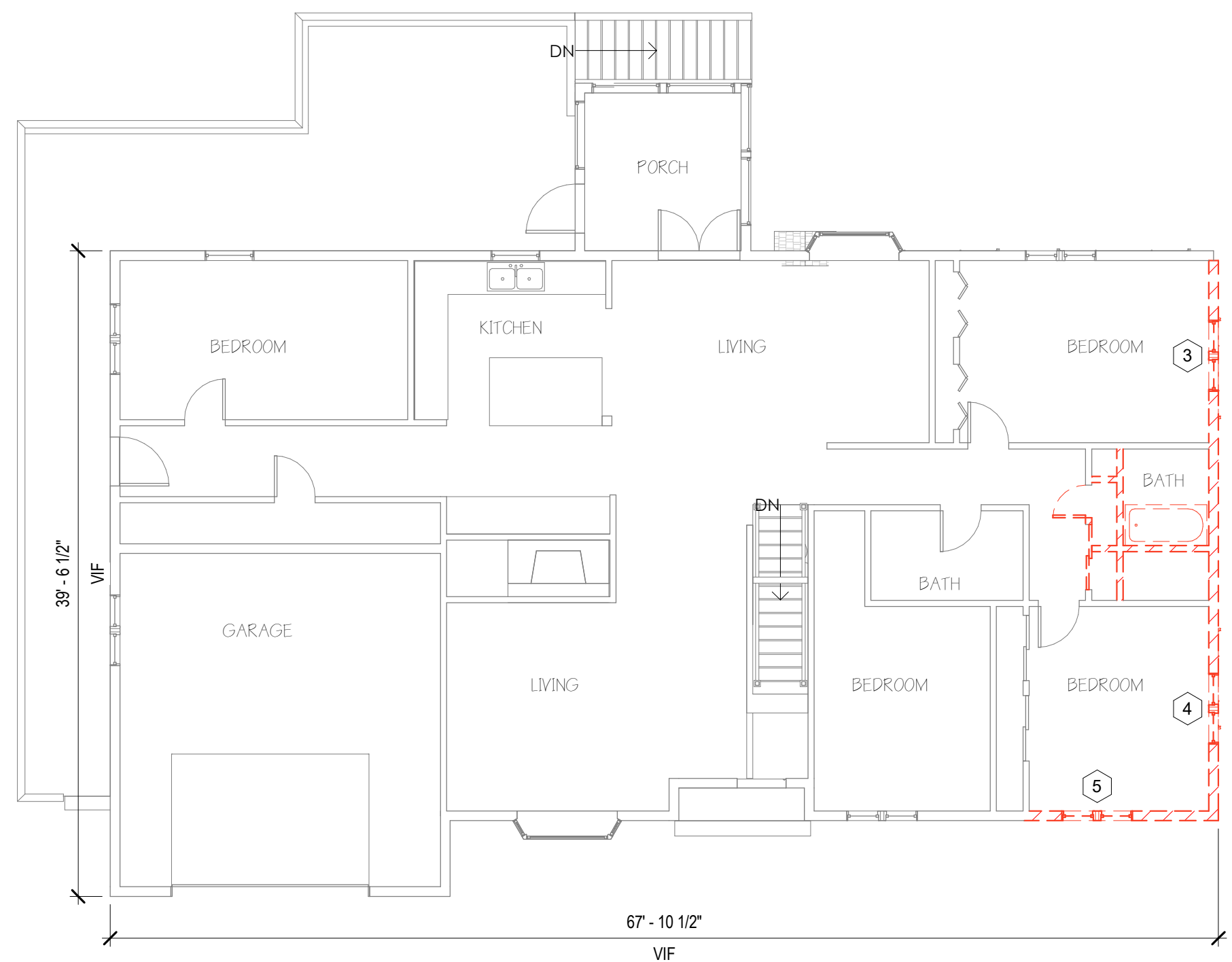
WINDOW SCHEDULE - EXISTING	<i>Refer to Door & Window Schedule Sheet</i>

DOOR SCHEDULE - EXISTING	<i>Refer to Door & Window Schedule Sheet</i>

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1 EXISTING FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

EXISTING CONDITIONS PHOTOS



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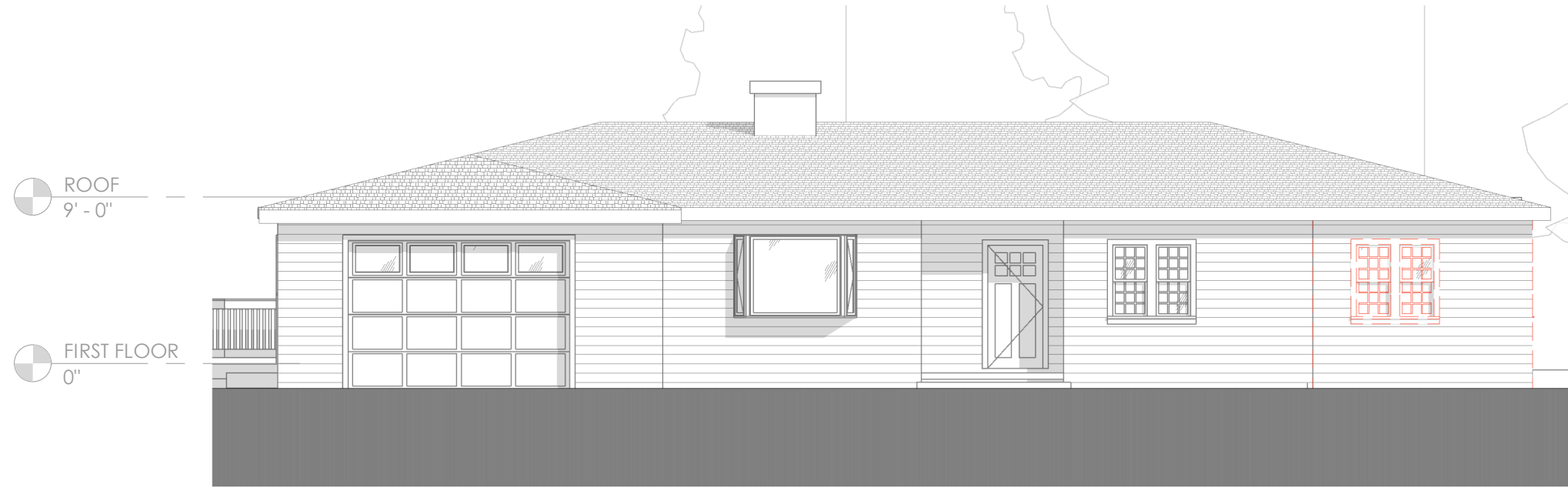
(E) FIRST FLOOR
SCALE AS indicated

AD1.1

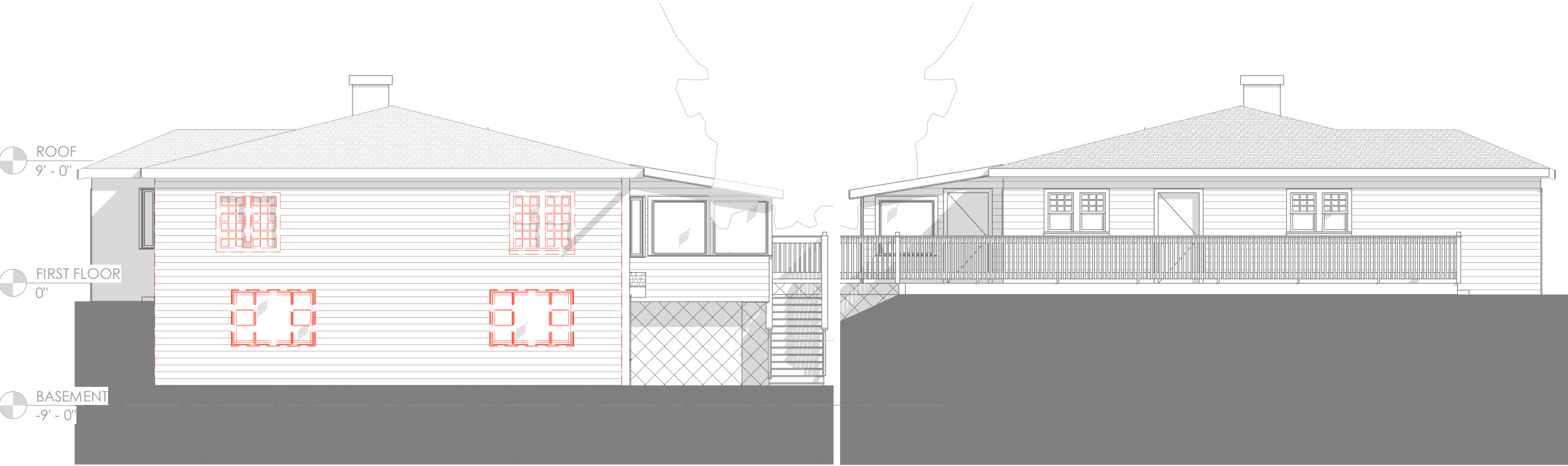
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2019003

PROJECT STATUS
VARIANCE APPLICATION



2 EXISTING WEST ELEVATION
Scale: 1/8" = 1'-0"



1 EXISTING BACK ELEVATION
Scale: 1/8" = 1'-0"

3 EXISTING FRONT ELEVATION
Scale: 1/8" = 1'-0"

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(E) ELEVATIONS
SCALE AS indicated

AD2.1

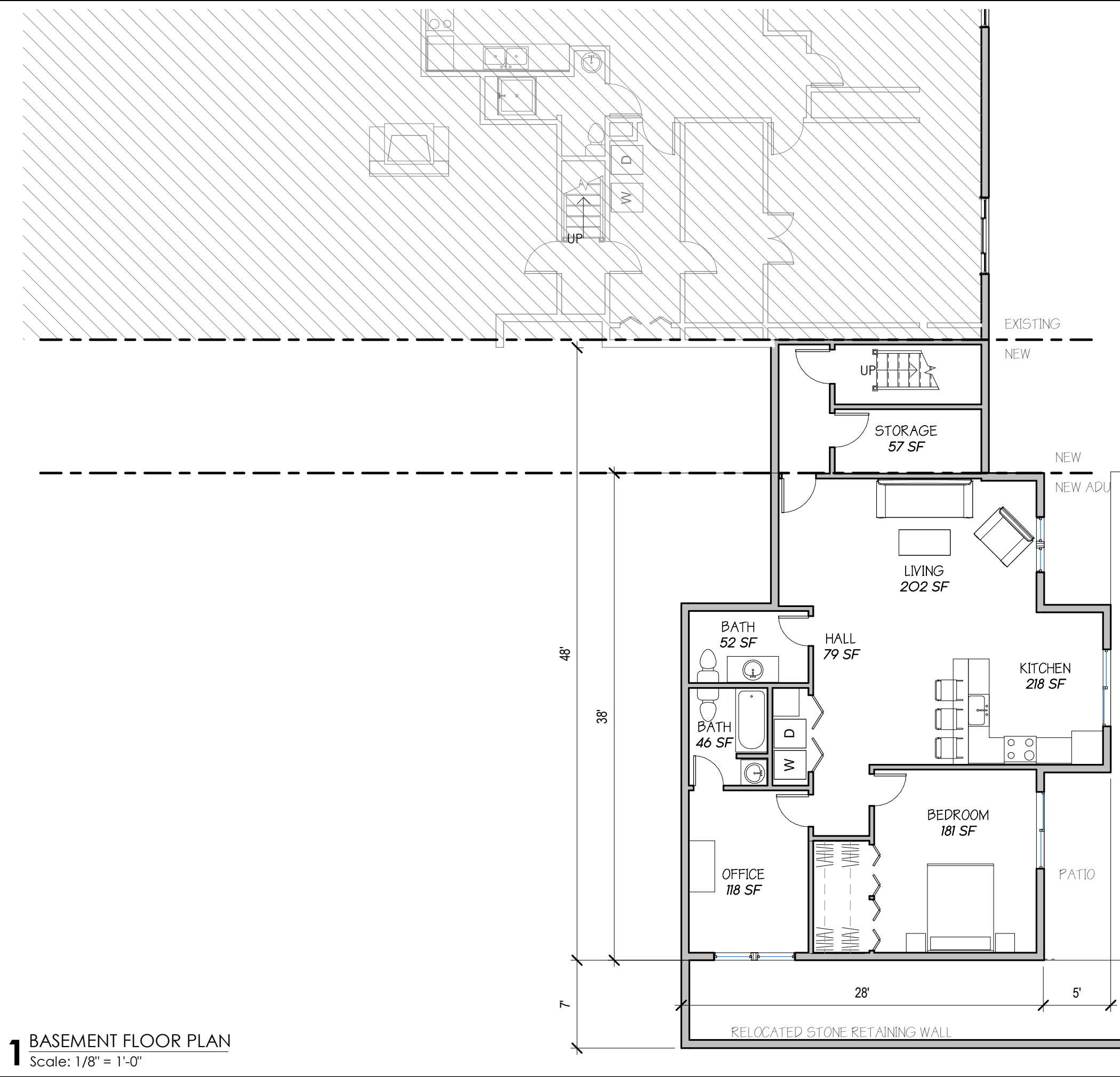
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PROJECT STATUS
VARIANCE APPLICATION

Project #
2019003

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1 BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"



FOUNDATION & CONCRETE NOTES

1. Contractor to install foundation drainage per International Building Code, Section 1805 and shall coordinate all underfloor drainage and plumbing with MEP and geotechnical drawings.
2. All footings and piers shall be centered below the members they support, unless noted otherwise.
3. All dowels into foundations shall match the size, quantity, and spacing of the wall, column, pier, etc. above, UNO.
4. Contractor to design, erect, support, brace, and maintain formwork to support vertical and lateral loads to conform with the applicable edition of guide to formwork for concrete (ACI 347) referenced by the Building Code.
5. The Contractor shall provide control of groundwater levels (dewatering) as required to complete the foundation work in the dry. The method of dewatering shall not adversely impact the ground water level of adjacent structures.
6. Contractor to protect concrete work from physical damage or reduced strength which could be caused by both excessive heat in compliance with the applicable edition of hot weather concreting (ACI 305), as well as frost, freezing actions, or low temperatures, in compliance with the applicable edition of cold weather concreting (ACI 306).

ADU BASEMENT

Level	Name	Area	Comments
BASEMENT	BATH	98 SF	ADU 2
BASEMENT	BEDROOM	181 SF	ADU 2
BASEMENT	KITCHEN	218 SF	ADU 2
BASEMENT	LIVING	202 SF	ADU 2
BASEMENT	OFFICE	118 SF	ADU 2
Grand total: 6		818 SF	

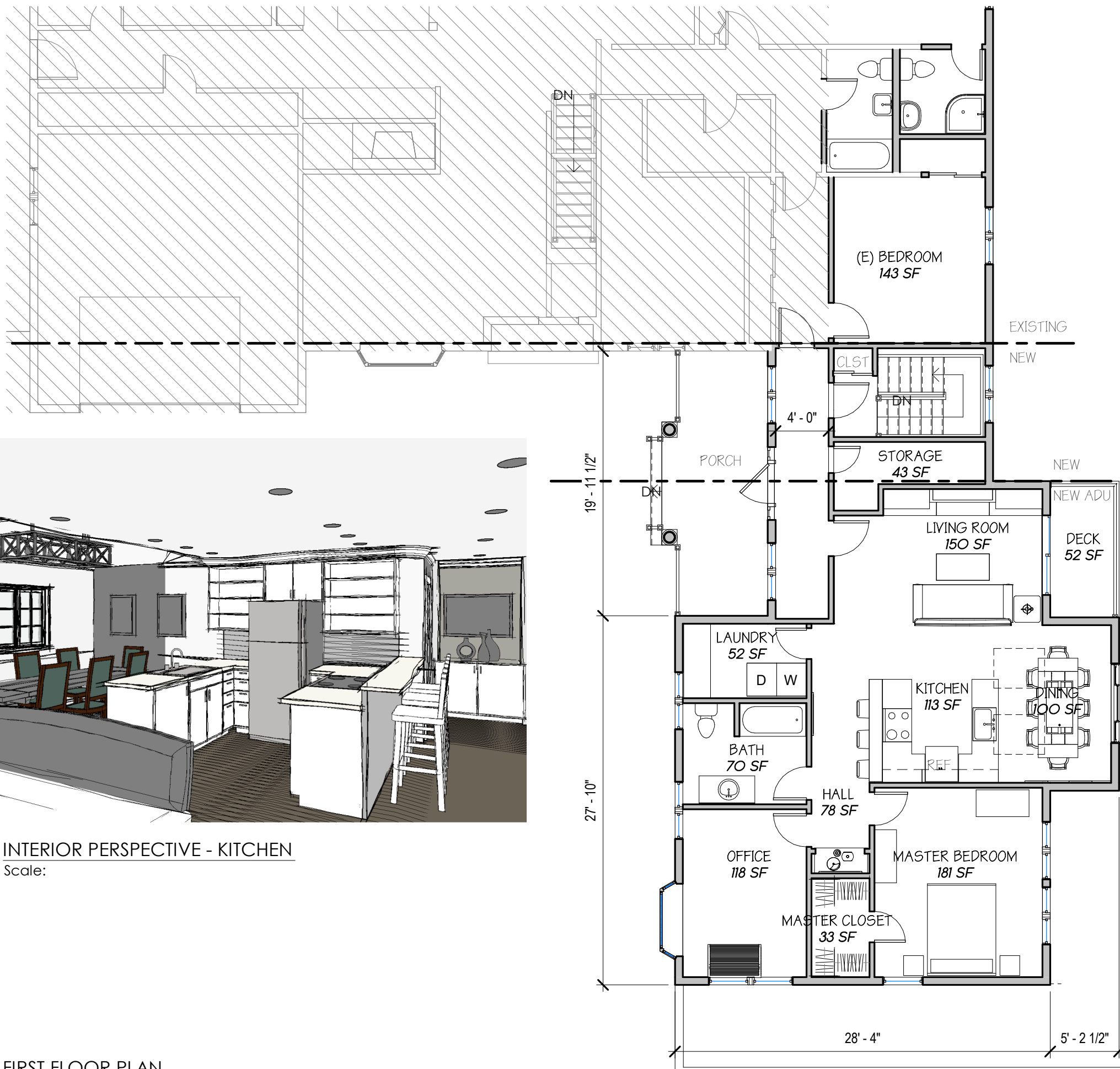
BASEMENT PLAN
SCALE AS indicated
PROJECT STATUS
VARIANCE APPLICATION
A1.00

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2 INTERIOR PERSPECTIVE - KITCHEN
Scale:

1 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

FLOOR PLAN NOTES

Dimensions:

All dimensions are to face of stud for new construction and finish face for existing conditions, unless otherwise noted.

Wall Construction:

1. All exterior walls to be framed with 2x6. Interior walls to be 2x4, unless noted otherwise. Refer to Floor Plan.
2. All exterior walls to be sheathed whether shear or not.

Wall Insulation:

1. All thermal or acoustical walls to be insulated full depth.
2. Refer to Building Section sheet for Energy Requirements.

Bathrooms:

1. Bath walls to be provided with 2x6 wall blocking for towel bars, shower rods, etc. Coordinate accessories with Owner.
2. Shower: To be smooth, hard, non-absorbent surface over a moisture resistant underlayment 70" min. above drain inlet.
3. Shower enclosures: If applicable to be tempered glass, 24" min door. Actual size to be reviewed with Owner.
4. Shower size: Stall showers to be min 1024 sq in and capable of encompassing 30" dia. See Plan for sizing & placement.
5. Refer to MEP plans for fixture flow rates, notes, etc.

Exhaust Vents:

1. Exterior vents to be min 3 ft away from doors, windows, operable skylights and roof vents.

Handrails & Guardrails:

Railing systems and posts to be wood with handrail 34" - 38" above stair treads. Guardrails to be 42" min above finish floor. Provide no more than 4" space between balustrades. Complete railing system to conform to Building Code per resistant loading.

Garage:

The living space-garage fire separation shall be as required per R302.6 where not less than 1/2" GWB or equivalent shall be applied to the garage side separating the residence and/or attic. If habitable rooms are above the garage then not less than 5/8" Type X GWB or equivalent shall be used.

ADU LEVEL ONE			
Level	Name	Area	Comments
FIRST FLOOR	BATH	70 SF	ADU 1
FIRST FLOOR	DINING	100 SF	ADU 1
FIRST FLOOR	KITCHEN	113 SF	ADU 1
FIRST FLOOR	LAUNDRY	52 SF	ADU 1
FIRST FLOOR	LIVING ROOM	150 SF	ADU 1
FIRST FLOOR	MASTER BEDROOM	181 SF	ADU 1
FIRST FLOOR	MASTER CLOSET	33 SF	ADU 1
FIRST FLOOR	OFFICE	118 SF	ADU 1
Grand total: 8		816 SF	

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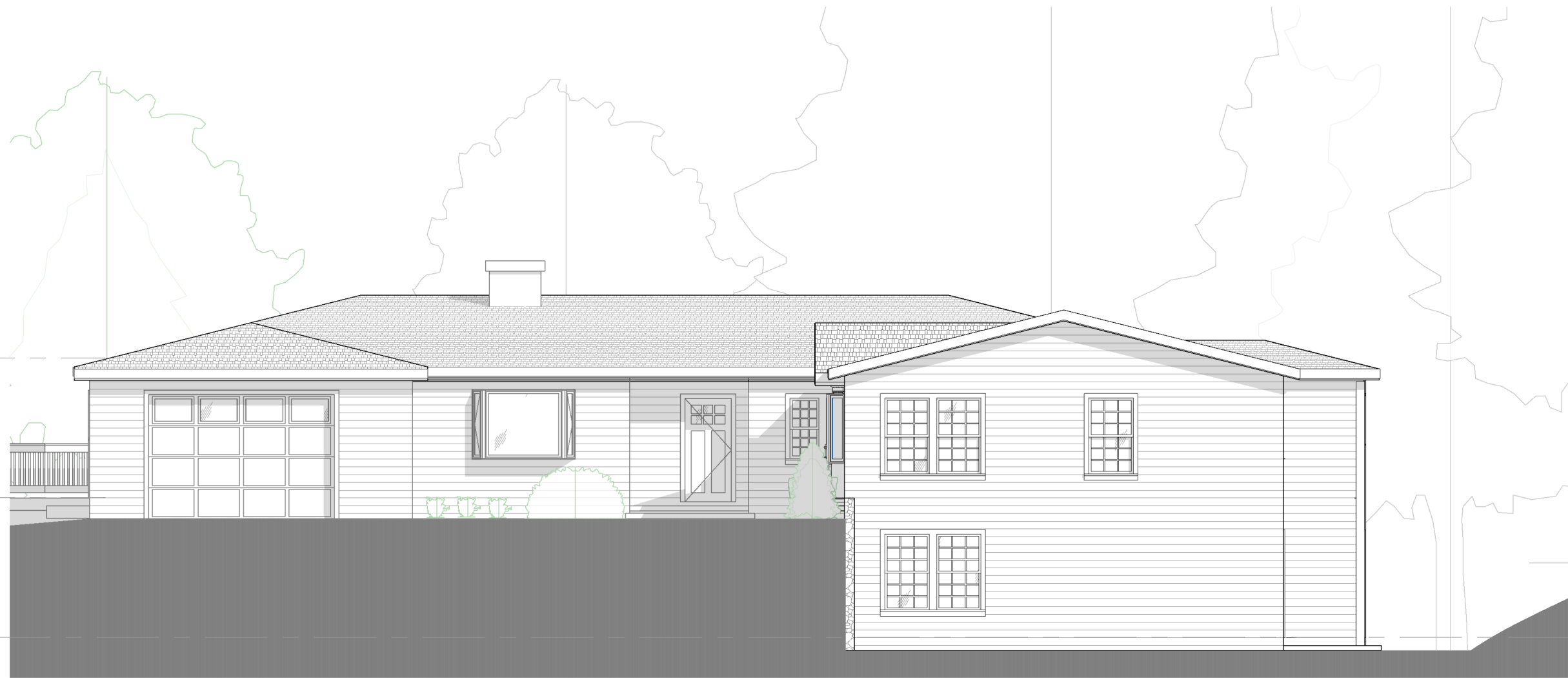
Project #
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FIRST FLOOR PLAN

SCALE AS indicated

PROJECT STATUS
VARIANCE APPLICATION

 ROOF
9' - 0"
 FIRST FLOOR
0"
 BASEMENT
-9' - 0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"

 ROOF
9' - 0"
 FIRST FLOOR
0"
 BASEMENT
-9' - 0"



1 EAST ELEVATION
Scale: 1/8" = 1'-0"

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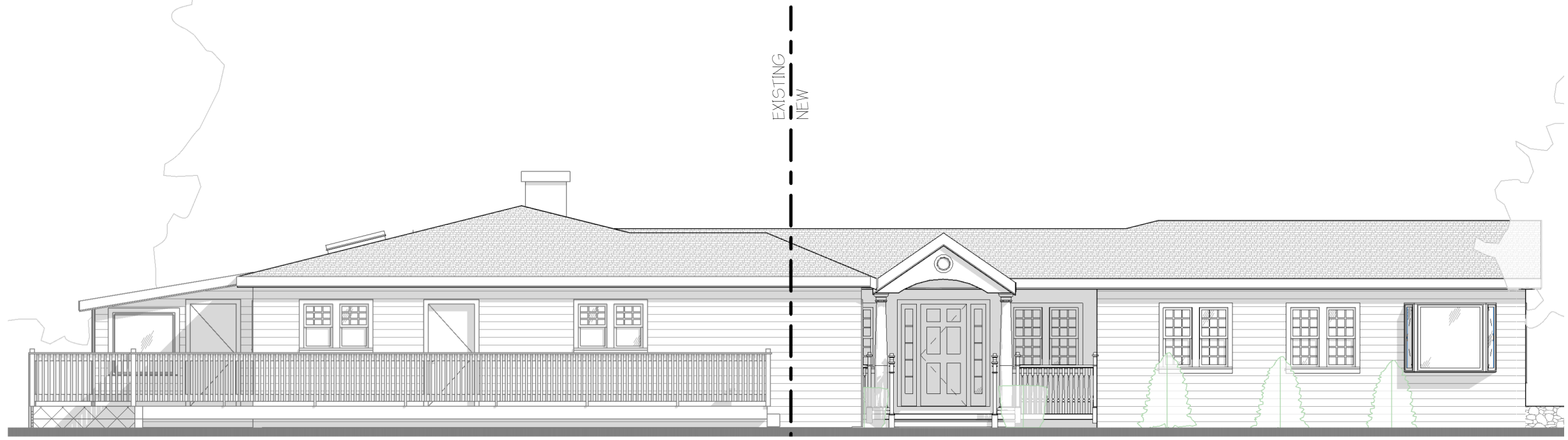
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ELEVATIONS
 SCALE 1/8" = 1'-0"

PROJECT STATUS
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2 FRONT ELEVATION
Scale: 1/8" = 1'-0"



1 BACK ELEVATION
Scale: 1/8" = 1'-0"

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ELEVATIONS
SCALE 1/8" = 1'-0"

A2.01

Project #
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PROJECT STATUS
VARIANCE APPLICATION

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